



City of Tampa

Jane Castor, Mayor

Contract Administration
Michael W. Chucran, Director

306 East Jackson Street, 4N
Tampa, FL 33602

Office (813) 274-8116
Fax: (813) 274-7368

ADDENDUM 1

Via E-Mail

DATE: July 17, 2020

Contract 19-C-00018; E. Columbus Drive from N Nebraska Ave (SR45) to 14th St. Bike Lane/Sidewalk –
FDOT LAP

Bidders on the above referenced project are hereby notified that the following addendum is made to the
Contract Documents. BIDS TO BE SUBMITTED SHALL CONFORM TO THIS NOTICE.

Item 1: Replace the Plans with the attached Plans.

Item 2: Replace Plans Sheets 1 and 2A with the attached Plans Sheets 1 and 2A.

Item 3. Attached is a Contamination Locator Map and three Assessment Reports.

All other provisions of the Contract Documents and Specifications not in conflict with this Addendum
shall remain in full force and effect. Questions are to be e-mailed to Contract
Administration@tampagov.net.

Jim Greiner

Jim Greiner, P.E., Contract Management Supervisor

CONTRACT PLANS COMPONENTS

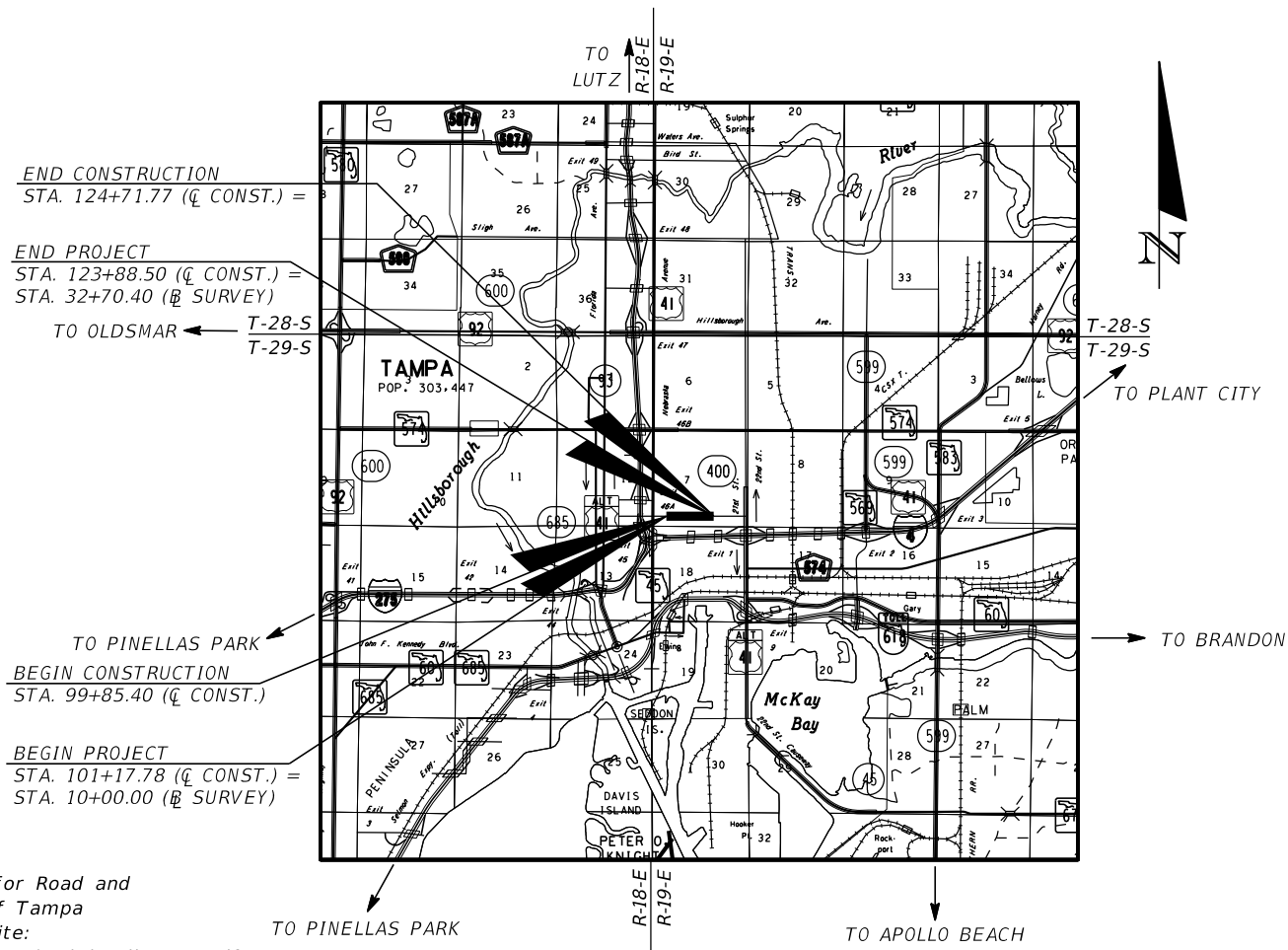
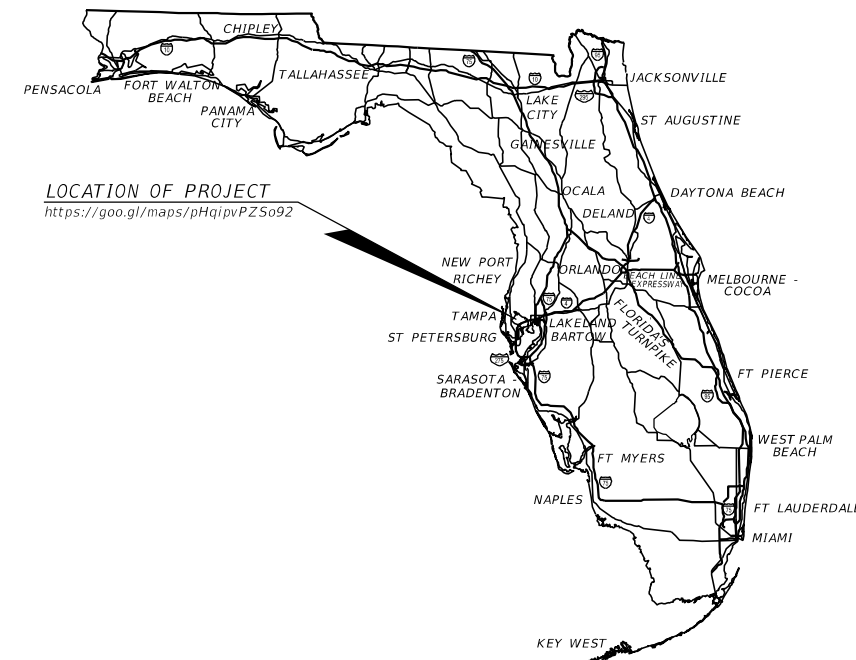
- ROADWAY PLANS
- SIGNING AND PAVEMENT MARKING PLANS
- SIGNALIZATION PLANS
- LANDSCAPE ARCHITECTURE PLANS
- UTILITY WORK BY HIGHWAY CONTRACTOR AGREEMENT PLANS

INDEX OF ROADWAY PLANS

SHEET NO.	SHEET DESCRIPTION
1	KEY SHEET
2	SIGNATURE SHEET
3	SUMMARY OF PAY ITEMS
4 - 5	TYPICAL SECTION
6 - 7	TYPICAL SECTION DETAILS
8 - 10	SUMMARY OF DRAINAGE STRUCTURES
11	PROJECT CONTROL
12	GENERAL NOTES
13 - 17	ROADWAY PLANS
18 - 22	ROADWAY PROFILES
23 - 43	DRAINAGE STRUCTURES
44 - 46	DRAINAGE DETAILS
47 - 49	TREE WELL DETAILS DATA TABLE
50 - 54	INTERSECTION LAYOUTS
55 - 63	GRADING DETAILS
64 - 83	CROSS SECTIONS
84 - 99	DRIVEWAY HALF-SECTIONS
100 - 101	TEMPORARY TRAFFIC CONTROL PLANS
102 - 106	UTILITY ADJUSTMENTS
SQ-1 - SQ-13	SUMMARY OF QUANTITIES

STATE OF FLORIDA
CITY OF TAMPA
WALK-BIKE LAP PROJECT

CITY PROJECT NO. 1001221
FINANCIAL PROJECT ID 436639-1-58-01
(FEDERAL FUNDS)
HILLSBOROUGH COUNTY
E COLUMBUS DR FROM N NEBRASKA AVE (SR45) TO 14TH ST



CONSTRUCTION PLANS
MARCH 2020

ROADWAY PLANS
ENGINEER OF RECORD:
JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
(813) 978-8688
CERTIFICATE OF AUTHORIZATION 4356

PROJECT MANAGER:
NINA MABILLEAU, E.I.

