



CITY OF TAMPA

Jane Castor, Mayor

CONTRACT ADMINISTRATION DEPARTMENT

Michael W. Chucran, Director

ADDENDUM 1

DATE: January 17, 2020

Contract 20-C-00005; Remote Storage Tank Improvements – Interbay

Bidders on the above referenced project are hereby notified that the following addendum is made to the Contract Documents. BIDS TO BE SUBMITTED SHALL CONFORM TO THIS NOTICE.

Item 1: The bid opening date is hereby changed to January 28, 2020.

Item 2: A second site visit has been scheduled for Wednesday, January 22, 2020, 10:00 AM at 3710 West Wisconsin Avenue, Tampa, FL 33611.

Item 3: In Bid Specifications Section 09900 PAINTING: delete 1.04 A. 2. and 1.06 B. SSPC QP.

Item 4: In Bid Specifications Section 09900 PAINTING, 1.04 A. 1., 1st sentence: replace "The contractor" with "The painting contractor".

Item 5: In Bid Specifications Section 01505 MOBILIZATION, 1.01 A. 8., after 1st sentence add the following: "The City has obtained the required Building Permit from the City of Tampa Construction Services Division (CSD) and verified that Department of Health Permit is not required for this project. The CSD permit will be provided to the awarded Contractor."

Item 6: Replace Proposal page P-2 with the attached page P-2R.

Item 7: In Bid Specifications Section 01014 SEQUENCE OF CONSTRUCTION, 1.01 D. 4.: Replace "plug valve" with "butterfly valve".

Item 8: Attached for reference is a copy of the most recent report for inspection performed on the Interbay Tank.

Item 9: Attached is a copy of the pre-bid meeting sign-in sheet.

All other provisions of the Contract Documents and Specifications not in conflict with this Addendum shall remain in full force and effect. Questions are to be e-mailed to Contract Administration@tampagov.net.

Jim Greiner

Jim Greiner, P.E., Contract Management Supervisor

306 E. Jackson Street, 4N • Tampa, Florida 33602 • (813) 274-8456 • FAX: (813) 274-8080



Itemized Bid Sheet						
Item	Description	Approx. Quantity	Unit	Unit Price in Words	Unit Price	Total Price
1	General Conditions	1	LS		\$	\$
2	Mobilization/Demobilization	1	LS		\$	\$
3	Permitting, Bonds, and Insurance	1	LS		\$	\$
Tank Coating						
4	Exterior Tank and Ladder Surface Preparation and Coating	8,000	SF		\$	\$
5	Interior Tank and Ladder Surface Preparation and Coating (approx. 51,000 sf)	1	LS		\$	\$
6	Disinfection and Testing	1	LS		\$	\$
Mechanical Improvements						
7	Removal of Altitude Control Valve and Installation of Owner-Provided Sleeve Valve	1	LS		\$	\$
8	Removal and Replacement of 24" Valves, Installation of Dismantling Joint and Spool Pieces	1	LS		\$	\$
9	Removal and Replacement of 24-inch Yard Piping and Isolation Valves	1	LS		\$	\$
10	Concrete Pad Removal and Replacement	1	LS		\$	\$
11	Column Wear Plate Installation	37	EA		\$	\$
12	Contingency			One Hundred Ten Thousand Dollars and Zero Cents	\$ 110,000	\$ 110,000
					Subtotal Base Bid	
Alternate						
13	Sleeve Valve Electrical and Programming	1	LS		\$	\$
14	Interior Tank - Wall Coating and Surface Preparation (areas not coated in Bid Item #5)	1	LS		\$	\$
15	Exterior Tank - Full Fluoropolymer Coating (areas not coated in Bid Item #4)	1	LS		\$	\$
17	Alternate Contingency			Fifty Three Thousand Four Hundred Dollars and Zero Cents	\$ 53,400	\$ 53,400
					Subtotal Alternate	
					Total: Base Bid + Alternate	

