



CITY OF TAMPA

Bob Buckhorn, Mayor

CONTRACT ADMINISTRATION DEPARTMENT

Michael W. Chucran, Director

ADDENDUM 1

DATE: August 2, 2018

Contract 18-C-00025; Williams Park Activity Center Expansion

Bidders on the above referenced project are hereby notified that the following addendum is made to the Contract Documents. BIDS TO BE SUBMITTED SHALL CONFORM TO THIS NOTICE.

Item 1: Replace in the Instructions to Bidders, Section I-1.17 Scrutinized Companies, with the following:

I-1.17 SCRUTINIZED COMPANIES CERTIFICATION

Section 287.135, Florida Statutes, prohibits agencies or local governmental entities from contracting for goods or services of any amount with companies that are on the Scrutinized Companies that Boycott Israel List or are engaged in a boycott of Israel, and of \$1 million or more with companies that are on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or are engaged in business operations in Cuba or Syria. Specifically, Section 287.135(2), Florida Statutes, states: "A company is ineligible to, and may not, bid on, submit a proposal for, or enter into or renew a contract with an agency or local governmental entity for goods or services of: (a) Any amount if, at the time of bidding on, submitting a proposal for, or entering into or renewing such contract, the company is on the Scrutinized Companies that Boycott Israel List, created pursuant to s. 215.4725, or is engaged in a boycott of Israel; or (b) One million dollars or more if, at the time of bidding on, submitting a proposal for, or entering into or renewing such contract, the company: 1. Is on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, created pursuant to s. 215.473; or 2. Is engaged in business operations in Cuba or Syria."

Upon submitting its bid or proposal, a bidder/proposer: (i) certifies the company is not in violation of Section 287.135, Florida Statutes, and shall not be in violation at the time the company enters into or renews any resulting contract; and (ii) agrees any such resulting contract shall be deemed to contain a provision that allows the City, at its option, to terminate such contract for cause if the company is found to have submitted a false certification, been placed on one or any of the foregoing Lists, been engaged in a boycott of Israel, or been engaged in business operations in Cuba or Syria.

Item 2: General Provisions, Section 6; Temporary Structures: Delete G-6.03 CONTRACTOR'S FIELD OFFICE.

Item 3: REPLACE Sheets L-1.0, L-3.0, A-4.1 and A-5.1 with the attached sheets L-1.0, L-3.0, A-4.1 and A-5.1.

Item 4: Sheet A-1.0; Key Note 19; Change to Read: Existing cleanouts to remain.

Item 5: Sheet A-1.0; Key Note 20; ADD to the end: Existing plaque to be relocated to new building. Location to be coordinated with Owner.

Item 6: Sheet A-5.1; Key Note 11; ADD the following: Relocate sun burst window grilles moved from existing windows per Sheet A-1.0, Key Note 12.

Item 7: Attached for reference is the pre-bid meeting sign-in sheet.

All other provisions of the Contract Documents and Specifications not in conflict with this Addendum shall remain in full force and effect. Questions are to be e-mailed to Contract Administration@tampagov.net.