GOVERNING STANDARD PLANS:

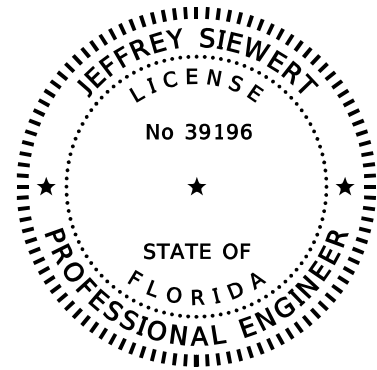
Florida Department of Transportation, FY 2019-20 Standard Plans for Road and Bridge Construction, applicable Interim Revisions (IRs), and City of Tampa Stormwater Standards: Which can be found at the following web site:
<https://www.tampagov.net/sites/default/files/stormwater/files/sw-standard-details-2019.pdf>
For the City of Tampa Water Department Engineering Standard Details can be found at the following web site:
https://www.tampagov.net/sites/default/files/water/files/technical_standard_details_0.pdf
For the City of Tampa Wastewater Department Technical Standards Guideline for Construction of Wastewater Facilities, go to the web page site:
https://www.tampagov.net/sites/default/files/wastewater/files/TECHNICAL_STANDARDS_GUIDELINE_FOR_CONSTRUCTION_OF_WASTEWATER_FACILITIES_JULY_2014_VERSION_6.PDF

Standard Plans for Road Construction and associated IRs are available at the following website: <http://www.fdot.gov/design/standardplans>

GOVERNING STANDARD SPECIFICATIONS:

Florida Department of Transportation, January 2020 Standard Specifications for Road and Bridge Construction at the following website:
<http://www.fdot.gov/programmanagement/Implemented/SpecBooks>

FISCAL YEAR	SHEET NO.
21	1



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

Jeffrey J Siewert
2020.05.20 16:13:17 -04'00'

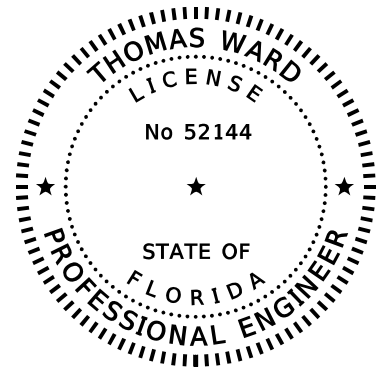
ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

AYRES ASSOCIATES INC
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION: 4356
JEFFREY SIEWERT, P.E. NO. 39196

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE
FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
1	KEY SHEET
2	SIGNATURE SHEET
3	SUMMARY OF PAY ITEMS
4 - 5	TYPICAL SECTION
6 - 7	TYPICAL SECTION DETAILS
11	PROJECT CONTROL
12	GENERAL NOTES
13 - 17	ROADWAY PLANS
18 - 22	ROADWAY PROFILES
50 - 54	INTERSECTION LAYOUTS
55 - 63	GRADING DETAILS
64 - 83	CROSS SECTIONS
84 - 99	DRIVEWAY HALF-SECTIONS
100 - 101	TEMPORARY TRAFFIC CONTROL PLANS
102 - 106	UTILITY ADJUSTMENTS
SQ-1	SUMMARY OF QUANTITIES
SQ-5 - SQ-13	SUMMARY OF QUANTITIES



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

Thomas J Ward
2020.05.19 16:54:23 -04'00'

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

BES INC.
1107 N 56TH ST, SUITE 209
TEMPLE TERRACE, FL 33617
CERTIFICATE OF AUTHORIZATION: 9835
THOMAS WARD, P.E. NO. 52144

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE
FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
2	SIGNATURE SHEET
8 - 10	SUMMARY OF DRAINAGE STRUCTURES
23 - 43	DRAINAGE STRUCTURES
44 - 46	DRAINAGE DETAILS
47 - 49	TREE WELL DETAILS DATA TABLE
SQ-2 - SQ-4	SUMMARY OF QUANTITIES

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 2
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

SIGNATURE SHEET

CITY OF TAMPA
PROPOSAL SUMMARY OF PAY ITEMS
CIP NO.: 1001221 / FPID: 436639-1-58-01

SUMMARY OF ROADWAY

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
0101 1	MOBILIZATION	LS	1
0102 1	MAINTENANCE OF TRAFFIC	LS	1
0102104	TEMPORARY SIGNALIZATION AND MAINTENANCE, INTERSECTION	ED	2120
0102107 1	TEMPORARY TRAFFIC DETECTION AND MAINTENANCE, INTERSECTION	ED	2120
0104 10 3	SEDIMENT BARRIER	LF	100
0104 18	INLET PROTECTION SYSTEM	EA	114
0110 1 1	CLEARING & GRUBBING	AC	0.824
0110 4 10	REMOVAL OF EXISTING CONCRETE	SY	2950
0120 1	REGULAR EXCAVATION	CY	500.5
0285709	OPTIONAL BASE, BASE GROUP 09	SY	1090
0327 70 7	MILLING EXIST ASPH PAVT, 4" AVG DEPTH	SY	8541
0334 1 53	SUPERPAVE ASPHALTIC CONCRETE, TRAFFIC C, PG76-22	TN	89.9
0337 7 83	ASPHALT CONCRETE FRICTION COURSE, TRAFFIC C, FC-12.5, PG 76-22	TN	794.4
0350 3 5	PLAIN CEMENT CONCRETE PAVEMENT, 8"	SY	566
4.07	REMEDICATION	LS	1
0425 2 61	MANHOLES, P-8, <10'	EA	9
0425 2 91	MANHOLES, J-8, <10'	EA	1
0425 3 91	JUNCTION BOX, DRAINAGE, UTILITY, < 10'	EA	28
0425 5 1	MANHOLE, ADJUST, UTILITIES	EA	11
0425 6	VALVE BOXES, ADJUST	EA	17
425.10	CITY OF TAMPA Type 1 INLET	EA	14
425.20	CITY OF TAMPA TYPE T DITCH BOTTOM INLET	EA	36
425.30	CITY OF TAMPA TYPE E DITCH BOTTOM INLET	EA	9
0430174112	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 12"SD	LF	4
0430174115	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 15"SD	LF	279
0430174118	PIPE CULVERT, OPTIONAL MATERIAL, ROUND, 18"SD	LF	112
0520 1 10	CONCRETE CURB & GUTTER, TYPE F	LF	4568
0520 2 4	CONCRETE CURB, TYPE D	LF	353
0522 2	CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK	SY	1036
0522 2	CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK (SCORING PATTERNED)	SY	3643
0523 1	PATTERNED PAVEMENT, VEHICULAR AREAS	SY	209
0527 2	DETECTABLE WARNINGS	SF	241

SUMMARY OF SIGNING AND PAVEMENT MARKING

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
0700 1 11	SINGLE POST SIGN, F&I GROUND MOUNT, UP TO 12 SF	AS	15
0700 1 11	SINGLE POST SIGN, F&I GROUND MOUNT, UP TO 12 SF (HISTORIC SIGNS)	AS	1
0700 1 12	SINGLE POST SIGN, F&I GROUND MOUNT, 12-20 SF	AS	4
0700 1 12	SINGLE POST SIGN, F&I GROUND MOUNT, 12-20 SF (HISTORIC SIGNS)	AS	6
0700 1 60	SINGLE POST SIGN, REMOVE	AS	26
0700 3501	SIGN PANEL, RELOCATE, UP TO 12 SF	EA	1
0710 90	PAINTED PAVEMENT MARKINGS, FINAL SURFACE	LS	1
0711 11124	THERMOPLASTIC, STANDARD, WHITE, SOLID, 18" FOR DIAGONALS AND CHEVRONS	LF	220
0711 11125	THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK	LF	229
0711 11141	THERMOPLASTIC, STANDARD, WHITE, 2-4 DOTTED GUIDELINE/ 6-10 GAP EXTENSION, 6"	GM	0.053
0711 11160	THERMOPLASTIC, STANDARD, WHITE, MESSAGE OR SYMBOL	EA	1
0711 11170	THERMOPLASTIC, STANDARD, WHITE, ARROW	EA	6
0711 11224	THERMOPLASTIC, STANDARD, YELLOW, SOLID, 18" FOR DIAGONAL OR CHEVRON	LF	15
0711 14123	THERMOPLASTIC, PREFORMED, WHITE, SOLID, 12" FOR CROSSWALK	LF	1106
0711 14125	THERMOPLASTIC, PREFORMED, WHITE, SOLID, 24" FOR CROSSWALK	LF	811
0711 14160	THERMOPLASTIC, PREFORMED, WHITE, MESSAGE	EA	22
0711 16101	THERMOPLASTIC, STANDARD-OTHER SURFACES, WHITE, SOLID, 6"	GM	1.023
0711 16201	THERMOPLASTIC, STANDARD-OTHER SURFACES, YELLOW, SOLID, 6"	GM	0.765

SUMMARY OF SIGNALIZATION

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
0630 2 11	CONDUIT, FURNISH & INSTALL, OPEN TRENCH	LF	200
0630 2 12	CONDUIT, FURNISH & INSTALL, DIRECTIONAL BORE	LF	525
0632 7 1	SIGNAL CABLE- NEW OR RECONSTRUCTED INTERSECTION, FURNISH & INSTALL	PI	2
0632 7 6	SIGNAL CABLE, REMOVE- INTERSECTION	PI	1
0633 1121	FIBER OPTIC CABLE, F&I, UNDERGROUND, 2-12 FIBERS	LF	150
0633 2 32	FIBER OPTIC CONNECTION, INSTALL, TERMINATION	EA	12

REVISIONS

DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

SUMMARY OF SIGNALIZATION (CONT.)