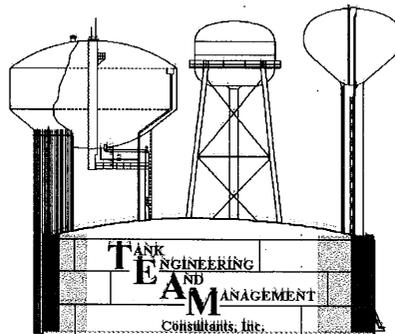
ABOVEGROUND WATER STORAGE TANK INSPECTION REPORT

**CITY OF TAMPA
INTERBAY**

**5,000,000 GALLON ABOVEGROUND
WATER STORAGE TANK**

TAMPA, FLORIDA

JANUARY 2015



PO Box 889 ♦ 4000 STATE ROAD 60 EAST
MULBERRY, FLORIDA 33860
(863) 354-9010 ♦ (863) 648-4988 FAX



January 2015

City of Tampa Water Dept.
7125 N. 30th Street
Tampa, FL 33610

RE: Interbay Aboveground Storage Tank
163' dia. x 33' high – 5 Million Gallons

Gentlemen:

As authorized by the City of Tampa Water Department, *Tank Engineering and Management Consultants, Inc.* (TEAM) has performed an assessment inspection of the above-referenced 5,000,000-Gallon Water Storage Tank. This report represents the results of that inspection.

This inspection was performed on January 27th, 28th, and 29th, 2015 by Jeff Beaman of *Tank Engineering And Management (TEAM) Consultants*. The tank was empty upon our arrival at the site. The tank interior was washed out by TEAM personnel. The inspection was performed in accordance with AWWA Manual M42 Appendix "C" Standards and Florida DEP Rule 62-555. Photographs are included at the end of this report.

HISTORY:

This tank is a 5,000,000-gallon flat bottom, cone roof, steel tank, built in 1958 by Chicago Bridge and Iron. The original nametag was found on the tank. The following information was taken from the nameplate or observed:

Manufacturer:	Chicago Bridge & Iron, Contract No. 7-6341
Year Built:	1958
Tank Diameter:	163 Ft.
Tank Height:	33 Ft.
Nominal Capacity:	5,000,000 Gallons (U.S.)
No. Shell Courses:	4
Plate Material:	Unknown
Design:	Unknown
Specific Gravity:	1.0
Type Fixed Roof:	Toroconical
Product Stored:	Potable Water

INSPECTION SUMMARY:

The overall structural condition of this tank is good. However, areas of minor corrosion were noted on roof rafters and floor plates. Some coating repairs should be planned on the interior of the tank at the next out-of-service for inspection or repairs.

TANK INTERIOR:

Structural:

The interior of the tank was washed out by TEAM personnel. The tank bottom appears to be in good overall structural condition. However, there are areas of pitting up to 0.088" deep that were observed on the tank floor.

Interior Coating:

The interior coating of this tank is in good condition. However, there is some minor corrosion present on the roof rafters, floor plates and beneath some of the roof column base plates.

TANK EXTERIOR:

Structural:

The tank shell and roof appear to be in good overall structural condition.

Exterior Coating:

The exterior coating is in good overall condition with isolated areas of peeling paint with minor corrosion on the shell and chime.

ACCESSORIES:

This tank is equipped with the following accessories and appurtenances:

1. INLET PIPE: One (1) 24" steel pipe. The pipe appears to be in good condition.
2. OUTLET PIPE: One (1) 24" steel pipe. The pipe appears to be in good condition.
3. SHELL MANWAYS: Four (4) 30" diameter manways. The manways appear to be in good condition. The davit arms have peeling paint with minor corrosion.
4. SUMP: One (1) 96" diameter x 24" deep sump. The sump appears to be in good condition with minor areas of peeling paint and minor corrosion.
5. OVERFLOW: One (1) 12" Overflow. The overflow appears to be in good condition.

6. LADDERS:

One (1) interior ladder – Good condition. Constructed of steel, this ladder is equipped with a rail-type fall protection device. The fall protection device has minor corrosion throughout. The ladder rungs are not skid proof.