Jim Greiner

Jim Greiner, P.E., Contract Management Supervisor



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LANDSCAPE CONSULTANT

WILLIAMS PARK CENTER EXPANSION
 4362 E. OSBORNE AVE
 TAMPA, FL 33610

DPW FILE NUMBER

DPW NUMBER
 17-C-

ISSUE DATE
 FEBRUARY 21 2018

DRAWN BY
 JERRY P. SANDERS / P BORS

REVISIONS
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SCALE: VARIES

STAGING & EROSION CONTROL PLAN

SHEET NUMBER

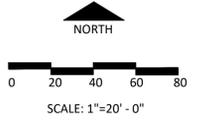
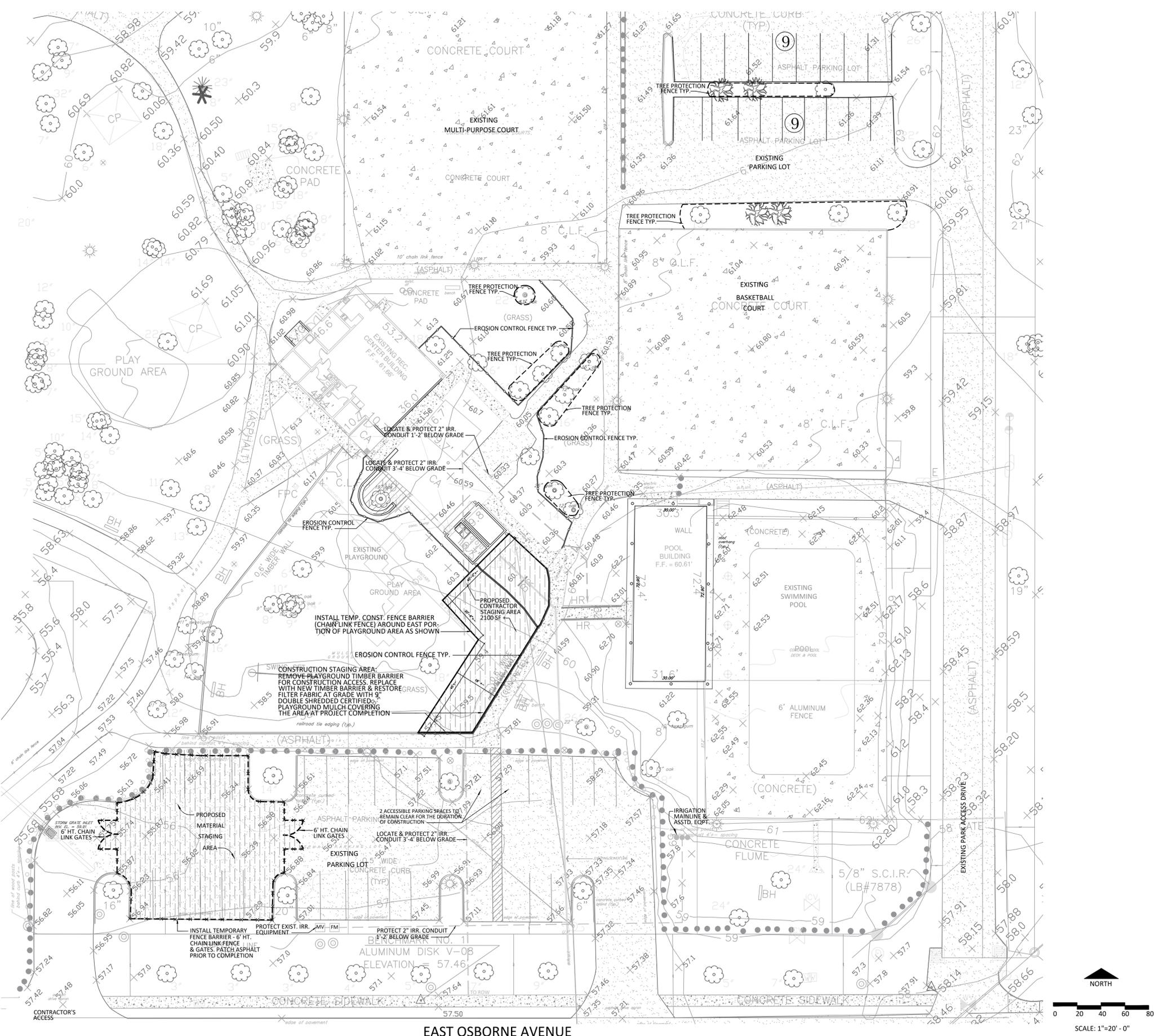
L-1.0