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
0633 4 1	SIGNALS COMMUNICATION CABLE- TWISTED PAIR CABLE, FURNISH & INSTALL	LF	50
0633 4 6	SIGNALS COMMUNICATION CABLE- TWISTED PAIR CABLE, REMOVE	LF	30
0635 2 11	PULL & SPLICE BOX, F&I, 13" x 24" COVER SIZE	EA	28
0635 2 12	PULL & SPLICE BOX, F&I, 24" X 36" COVER SIZE	EA	1
0639 1122	ELECTRICAL POWER SERVICE, F&I, UNDERGROUND, METER PURCHASED BY CONTRACTOR	AS	1
0639 1610	ELECTRICAL POWER SERVICE, REMOVE OVERHEAD	AS	1
0639 2 1	ELECTRICAL SERVICE WIRE, FURNISH & INSTALL	LF	105
0639 3 11	ELECTRICAL SERVICE DISCONNECT, F&I, POLE MOUNT	EA	1
0641 2 11	PRESTRESSED CONCRETE POLE, F&I, TYPE P-II PEDESTAL	EA	2
0641 2 12	PRESTRESSED CONCRETE POLE, F&I, TYPE P-II SERVICE POLE	EA	1
0641 2 70	PRESTRESSED CONCRETE POLE, SHALLOW POLE REMOVAL- POLE 30' AND GREATER	EA	2
0646 1 11	ALUMINUM SIGNALS POLE, PEDESTAL	EA	15
0646 1 60	ALUMINUM SIGNALS POLE, REMOVE	EA	5
0649 21 12	STEEL MAST ARM ASSEMBLY, FURNISH AND INSTALL, DOUBLE ARM 60'-40'	EA	2
0650 1 14	VEHICULAR TRAFFIC SIGNAL, FURNISH & INSTALL ALUMINUM, 3 SECTION, 1 WAY	AS	8
0650 1 16	VEHICULAR TRAFFIC SIGNAL, FURNISH & INSTALL ALUMINUM, 4 SECTION, 1 WAY	AS	4
0650 2102	VEHICULAR SIGNAL AUXILIARIES, REPAIR/REPLACE/RETROFIT- FURNISH & INSTALL, BACKPLATE- BLACK WITH REFLECT BORDER	EA	7
0653 1 11	PEDESTRIAN SIGNAL, FURNISH & INSTALL LED COUNTDOWN, 1 WAY	AS	12
0653 1 12	PEDESTRIAN SIGNAL, FURNISH & INSTALL LED COUNTDOWN, 2 WAYS	AS	3
0653 1 60	PEDESTRIAN SIGNAL, REMOVE PED SIGNAL- POLE/PEDESTAL TO REMAIN	AS	4
0654 2 22	RECTANGULAR RAPID FLASHING BEACON, FURNISH & INSTALL- SOLAR POWERED, COMPLETE SIGN ASSEMBLY- BACK TO BACK	AS	6
0660 1103	LOOP DETECTOR INDUCTIVE, F&I, TYPE 3	EA	4
0660 2101	LOOP ASSEMBLY- F&I, TYPE A	AS	4
0660 4 11	VEHICLE DETECTION SYSTEM- VIDEO, FURNISH & INSTALL CABINET EQUIPMENT	EA	1
0660 4 12	VEHICLE DETECTION SYSTEM- VIDEO, FURNISH & INSTALL ABOVE GROUND EQUIPMENT	EA	4
0665 1 12	PEDESTRIAN DETECTOR, FURNISH & INSTALL, ACCESSIBLE	EA	18
0665 1 60	PEDESTRIAN DETECTOR, REMOVE- POLE/PEDESTAL TO REMAIN	EA	5
0670 5110	TRAFFIC CONTROLLER ASSEMBLY, F&I, NEMA	AS	2
0670 5600	TRAFFIC CONTROLLER ASSEMBLY, REMOVE CONTROLLER WITH CABINET	AS	2
0685 1 13	UNINTERRUPTIBLE POWER SUPPLY, FURNISH AND INSTALL, LINE INTERACTIVE WITH CABINET	EA	2
0700 3201	SIGN PANEL, FURNISH & INSTALL OVERHEAD MOUNT, UP TO 12 SF	EA	4
0700 5 22	INTERNALLY ILLUMINATED SIGN, FURNISH & INSTALL, OVERHEAD MOUNT, 12-18 SF	EA	8

SUMMARY OF LANDSCAPING

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
526-1.2	RECYCLED BRICK BLOCK-PAVERS	SF	810
580-2.1.1	BALD CYPRESS 26' HT 10' SPREAD - INSTALL ONLY	EA	13
580-2.1.1.1	BALD CYPRESS 26' HT 10' SPREAD *FURNISH ONLY*	EA	13
580-2.1.2	CHINESE FAN PALM-16' CT INSTALL ONLY	EA	14
580-2.1.2.1	CHINESE FAN PALM-16' CT *FURNISH ONLY*	EA	14
580-2.1.3	IXORA 3 GALLON - FURNISH AND INSTALL	EA	49
580-2.4	PINE BARK MULCH	CY	2.4
580-2.5	PREPARED PLANTING SOILS	CY	2.8
580-3-1	STRUCTURED SOILS	CY	243
580-3-2	TREE GRATE - NEENAH CAST IRON 72" SQ 16" DIA OPENING (PALMS)	EA	14
580-3-3	TREE GRATE - NEENAH CAST IRON 72" SQ ,36" DIA OPENING (TREES)	EA	13
580-3-4	TREE BRACING IN TREE WELL	EA	27
580-3-5	FABRIC WRAPPED STONE MATT #57 STONE	EA	27
580-3-6	TREE GRATE FRAME	EA	27
580-3-7	TREE GUARD TYPE-E, FOR 36" DIA OPENING (TREES)	EA	13

SUMMARY OF UTILITIES

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
1050 51202	UTILITY PIPE- DUCTILE IRON/CAST IRON, FURNISH & INSTALL, WATER/SEWER, 2"	LF	16
1050 51206	UTILITY PIPE- DUCTILE IRON/CAST IRON, FURNISH & INSTALL, WATER/SEWER, 6"	LF	65
1050 51212	UTILITY PIPE- DUCTILE IRON/CAST IRON, FURNISH & INSTALL, WATER/SEWER, 12"	LF	20
1055 51112	UTILITY FITTINGS, DUCTILE IRON/CAST IRON, FURNISH & INSTALL ELBOW, 12"	EA	4
1055 51412	UTILITY FITTINGS, DUCTILE IRON/CAST IRON, FURNISH & INSTALL UNION, 12"	EA	2
1080 23106	UTILITY FIXTURE- TAPPING SADDLE/SLEEVE, FURNISH & INSTALL, 6"	EA	1
1080 24106	UTILITY FIXTURE, VALVE ASSEMBLY, FURNISH AND INSTALL, 6"	EA	2
1080 27106	UTILITY FIXTURE- LINE STOP ASSEMBLY, FURNISH AND INSTALL, 6"	EA	1
1080 27112	UTILITY FIXTURE- LINE STOP ASSEMBLY, FURNISH AND INSTALL, 12"	EA	2
1080 29106	UTILITY FIXTURE, MECHANICAL JOINT RESTRAINT, FURNISH & INSTALL, 6"	EA	8
1080 29112	UTILITY FIXTURE, MECHANICAL JOINT RESTRAINT, FURNISH & INSTALL, 12"	EA	10
1644113 08	FIRE HYDRANT, F&I, STANDARD, 2 HOSE, 1PUMPER, 6"	EA	1
1644900	FIRE HYDRANT, REMOVE	EA	1