One (1) exterior tank ladder – Good condition. Constructed of steel, this ladder is not equipped with a fall protection device. The ladder rungs are not skid proof.

7. ROOF MANWAY: One 24" square manway on the roof of this tank. The manway is in good condition.

8. ROOF VENT: One 12" diameter roof vent. The roof vent is in good condition.

ENVIRONMENTAL:

The interior of the tank was washed out and re-sterilized during this inspection by TEAM.

RECOMMENDATIONS:

Structural:

Wear plates should be installed beneath the column bases to prevent further corrosion in this hard-to-paint area.

Coating:

1. EXTERIOR: The areas of the shell and chime that have peeling paint with minor corrosion should be thoroughly cleaned and re-coated.
2. INTERIOR: At the next convenient out-of-service period we recommend prepping and re-coating the interior roof rafters and corrosion spots on the floor.
3. LADDER SAFETY: Coat the rungs with a non-skid coating.

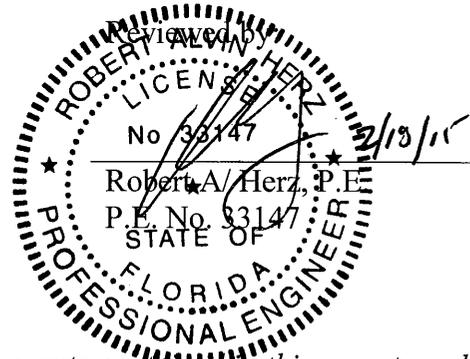
ECONOMIC CONSIDERATIONS:

- A. The estimated cost to install wear plates beneath the column bases per the recommendation contained herein would be\$50,000
- B. The estimated cost to prepare and paint the internal steel rafters per the recommendation contained herein would be\$20,000

We appreciate the opportunity to perform this inspection service for you. Following the recommended repairs, we recommend having this tank inspected every three years to keep abreast of the condition of the tank interior. If you should have any questions regarding the information contained in this report, please do not hesitate to contact us.

Written by:

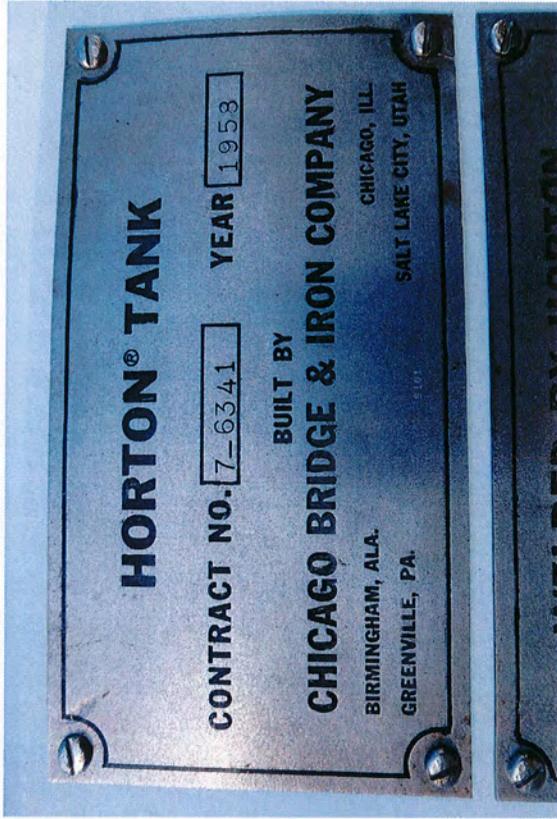

Jeffrey A. Beaman
API-653 Certified Storage Tank Inspector



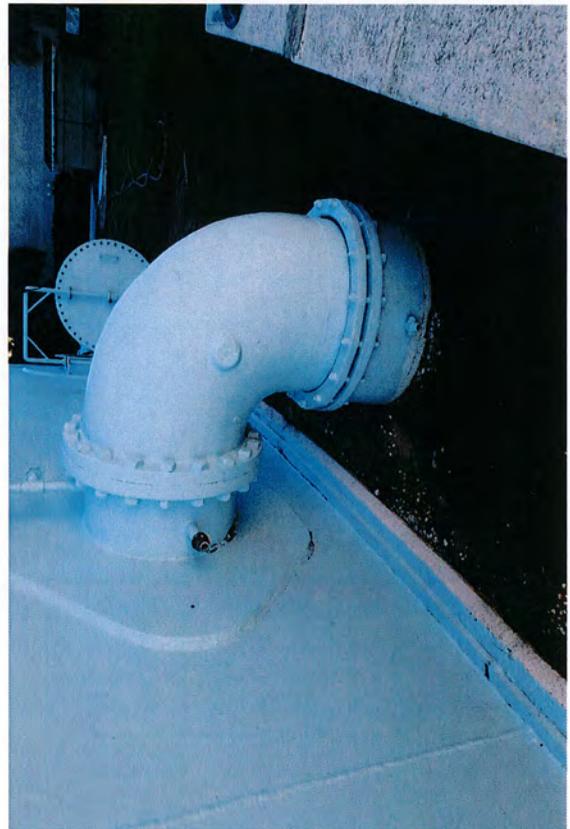
This report, the conclusions, recommendations, and comments contained in this report are based upon spot examinations from readily accessible parts of the tank. Should latent defects or conditions which vary significantly from those described in the report be discovered at a later date, these should be brought to the attention of a qualified individual at that time. These comments and recommendations should be viewed as information to be used by the Owner in determining the proper course of action and not to replace a complete set of specifications. All repair and maintenance work should be done in accordance with AWWA Standard D110, D115, and D102. The preparation of specifications, project management, and the inspection of repairs and rehabilitation projects for water storage tanks is a specialized field and it is our recommendation that the Owner consider the use of engineers and technicians qualified by education and experience to handle these projects.



1. Tank Overall.



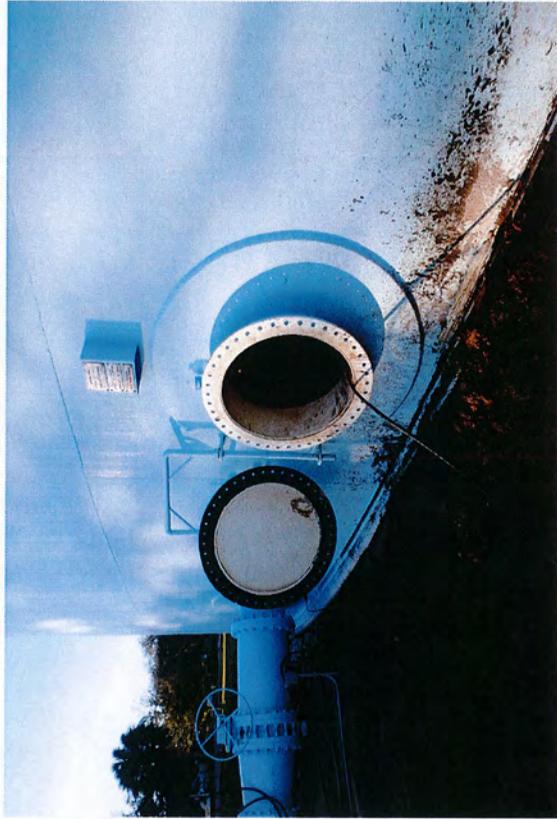
2. Tank Nameplate.