X OF X

GENERAL NOTES

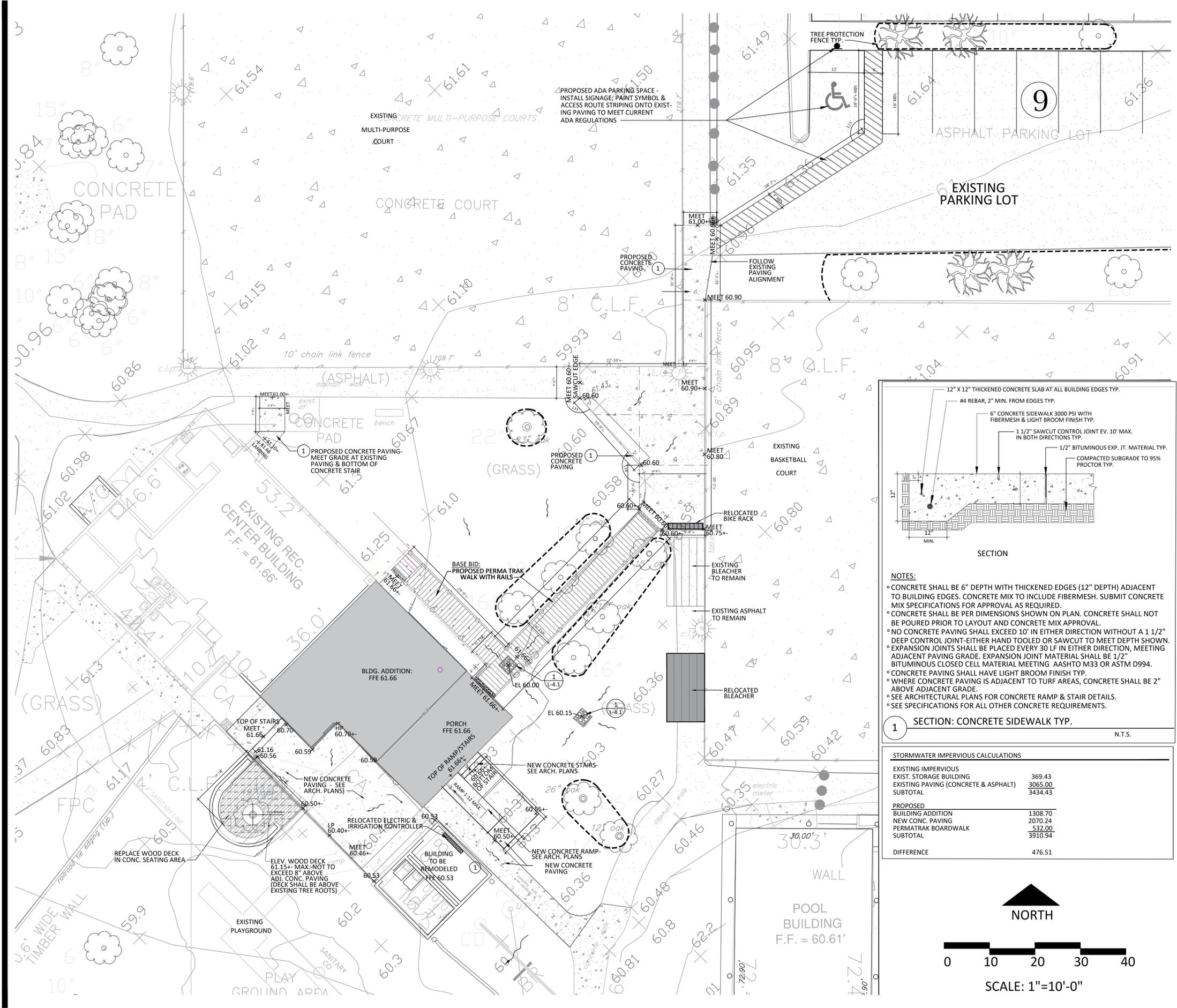
KEY NOTES

- PROPERTY IS LOCATED IN FLOOD ZONE X.
- ELEVATIONS SHOWN ARE REFERENCED TO THE NATIONAL GEODETIC SURVEY (NGS) NAV88 DATUM.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE LOCATED WITHIN THE SILT FENCE BOUNDARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES - PUBLIC AND PRIVATE - PRIOR TO DEMOLITION, EXCAVATION OR REMOVAL WORK. UTILITY LOCATION COST TO BE INCLUDED IN BID PRICE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING APPROVED SILT FENCE, TREE PROTECTION FENCE, AND STAGING AREA FENCE. ALL FENCINGS SHALL BE MAINTAINED IN PLACE FOR THE DURATION OF THE PROJECT UNTIL FINAL ACCEPTANCE.
- ALL TURF AREAS DISTURBED BY CONSTRUCTION SHALL BE SODDED WITH 'ARGENTINE BAHIA', FRESHLY CUT, IN 18" X 24" PIECES, HEALTHY, FREE OF INSECTS, WEEDS OR DISEASES. SOD SHALL BE LAID LEVEL TO EXISTING TURF AREAS, AND MEET ADJACENT PAVED SURFACES. SOD SHALL BE LAID WITH TIGHT SEAMS, WATERED IMMEDIATELY AND ROLLED TO SMOOTH, EVEN GRADE. AFTER WATERING, SOD SHALL BE TOP DRESSED WITH A COMMERCIAL SOD FERTILIZER PER MANUFACTURER'S REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING NEWLY SODDED AREAS (INCLUDING MOWING AND WEED CONTROL) UNTIL PROJECT HAS ACHIEVED FINAL ACCEPTANCE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, AND SHALL COMPLY WITH ALL LOCAL AND STATE CONSTRUCTION AND STORMWATER REQUIREMENTS.