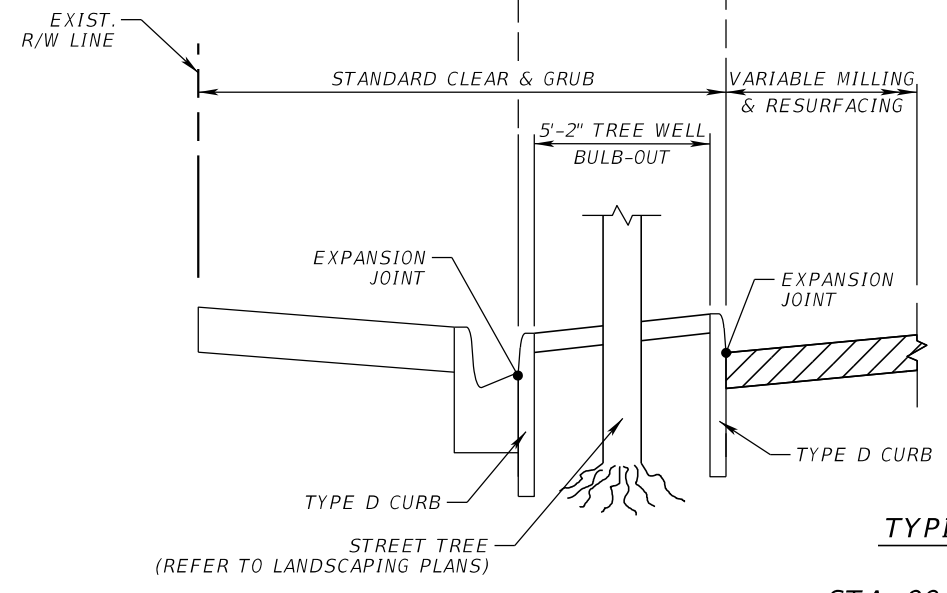
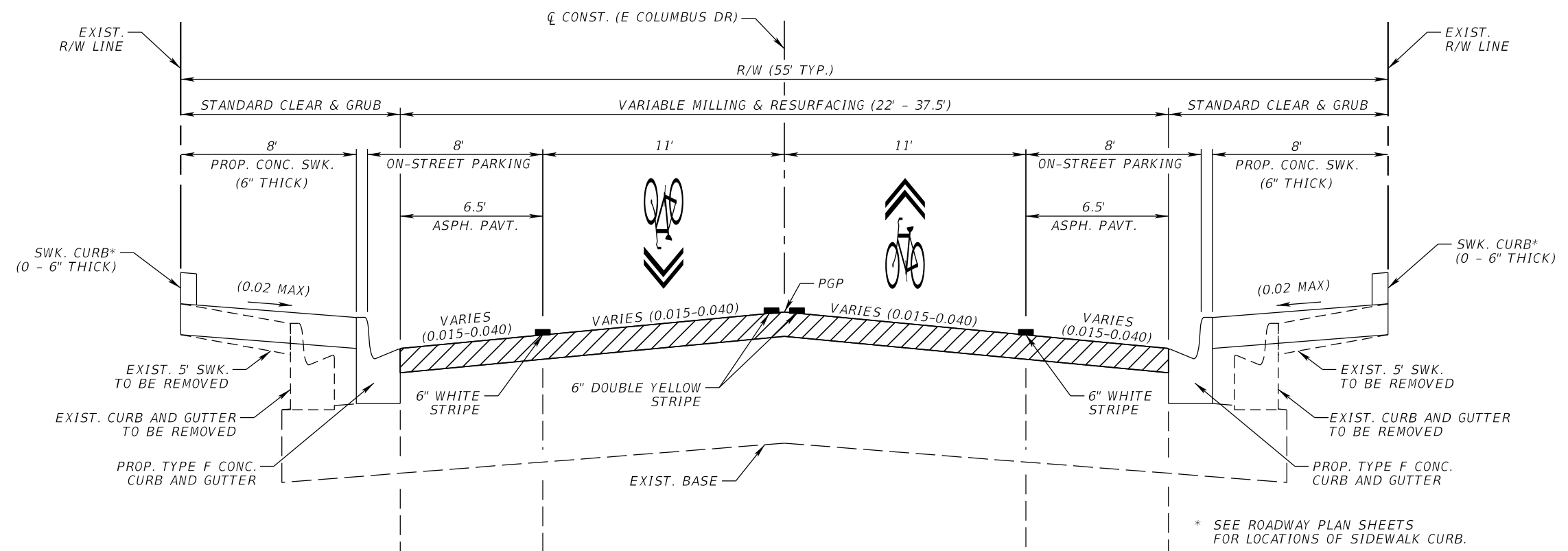
CITY OF TAMPA
TRANSPORTATION DEPARTMENT

CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF PAY ITEMS

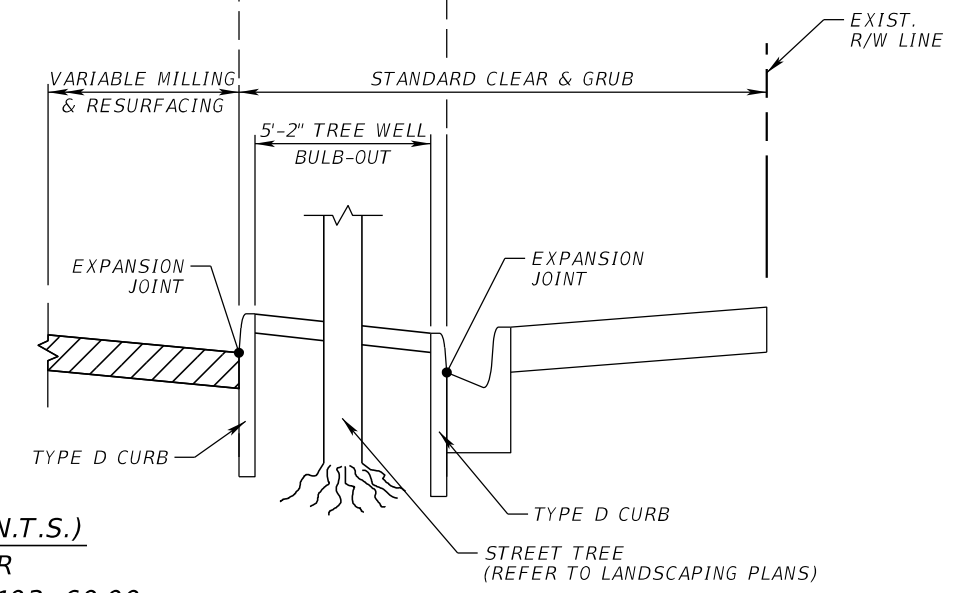
SHEET NO.

3



Q TREE BULB-OUT DETAIL - LEFT (N)
 SEE SUMMARY OF DRAINAGE STRUCTURES FOR TREE WELL STA. LOCATIONS

TYPICAL SECTION (N.T.S.)
E COLUMBUS DR
 STA. 99+85.40 TO STA. 103+60.00
 STA. 105+29.67 TO STA. 114+10.35
 STA. 116+26.35 TO STA. 124+71.77



Q TREE BULB-OUT DETAIL - RIGHT (S)
 SEE SUMMARY OF DRAINAGE STRUCTURES FOR TREE WELL STA. LOCATIONS

VARIABLE MILLING

MILL EXISTING ASPHALT PAVEMENT FOR DEPTH (4.0")

RESURFACING

FRICITION COURSE FC-12.5 (TRAFFIC C) (1.5")

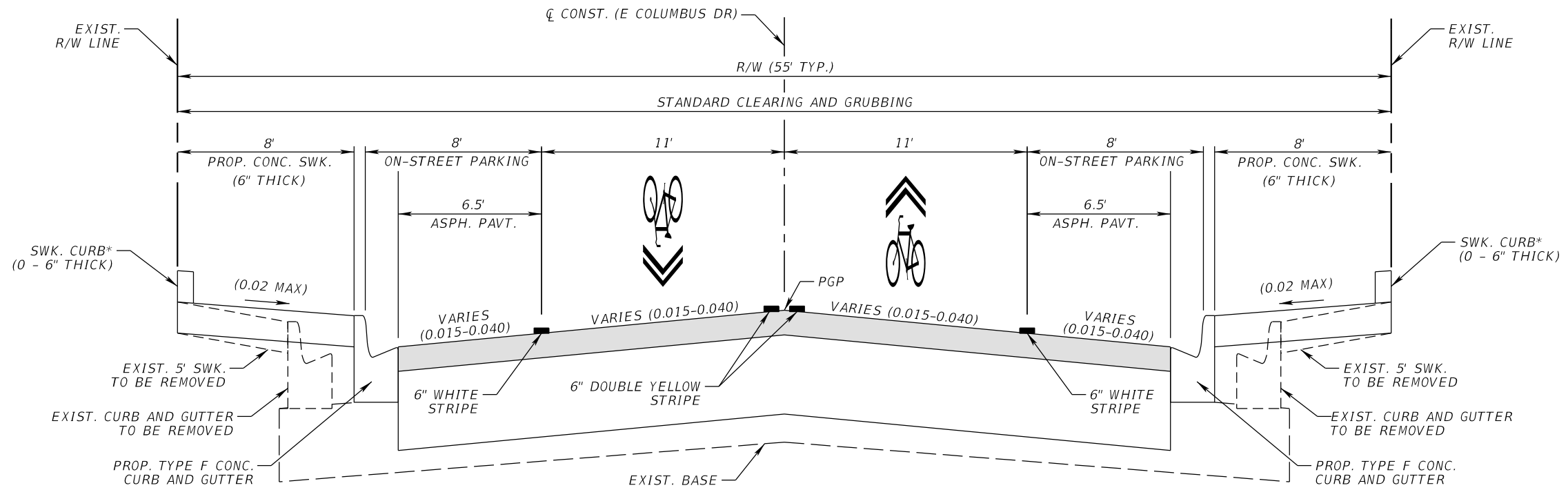
TRAFFIC DATA

CURRENT YEAR = 2019 AADT = 11,135
 ESTIMATED OPENING YEAR = 2020 AADT = 11,391
 ESTIMATED DESIGN YEAR = 2040 AADT = 13,600
 K = 9 % D = 50% T = 14% (24 HOUR)
 DESIGN HOUR T = 7%
 DESIGN SPEED = 30 MPH

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 4
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
						1001221	HILLSBOROUGH	

TYPICAL SECTION (1)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



* SEE ROADWAY PLAN SHEETS FOR LOCATIONS OF SIDEWALK CURB.