3. Outlet Nozzle.



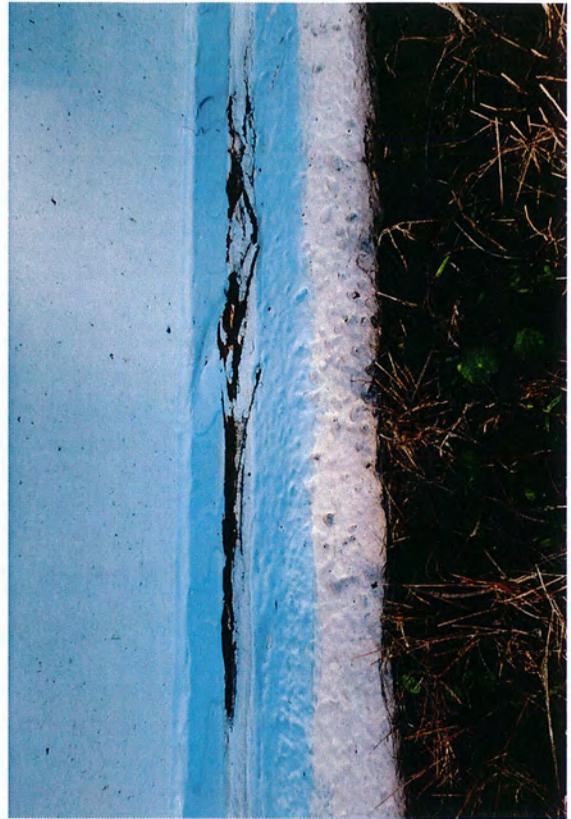
4. Inlet Nozzle.



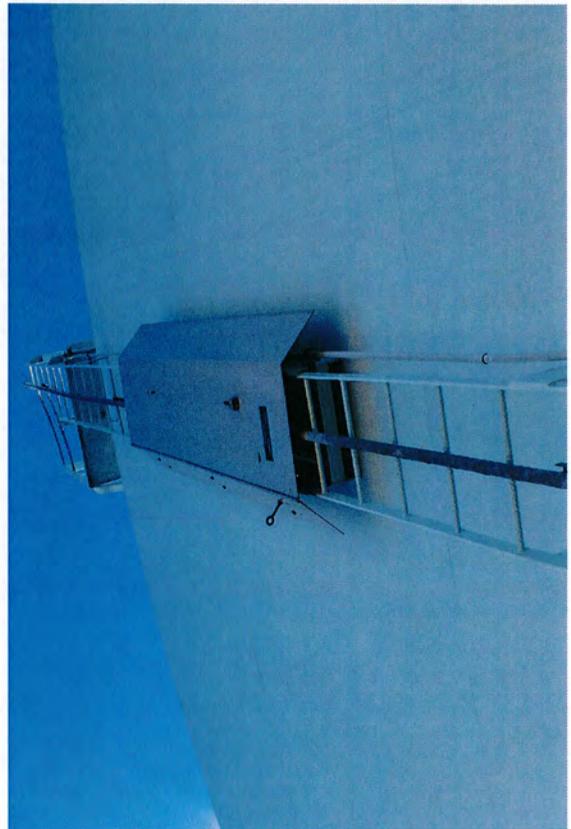
6. Manway,



5. Shell Nozzle.



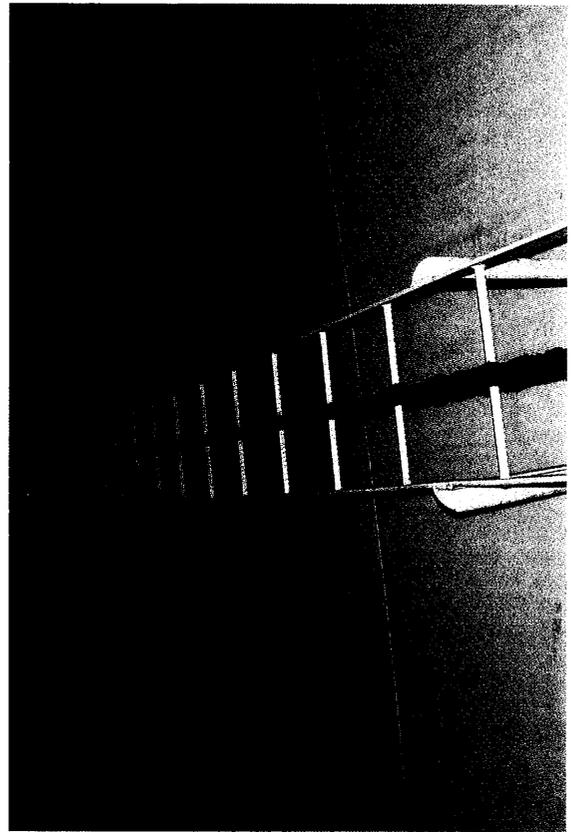
8. Area Of Corrosion on Tank Chime.