EAST OSBORNE AVENUE

WILLIAMS PARK
 ACTIVITY CENTER
 EXPANSION



GENERAL NOTES

KEY NOTES

- ELEVATIONS SHOWN ARE REFERENCED TO THE NATIONAL GEODETIC SURVEY (NGS) NAV88 DATUM.
- ALL SURFACES SHALL BE GRADED FOR POSITIVE DRAINAGE AS SHOWN.
- ALL DISTURBED AREAS SHALL EITHER BE PAVED OR SODDED WITH 'ARGENTINE BAHIA' TO PREVENT SOIL EROSION.
- CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF PERMATRAK BOARDWALK SHALL BE EXPERIENCED IN SITE WORK, DRAINAGE, AND CONSTRUCTING SITE AMENITIES TO EXACT ELEVATION DETAIL. THE COST OF ALL EQUIPMENT NEEDED FOR CONSTRUCTION SHALL BE INCLUDED IN THE CONTRACTOR'S BID PRICE.
- ALL DISTURBED AREAS SHALL MEET EXISTING GRADE AT EDGES WITHOUT TRIP HAZARDS, TO MEET ADA REQUIREMENTS.
- ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CITY OF TAMPA PROJECT INSPECTION STAFF FOR RESOLUTION.
- SEE SPECIFICATIONS FOR ALL OTHER CITY OF TAMPA REQUIREMENTS.



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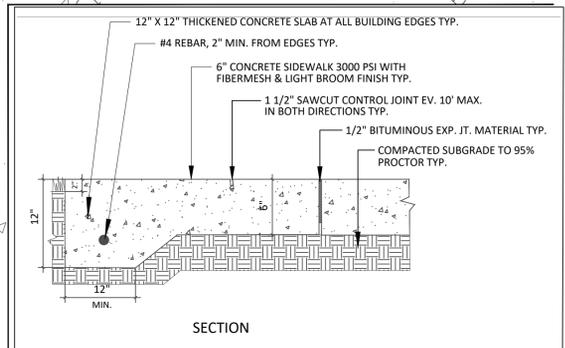


GRADING AND PAVING PLAN

SHEET NUMBER

L-3.0

OF



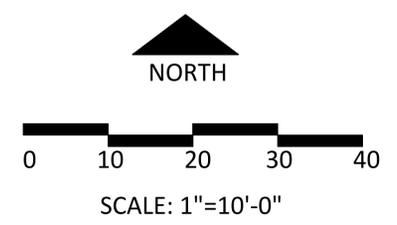
NOTES:

- CONCRETE SHALL BE 6" DEPTH WITH THICKENED EDGES (12" DEPTH) ADJACENT TO BUILDING EDGES. CONCRETE MIX TO INCLUDE FIBERMESH. SUBMIT CONCRETE MIX SPECIFICATIONS FOR APPROVAL AS REQUIRED.
- CONCRETE SHALL BE PER DIMENSIONS SHOWN ON PLAN. CONCRETE SHALL NOT BE Poured PRIOR TO LAYOUT AND CONCRETE MIX APPROVAL.
- NO CONCRETE PAVING SHALL EXCEED 10' IN EITHER DIRECTION WITHOUT A 1 1/2" DEEP CONTROL JOINT - EITHER HAND TOOLED OR SAWCUT TO MEET DEPTH SHOWN.
- EXPANSION JOINTS SHALL BE PLACED EVERY 30 LF IN EITHER DIRECTION, MEETING ADJACENT PAVING GRADE. EXPANSION JOINT MATERIAL SHALL BE 1/2" BITUMINOUS CLOSED CELL MATERIAL MEETING AASHTO M33 OR ASTM D994.
- CONCRETE PAVING SHALL HAVE LIGHT BROOM FINISH TYP.
- WHERE CONCRETE PAVING IS ADJACENT TO TURF AREAS, CONCRETE SHALL BE 2" ABOVE ADJACENT GRADE.
- SEE ARCHITECTURAL PLANS FOR CONCRETE RAMP & STAIR DETAILS.
- SEE SPECIFICATIONS FOR ALL OTHER CONCRETE REQUIREMENTS.