TYPICAL SECTION (N.T.S.)
E COLUMBUS DR
STA. 103+60.00 TO STA. 105+29.67
STA. 114+10.35 TO STA. 116+26.35

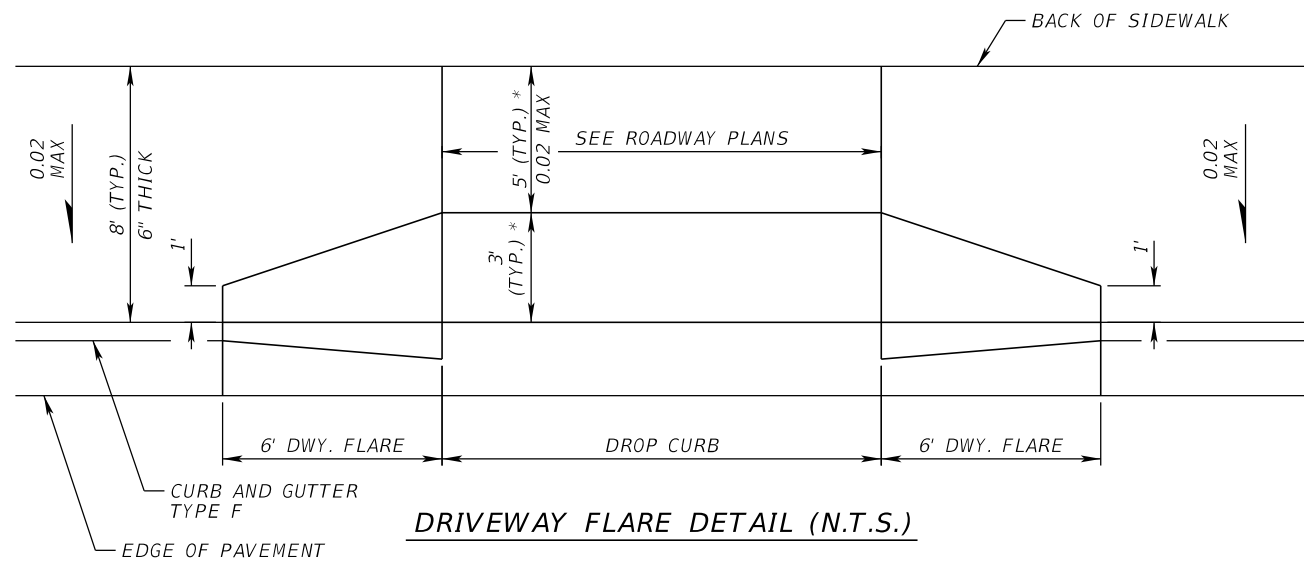
NEW CONSTRUCTION
 OPTIONAL BASE GROUP 9 WITH
 TYPE SP STRUCTURAL COURSE (TRAFFIC C) (1.5")
 AND FRICTION COURSE FC-12.5 (TRAFFIC C) (1.5")

TRAFFIC DATA

CURRENT YEAR = 2019 AADT = 11,135
 ESTIMATED OPENING YEAR = 2020 AADT = 11,391
 ESTIMATED DESIGN YEAR = 2040 AADT = 13,600
 K = 9 % D = 50% T = 14% (24 HOUR)
 DESIGN HOUR T = 7%
 DESIGN SPEED = 30 MPH

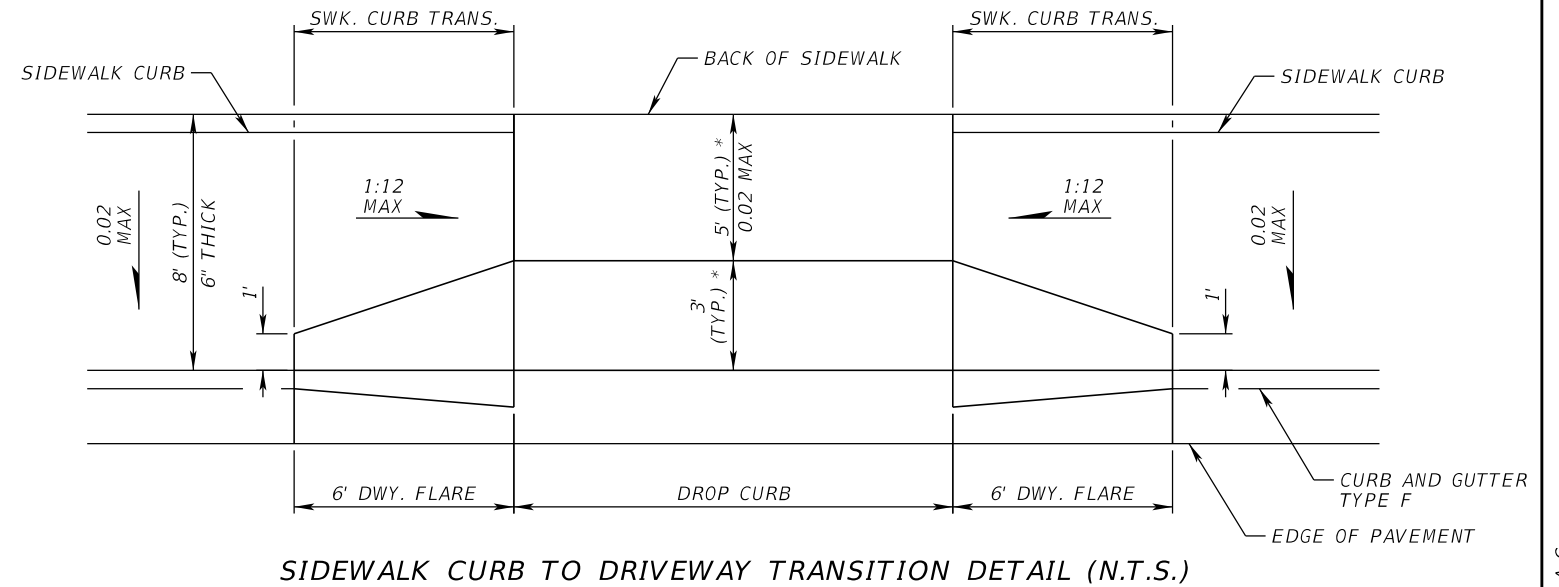
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 5
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

TYPICAL SECTION (2)



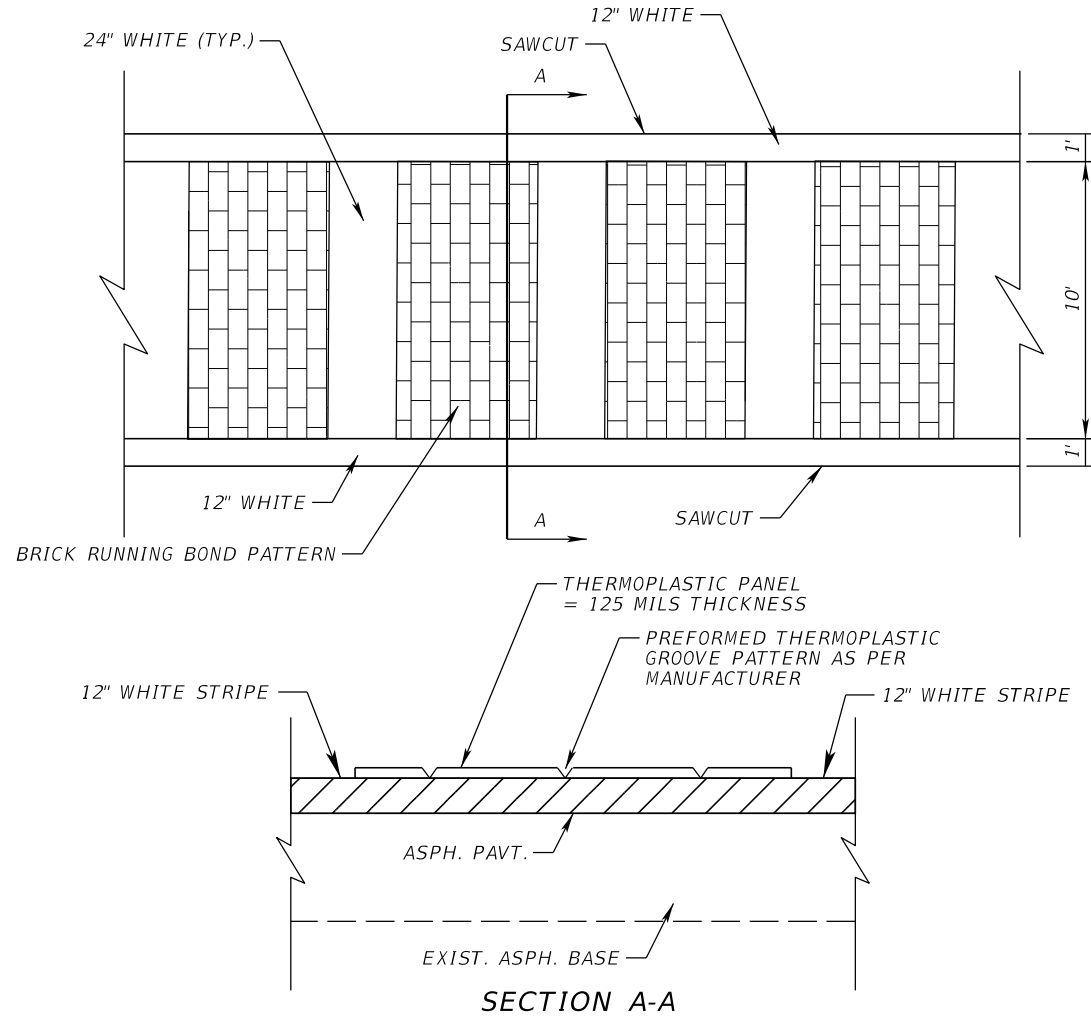
DRIVEWAY FLARE DETAIL (N.T.S.)