7. Exterior Ladder.



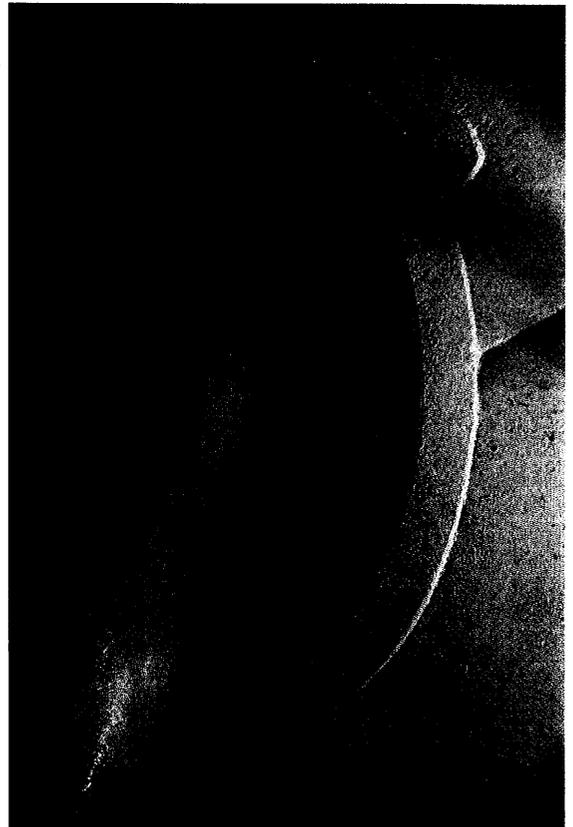
10. Roof Rafters.



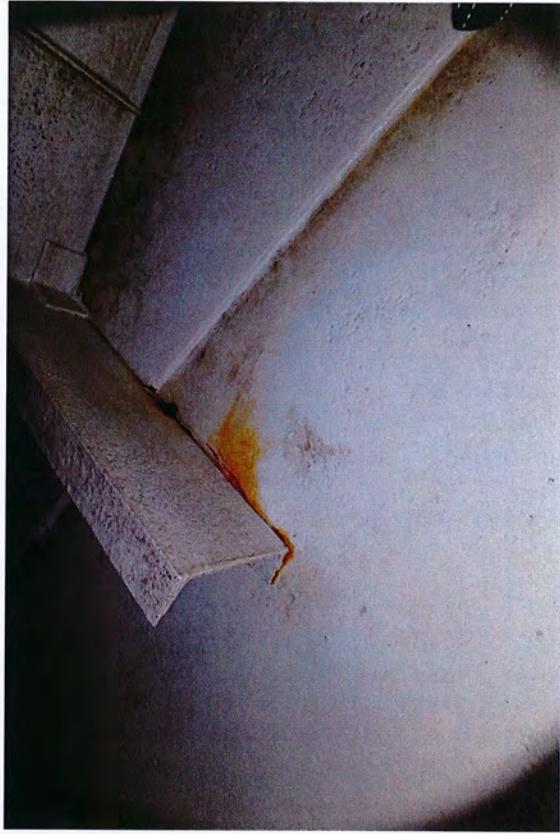
12. Interior Ladder.