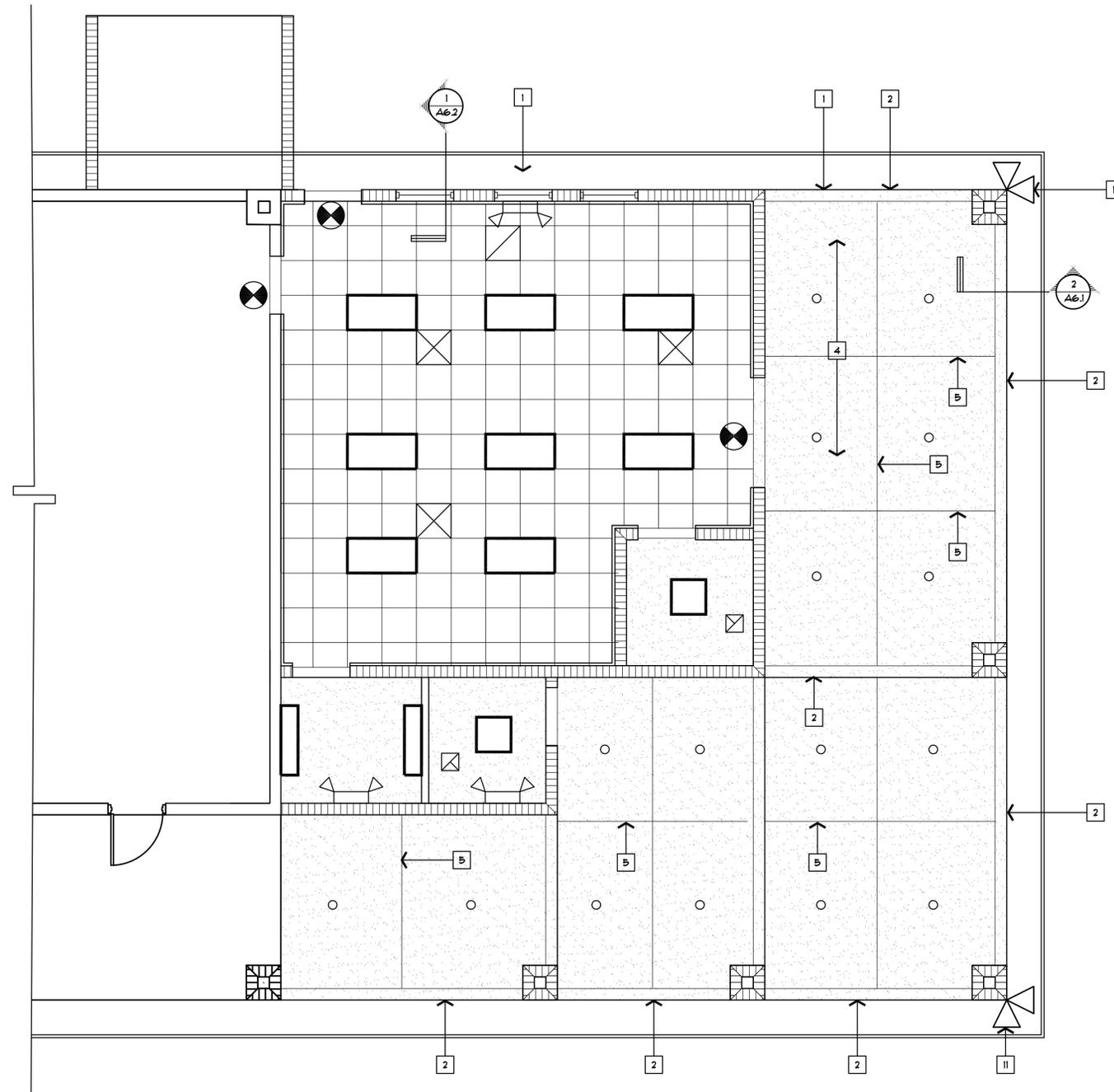
1 SECTION: CONCRETE SIDEWALK TYP.