* SEE DRIVEWAY HALF-SECTIONS FOR ALL DRIVEWAY WIDTH DIMENSIONS

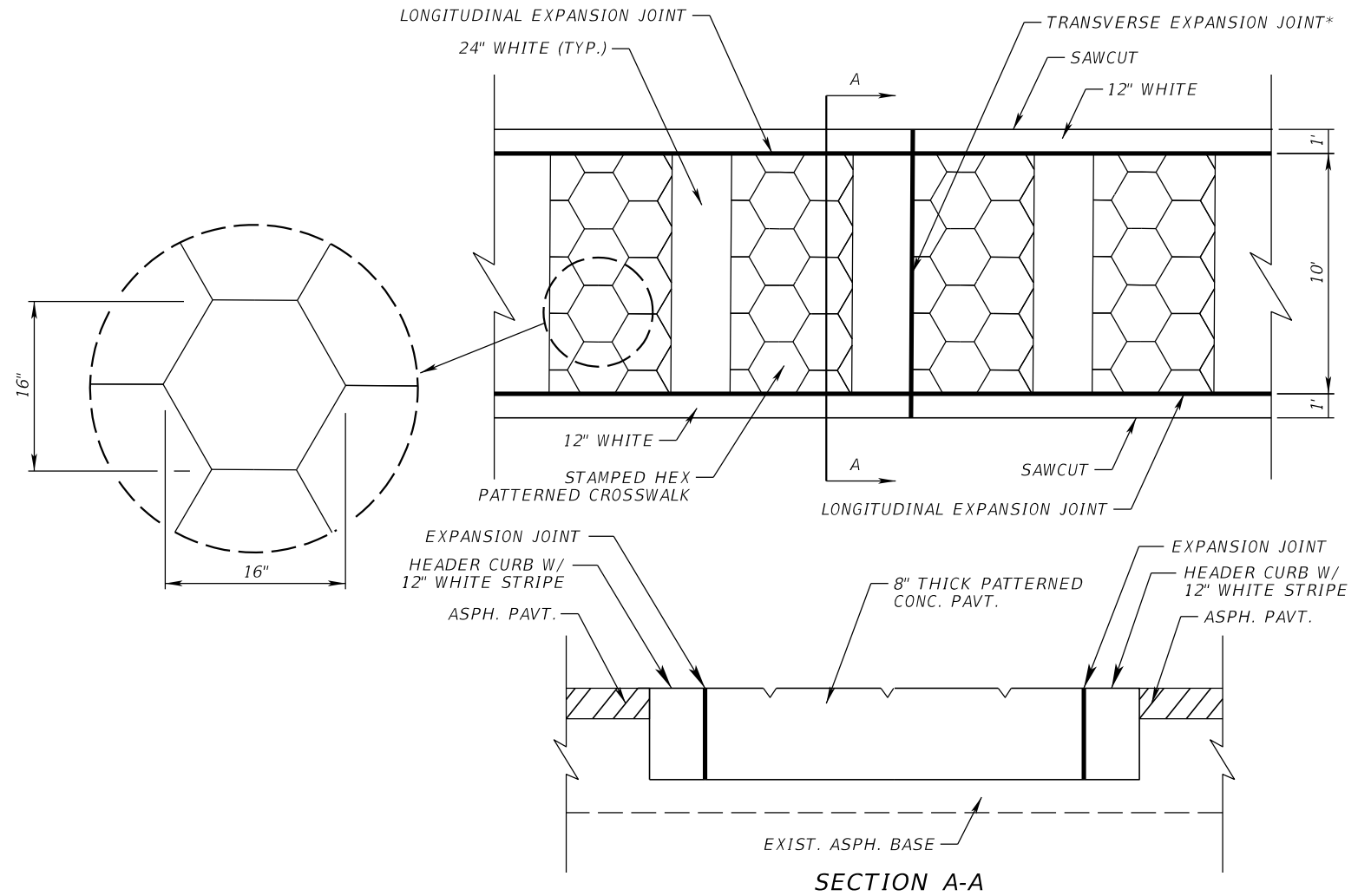


SIDEWALK CURB TO DRIVEWAY TRANSITION DETAIL (N.T.S.)

* SEE DRIVEWAY HALF-SECTIONS FOR ALL DRIVEWAY WIDTH DIMENSIONS



THERMOPLASTIC PAVT. OVERLAY CROSSWALK (DETAIL 1) (N.T.S.)



HEXAGONAL PATTERNED CROSSWALK PAVT. (DETAIL 2) (N.T.S.)

* PLACE THE TRANSVERSE EXPANSION JOINT TOWARDS THE CENTER OF EACH CROSSWALK AT THE NEAREST EDGE OF STAMPED PATTERN.

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

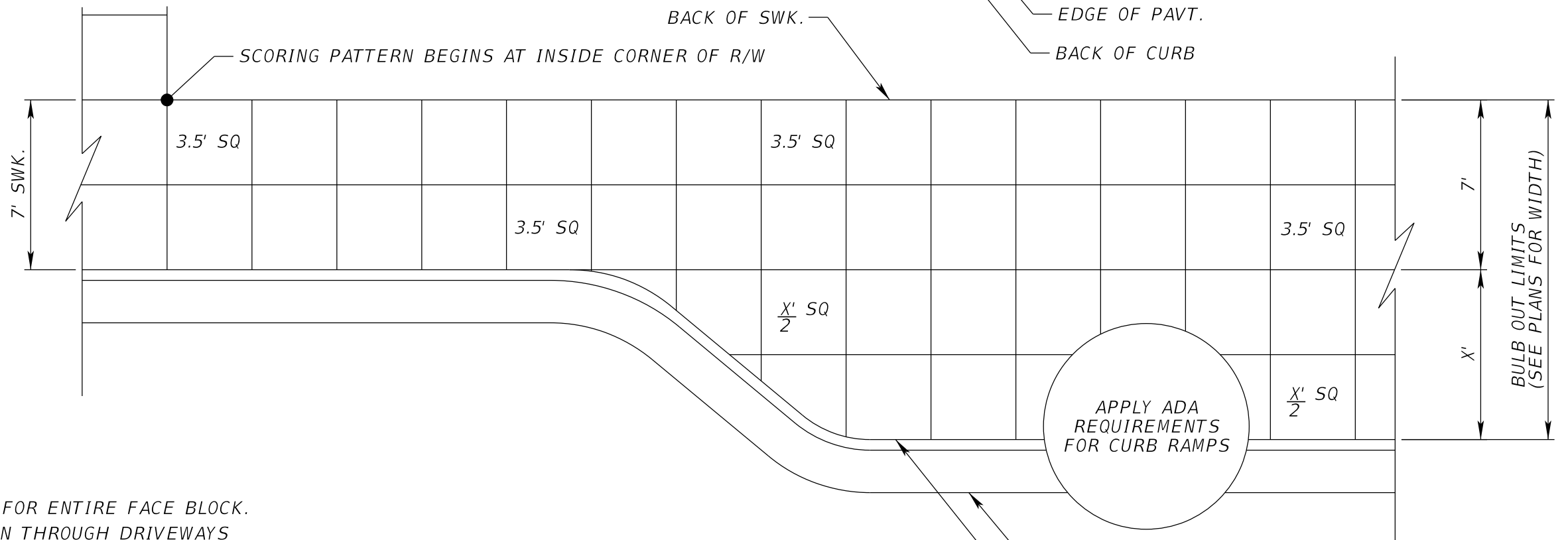
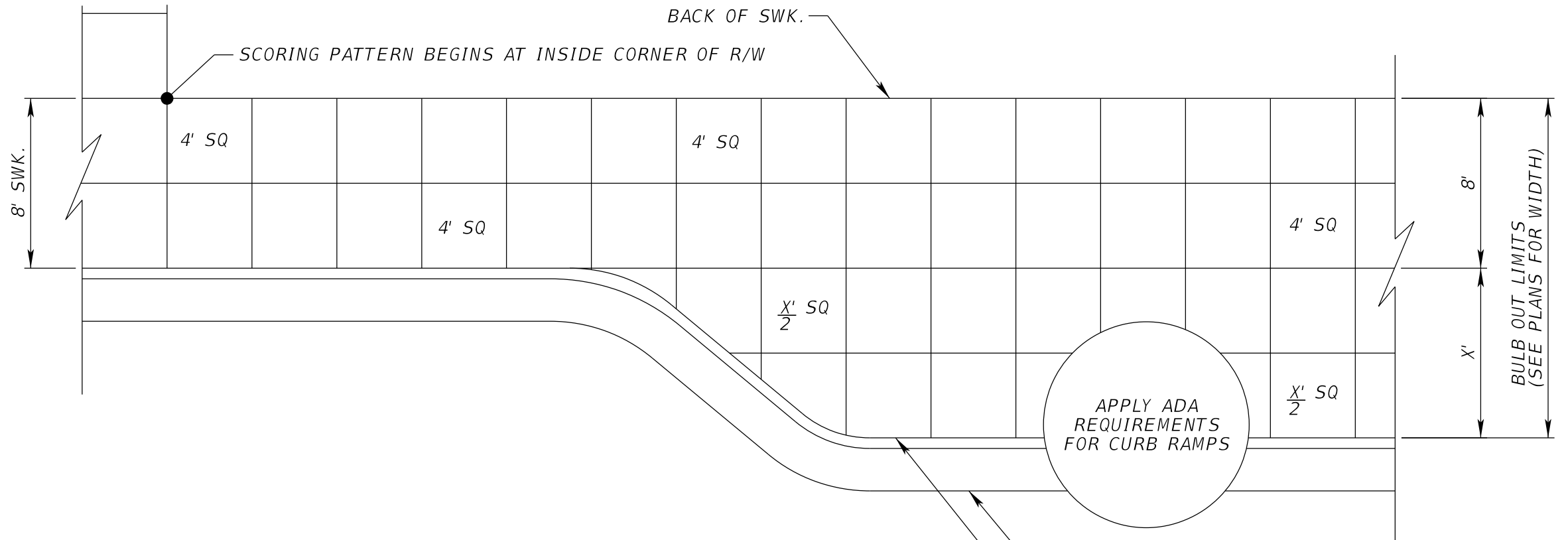
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