9. Interior Overall.



11. Tank Sump.



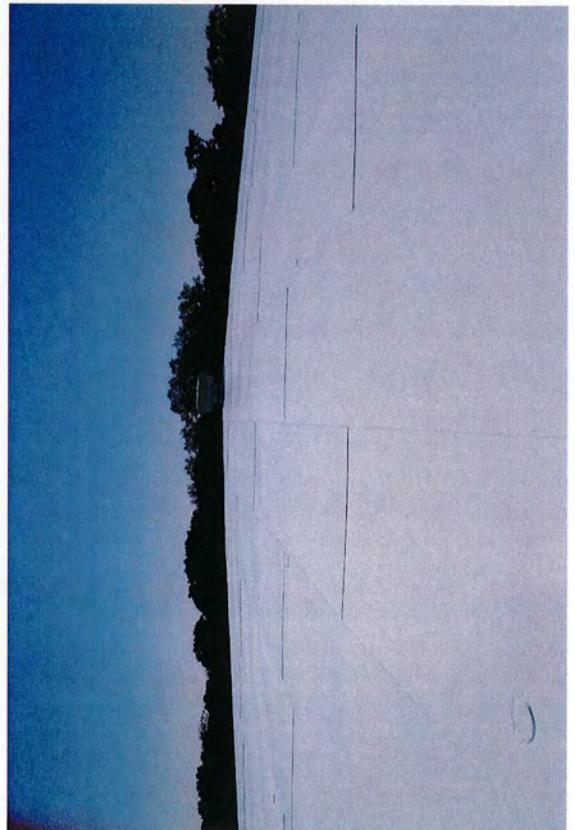
14. Corrosion Deposits Beneath Column Base.



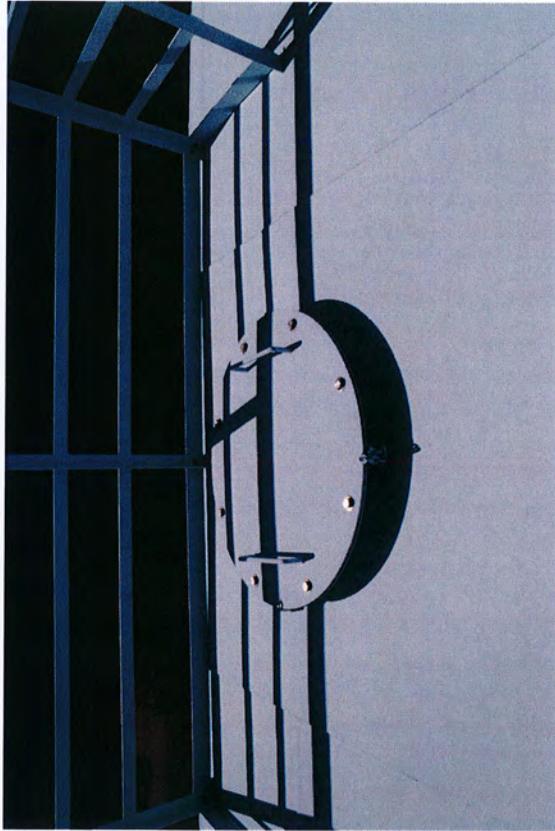
13. Area of Pitting on Tank Bottom.



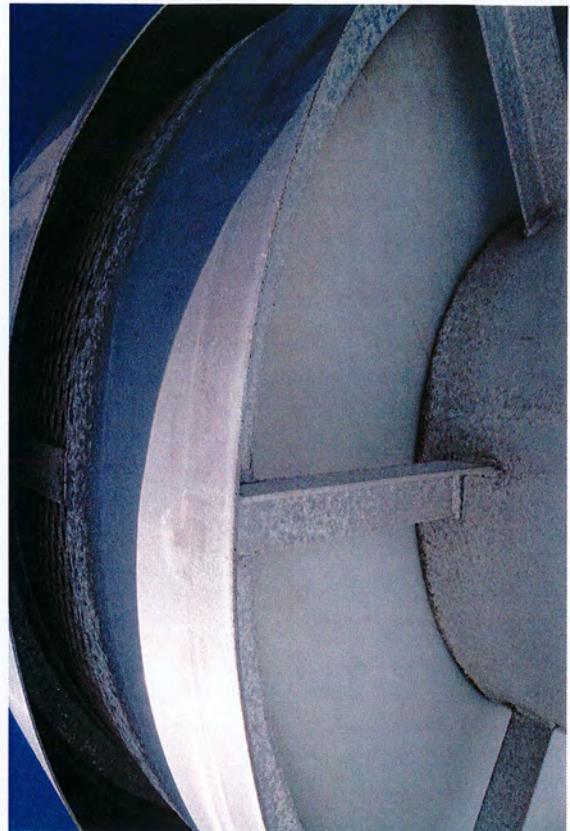
16. Platform.