STORMWATER IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS	
EXIST. STORAGE BUILDING	369.43
EXISTING PAVING (CONCRETE & ASPHALT)	3065.00
SUBTOTAL	3434.43
PROPOSED	
BUILDING ADDITION	1308.70
NEW CONC. PAVING	2070.24
PERMATRAK BOARDWALK	532.00
SUBTOTAL	3910.94
DIFFERENCE	476.51



**WILLIAMS PARK
 ACTIVITY CENTER
 EXPANSION**



REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



LEGEND

-  1X4 FLUORESCENT LIGHT
-  2X4 FLUORESCENT LIGHT
-  2X2 FLUORESCENT LIGHT
-  RECESSED LIGHT FIXTURE
-  2X2 SUSPENDED CEILING SYSTEM
-  GYPSUM BOARD SUSPENDED CEILING
-  CEILING DIFFUSER SUPPLY
-  RETURN AIR
-  EXHAUST FAN
-  SPEAKER
-  SMOKE DETECTOR
-  FIRE SFRINKLER
-  FIRE EXIT

GENERAL NOTES

KEY NOTES

- 1 NOT USED
- 2 BUILT -UP LINTEL W/ 3/4" CEMENT PLASTER FINISH (SEE ROOF FRAMING PLAN FOR DETAIL).
- 3 NOT USED
- 4 3/4" CEMENT PLASTER ON 3/8" PAPER-BACK RIB LATH ATTACHED DIRECTLY TO WOOD TRUSSES AND WOOD FRAMING.
- 5 CEMENT PLASTER CONTROL JOINT.
- 6 ACOUSTICAL TILE.
- 7 G.W.B. OVER WALL FRAMING. REFER TO FLOOR PLAN TO MATCH WALL TYPE.
- 8 CORNER BEAD TYPICAL.
- 9 CEILING FRAME SUSPENSION FOR ACOUSTICAL TILE.
- 10 WALL ANGLE FOR CEILING SYSTEM.
- 11 FLOOD LIGHTS WITH SENSOR @ EACH CORNER (SEE ELEC. DWGS.)
- 12 EXISTING VINYL SOFFIT TO REMAIN
- 13 ACOUSTICAL CEILING
- 14 5/8" GYP. BD. ON 3 5/8" METAL STUD FRAMING 24" O.C.
- 15 CORNER BEAD

REFLECTED CEILING PLAN



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ISSUE DATE
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DRAWN BY
 JERRY P. SANDERS

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SEAL



SCALE: VARIES

SHEET NUMBER

A-4.1

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WILLIAMS PARK COMMUNITY ADDITION
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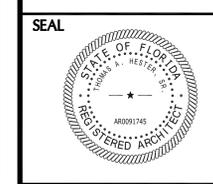
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SCALE: VARIES

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A-5.1

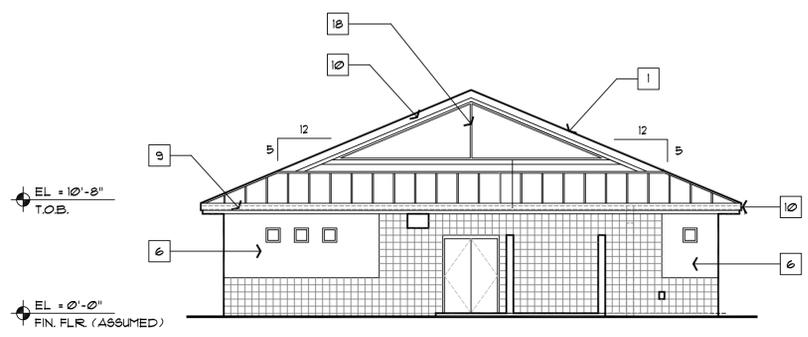
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GENERAL NOTES