TYPICAL SECTION DETAILS

SHEET NO.
6

BASED UPON:
 SIDEWALK SCORING ILLUSTRATION
 CITY OF TAMPA
 HISTORIC PRESERVATION &
 URBAN DESIGN
 OCTOBER 31, 2009



- NOTES:
- SCORING PATTERN CONSISTENT FOR ENTIRE FACE BLOCK.
 - DO NOT PLACE SCORING PATTERN THROUGH DRIVEWAYS AND CURB RAMPS.
 - PRIOR TO CONSTRUCTION, CONTACT THE EOR FOR REVIEWAL OF FINAL SCORING LAYOUT TO CLARIFY ANY AREAS IN QUESTION.

CONC. SWK. SCORING PATTERN DETAIL (N.T.S.)

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 7
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

TYPICAL SECTION DETAILS

QUANTITY	STR. NO.	STATION	SIDE	DESCRIPTION	STORM DRAIN RCP MATERIAL (CLASS II)			CURB INLETS COT	FDOT MANHOLES	FDOT MANHOLES	DITCH BOTTOM INLETS COT		FDOT BOT (TREE WELLS)	CONCRETE JACKETS (INCLUDED IN PIPE COST)	REMARKS			
					ROUND						TYPE 1	P-8				J-8	T	E
					12"	15"	18"											
P F	S-1	104+02.95	RT.	DIVERSION BOX				<10'	<10'	<10'	<10'	1		EA				
P F	TW-1	104+08.16	RT.	TREE WELL								1						
P F	O-1	104+13.51	RT.	OUTLET BOX							1							
P F	S-2	104+13.78	LT.	DIVERSION BOX								1						
P F	TW-2	104+07.60	LT.	TREE WELL								1						
P F	S-5	104+39.38	RT.	TYPE 1 CURB INLET		4		1					1		COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001			
P F	S-8	104+76.08	LT.	DIVERSION BOX							1							
P F	TW-8	104+82.16	LT.	TREE WELL								1						
P F	S-9	105+11.26	LT.	DIVERSION BOX								1						
P F	TW-9	105+17.42	LT.	TREE WELL								1						
P F	S-10	105+11.38	RT.	DIVERSION BOX							1							
P F	TW-10	105+16.67	RT.	TREE WELL								1						
P F	O-10	105+21.96	RT.	OUTLET BOX							1							
P F	S-11	106+26.57	RT.	DIVERSION BOX							1							
P F	TW-11	106+31.86	RT.	TREE WELL								1						
P F	O-11	106+37.16	RT.	OUTLET BOX							1							
P F	S-12	106+38.59	LT.	DIVERSION BOX							1							
P F	TW-12	106+43.89	LT.	TREE WELL								1						
P F	O-12	106+49.18	LT.	OUTLET BOX							1							
P F	S-13	107+37.55	LT.	DIVERSION BOX							1							
P F	TW-13	107+42.84	LT.	TREE WELL								1						
P F	O-13	107+48.14	LT.	OUTLET BOX		13					1							
P F	S-14	107+37.89	RT.	DIVERSION BOX							1							
P F	TW-14	107+43.18	RT.	TREE WELL								1						
P F	O-14	107+48.47	RT.	OUTLET BOX		34					1							
P F	S-17	107+68.28	RT.	DIVERSION BOX								1						
P F	TW-17	107+74.45	RT.	TREE WELL								1						
P F	S-18	107+77.46	RT.	MANHOLE		13			1						FDOT MH TYPE P-8, S.I. 425-001,425-010			
P F	S-22	108+14.06	LT.	MANHOLE											NOT USED			
P F	S-22A	108+18.06	LT.	TYPE 1 CURB INLET		4		1					1		COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001			
P F	S-23	108+10.10	LT.	DIVERSION BOX								1						
P F	TW-23	108+03.94	LT.	TREE WELL								1						
P F	S-25	108+51.20	RT.	DIVERSION BOX							1							
P F	TW-25	108+45.91	RT.	TREE WELL								1						
P F	O-25	108+40.62	RT.	OUTLET BOX			22				1							
Summary					0	68	22	2	1	0	14	4	13	2				

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF DRAINAGE STRUCTURES		SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID			
					1001221	HILLSBOROUGH	436639-1-58-01			8

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

QUANTITY	STR. NO.	STATION	SIDE	DESCRIPTION	STORM DRAIN RCP MATERIAL (CLASS II)			CURB INLETS COT	FDOT MANHOLES	FDOT MANHOLES	DITCH BOTTOM INLETS COT		FDOT BOT (TREE WELLS)	CONCRETE JACKETS (INCLUDED IN PIPE COST)	REMARKS			
					ROUND						TYPE 1	P-8				J-8	T	E
					12"	15"	18"											
P	S-26	108+80.94	LT.	DIVERSION BOX														
F	TW-26	108+75.64	LT.	TREE WELL								1						
P	O-26	108+70.35	LT.	OUTLET BOX		49					1							
F	S-27	110+18.72	LT.	DIVERSION BOX							1							
P	TW-27	110+13.43	LT.	TREE WELL								1						
F	O-27	110+08.14	LT.	OUTLET BOX							1							
P	S-28	110+81.51	RT.	DIVERSION BOX							1							
F	TW-28	110+76.22	RT.	TREE WELL								1						
P	O-28	110+70.93	RT.	OUTLET BOX							1							
P	S-29	111+17.68	LT.	TYPE 1 CURB INLET		4		1					1		COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001			
F	S-30	111+18.49	RT.	TYPE 1 CURB INLET		4		1					1		COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001			
P	S-31	113+14.61	LT.	DIVERSION BOX							1							
F	TW-31	113+09.32	LT.	TREE WELL								1						
P	O-31	113+04.03	LT.	OUTLET BOX							1							
F	S-32	113+34.16	RT.	DIVERSION BOX							1							
P	TW-32	113+28.87	RT.	TREE WELL								1						
F	O-32	113+23.58	RT.	OUTLET BOX							1							
P	S-33	114+21.64	LT.	DIVERSION BOX									1					
F	TW-33	114+97.29	LT.	TREE WELL								1						
P	S-33A	114+36.66	LT.	MANHOLE	4	4	4		1	1			2					
F	S-34	114+91.12	RT.	DIVERSION BOX									1					
P	TW-34	114+97.29	RT.	TREE WELL								1						
F	S-35	115+77.20	LT.	DIVERSION BOX								1						
P	TW-35	115+83.37	LT.	TREE WELL								1						
F	S-36	117+26.06	LT.	DIVERSION BOX								1						
P	TW-36	117+31.35	LT.	TREE WELL								1						
F	O-36	117+36.64	LT.	OUTLET BOX								1						
P	S-37	117+30.90	RT.	DIVERSION BOX								1						
F	TW-37	117+36.19	RT.	TREE WELL								1						
P	O-37	117+41.48	RT.	OUTLET BOX								1						
F	S-38	119+21.70	LT.	DIVERSION BOX								1						
P	TW-38	119+27.07	LT.	TREE WELL								1						
F	O-38	119+32.29	LT.	OUTLET BOX			4					1		1				
P	S-39	119+29.63	LT.	MANHOLE											NOT USED			
Summary					4	61	8	2	1	1	16	3	11	5				

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

THOMAS J. WARD, P.E.
P.E. LICENSE NUMBER 52144
BES, INC.
11007 N. 56TH ST., SUITE 208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