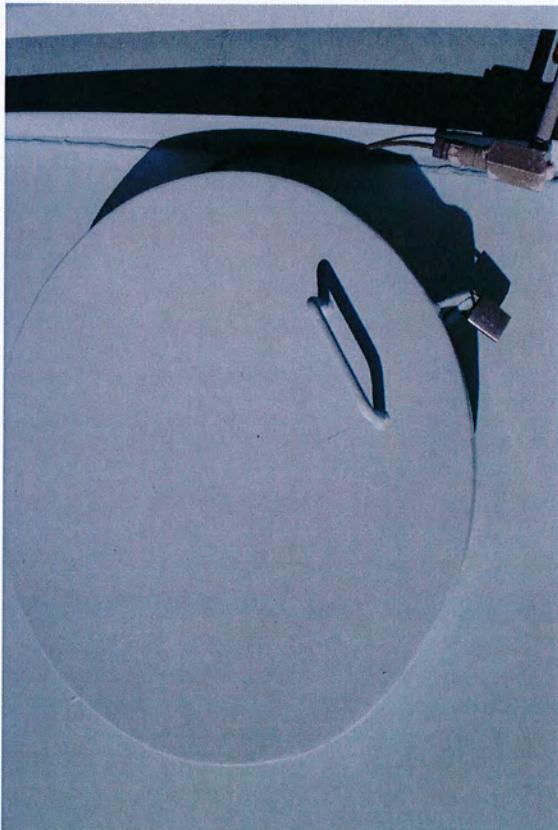
15. Roof Overall



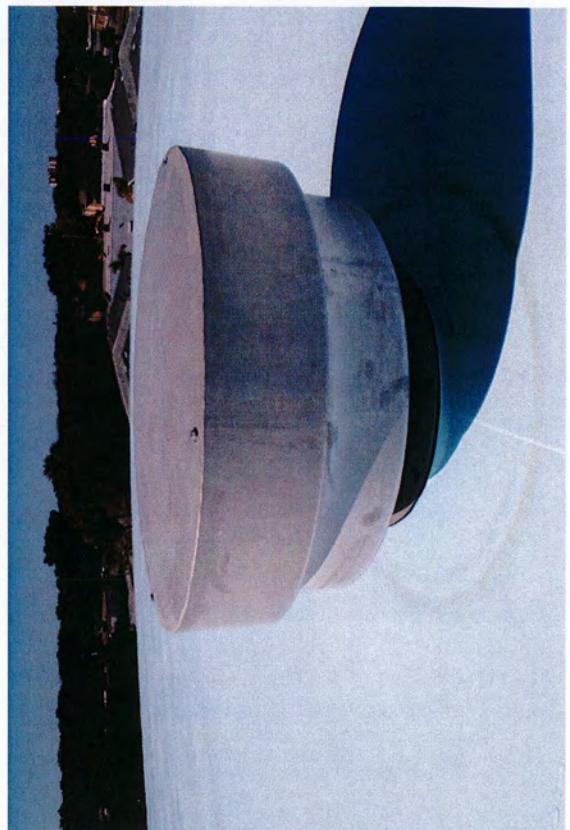
18. Roof Manway.



20. Underside Roof Vent.



17. Roof Access Hatch.



19. Roof Vent.

E-Mail to Register as a Plan Holder and E-Mail All Questions to: ContractAdministration@tampagov.net

Sign-In Sheet Please Print

City of Tampa, Contract Administration Department

	Name	Organization	E-Mail OR Phone
1	Jody Gray	Tampa Contract Administration Dept.	jody.gray@tampagov.net
2	Andrew McNott	Mation Co.	andrew@mationconstruction.com
3	Ray McNamee	COT Water	ray.mckenna@tampagov.net
4	FRANK WOODRHO	COT CAT	FRANK.WOODRHO@TAMPAGOV.NET
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