EXISTING ELEVATIONS FOR COORDINATION SEE KEYNOTES 1, 9, 12, 16, 17, 18, 24

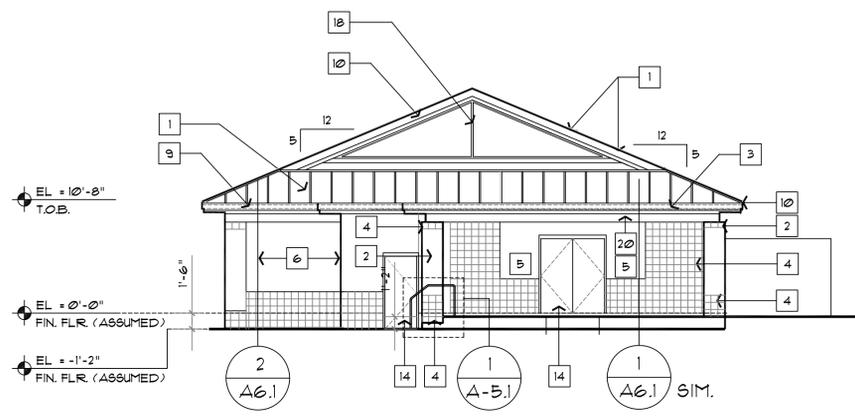
KEY NOTES

- 1 REMOVE EXISTING STANDING SEAM METAL ROOF. NEW ROOF TO MATCH ADDITION.
- 2 24" X 24" CONC. BLOCK COLUMN PAINTED W/ ELASTOMERIC PAINT.
- 3 24" X 36" LOUVER SEE MECHANICAL DRAWINGS
- 4 EXPOSED 8 X 16 SPLIT FACE CMU, INTEGRALLY COLORED W/ CONCAVE JOINTS
- 5 EXPOSED 8 X 16 SMOOTH FACE CMU, W/ CONCAVE HORIZONTAL JOINTS AND FLUSH VERTICAL JOINTS, PAINTED
- 6 EXISTING CONCRETE BLACK, PAINT TO MATCH ADDITION.
- 7 TOOTH EXPOSED 8X16 SPLIT FACE INTEGRALLY COLORED SINGLE CMU.
- 8 FILLED CELL # 5 VERT. # CHANGE OF CMU TEXTURE
- 9 REMOVE WHEN NEW CONSTRUCTION ADJOINS COORDINATE IN FIELD.
- 10 EXISTING PAINTED FASCIA REPAIR TO MATCH ADDITION.
- 11 PROJECTED WINDOWS WITH ALUM. FILL FINISH SUN BURST.
- 12 EXISTING WINDOW TO BE REMOVED
- 13 EXISTING A/C ENCLOSURE REPAIR TO MATCH ADDITION.
- 14 PAINTED METAL DOORS WITH FULL WEATHER STRIP.
- 15 PAINTED METAL DRIP TO MATCH ABOVE DOOR IN FULL BED OF SEALANT
- 16 NEW STANDING SEAM METAL ROOF.
- 17 EXISTING FRESH AIR LOUVER TO BE RELOCATED.
- 18 NOT USED
- 19 NOT USED
- 20 EXTEND 3/4" STUCCO BAND TO SPLIT FACE BLOCK
- 21 NOT USED
- 22 NOT USED
- 23 3/4" STUCCO FINISH ON BUILT-UP LINTEL



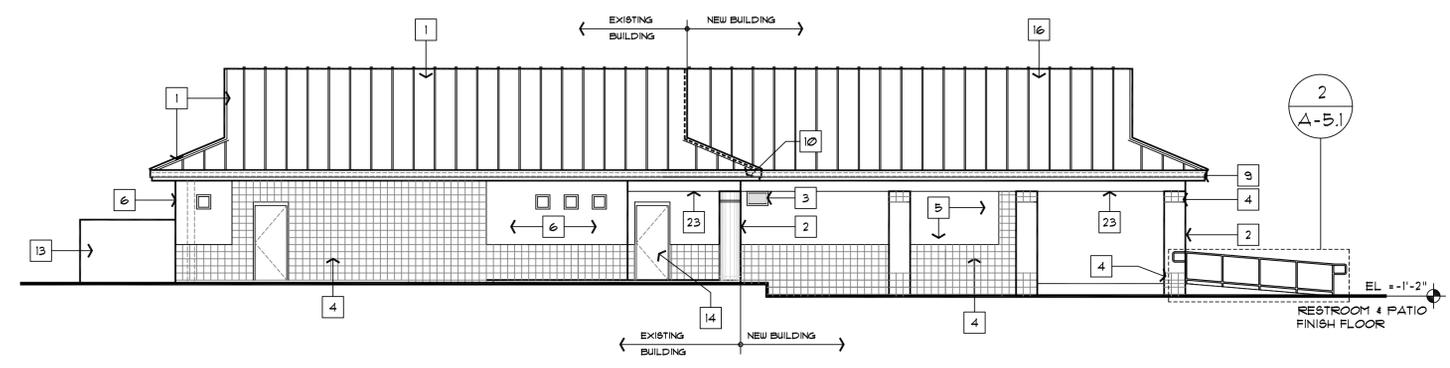
WEST ELEVATION

SCALE: 1/8" = 1'-0"



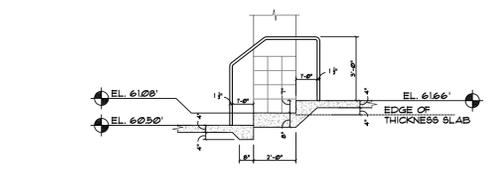
EAST ELEVATION

SCALE: 1/8" = 1'-0"



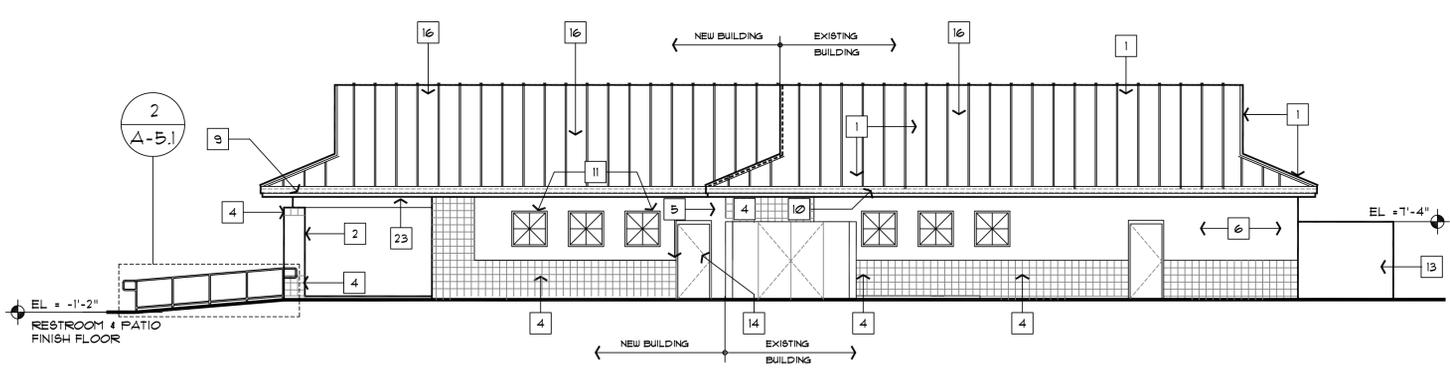
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



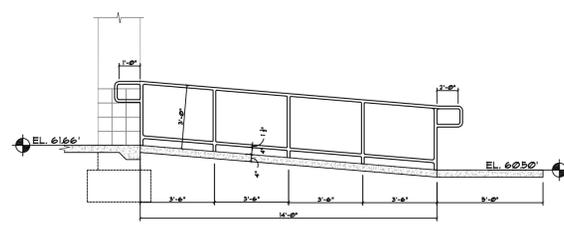
1 HANDRAIL ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



2 HANDRAIL ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

CONTRACT 18-C-00025; Williams Park Activity Center Expansion - Pre-Bid Mtg. July 24, 2018; 10:30 am.

E-Mail to Register as a Plan Holder and E-Mail All Questions to; ContractAdministration@tampagov.net

Sign-In Sheet Please Print

City of Tampa, Contract Administration Department

	Name	Organization	E-Mail OR Phone
1	Jim Greiner, PE	Tampa Contract Administration Dept.	Jim.Greiner@tampagov.net
3	Bill Cooper	Shearer Companies, Inc	billc.shearerco@gmail.com
4	CHARLES KINDER	Commercial Interiors	charliecommintinc@aol.com
5	KYLE STANTON	PARK AND ELEAZER CONSTRUCTION	KYIC@parkeleazer.com
6	Angel Wood - Mark	Phinazee Construction	awm@phinazeeconsulting.com
7	Brian Buens	RL Buens Inc.	BBuens@RLBuensInc.com
8	Doug Edgington	RE Crawford	dledgington@RECFORD.com
9	Lewie Hunter	JPR Universal Const	lewie@fortezzaconstruction.com
10	Jeremy Warner	Loma Construction	jeremywarner@msu.cca
11	Dan Murphy	Independence Plyding	danmurphy@indcc.com
12	Peg Borz	COT - Parks & Rec	peg.borz@tampagov.net
13	MARK NEUBERG	LOT P&R	mark.neuberges@Tampagov.net
14	Thomas A Hester, SR.	Contract Administration COT	thomas.hester@tampagov.net
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