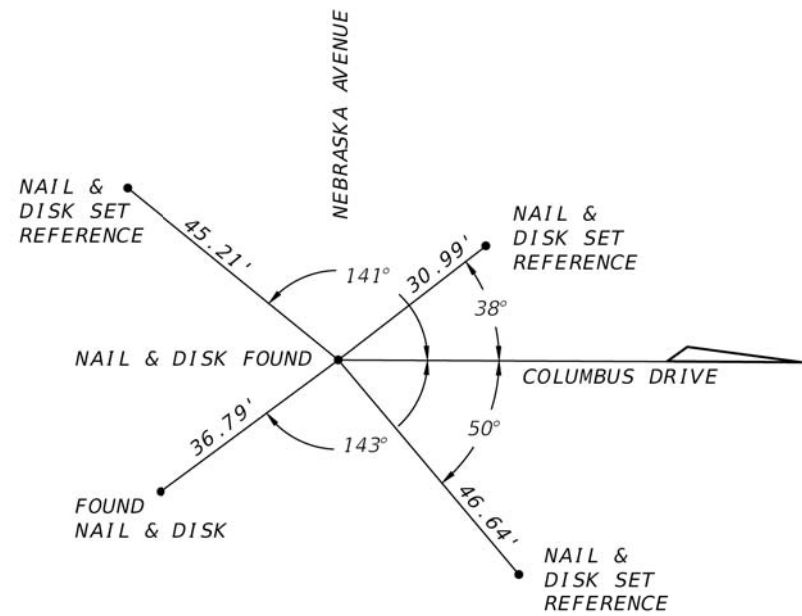
**SUMMARY OF DRAINAGE
STRUCTURES**

SHEET NO.
9

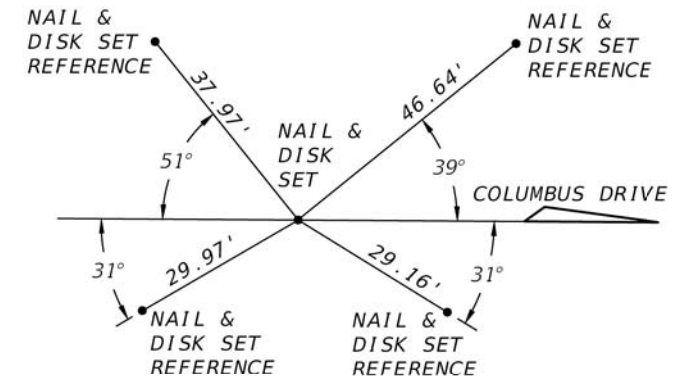
QUANTITY	STR. NO.	STATION	SIDE	DESCRIPTION	STORM DRAIN RCP MATERIAL (CLASS II)			CURB INLETS COT	FDOT MANHOLES	FDOT MANHOLES	DITCH BOTTOM INLETS COT		FDOT BOT (TREE WELLS)	CONCRETE JACKETS (INCLUDED IN PIPE COST)	REMARKS			
					ROUND						TYPE 1	P-8				J-8	T	E
					12"	15"	18"											
P	S-40	119+16.41	RT.	TYPE D DBI			26											
F																		
P	S-42	119+44.50	RT.	MANHOLE			8		1				2			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-44	119+87.95	LT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-44A	119+90.62	LT.	TYPE 1 CURB INLET			4		1				1			COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-45	120+40.21	LT.	DIVERSION BOX							1							
F																		
P	TW-45	120+04.74	LT.	TREE WELL								1						
F																		
P	S-46	120+02.84	RT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-47	120+40.21	RT.	DIVERSION BOX							1							
F																		
P	TW-47	120+34.92	RT.	TREE WELL								1						
F																		
P	O-47	120+29.63	RT.	OUTLET BOX			25				1							
F																		
P	S-48	120+50.07	LT.	TYPE 1 CURB INLET			79		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-49	121+26.13	RT.	DIVERSION BOX							1							
F																		
P	TW-49	121+20.84	RT.	TREE WELL								1						
F																		
P	O-49	121+15.55	RT.	OUTLET BOX							1							
F																		
P	S-50	121+81.75	LT.	DIVERSION BOX							1							
F																		
P	TW-50	121+76.46	LT.	TREE WELL								1						
F																		
P	O-50	121+71.17	LT.	OUTLET BOX							1							
F																		
P	S-3	200+29.48	LT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-7	200+30.60	RT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-6	200+40.22	RT.	TYPE 1 CURB INLET			8		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-4	200+40.27	LT.	TYPE 1 CURB INLET			8		1									
F																		
P	S-15	300+28.43	LT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-20	300+30.05	RT.	MANHOLE			4		1				1			FDOT MH TYPE P-8, S.I. 425-001,425-010		
F																		
P	S-19	300+35.72	RT.	TYPE 1 CURB INLET			5		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-16	300+36.35	LT.	TYPE 1 CURB INLET			6		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-24	400+35.96	RT.	TYPE 1 CURB INLET			4		1				1			COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-21	400+36.66	LT.	TYPE 1 CURB INLET			4		1				1			COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-41	700+34.87	LT.	TYPE 1 CURB INLET			15		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P	S-43	700+35.07	RT.	TYPE 1 CURB INLET			16		1							COT TYPE 1 INLET WITH FDOT 2' DIA MH COVER ASSEMBLY, S.I. 425-001		
F																		
P																		
F																		
P																		
F																		
P																		
F																		
P																		
F																		
P																		
F																		
P																		
F																		
Summary					0	150	82	10	7	0	6	2	4	11				
GRAND TOTAL					4	279	112	14	9	1	36	9	28	18				

DATE		REVISIONS		THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF DRAINAGE STRUCTURES	SHEET NO.
DESCRIPTION		DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		

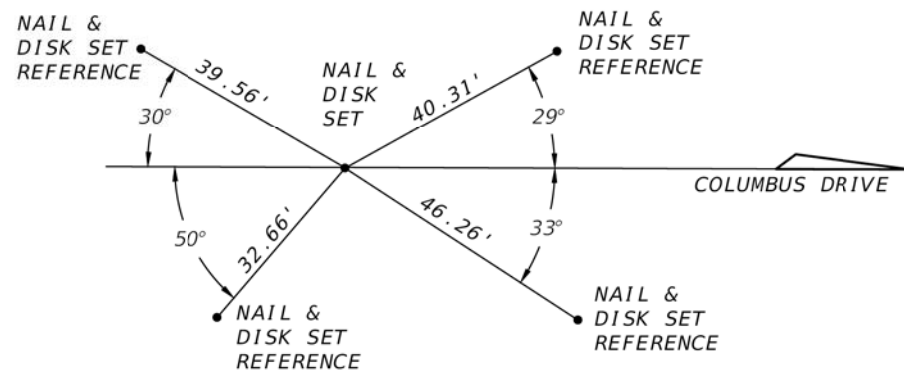
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



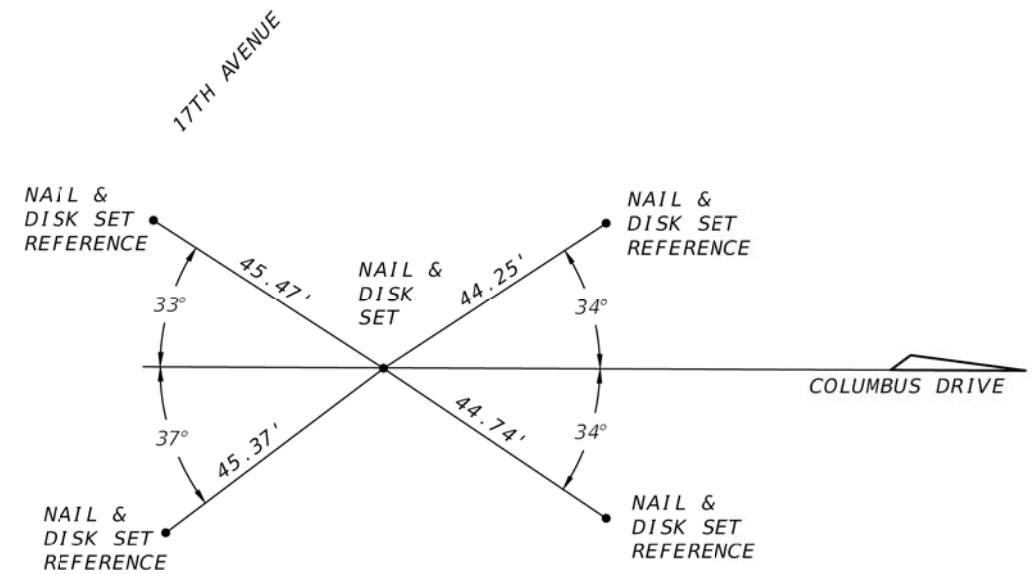
BEGIN STATION 10+00
FOUND NAIL & DISK



STATION 20+00
SET NAIL & DISK #7203



STATION 30+00
SET NAIL & DISK #7203



STATION 34+00
SET NAIL & DISK #7203

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

PROJECT CONTROL

SHEET NO.

11

GENERAL NOTES

ROADWAY

1. BENCHMARK ELEVATIONS SHOWN ON THE PLANS ARE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
2. ALL SURVEY INFORMATION WAS OBTAINED FROM A LICENSED FLORIDA PROFESSIONAL SURVEYOR AND MAPPER AND UTILIZED AS SUPPORTING DATA IN THE PRODUCTION OF DESIGN PLANS AND FOR CONSTRUCTION ON E COLUMBUS DR FROM SR 45 (N NEBRASKA AVE) TO N 14TH ST. THE PROFESSIONAL SURVEYOR AND MAPPER OF RECORD IS:

 RUSSELL P. HYATT, P.S.M.
 P.S.M. NO.: 5303
 HYATT SURVEY SERVICES, INC.
 2012 LENA RD,
 BRADENTON, FL 34211
 CERTIFICATE OF AUTHORIZATION: 4213
3. INFORMATION AND SUBSEQUENT LOCATION OF THE RIGHT OF WAY LINES INDICATED HEREIN WERE OBTAINED BY A REVIEW OF THE LAST DEED OF RECORD AVAILABLE PER HILLSBOROUGH COUNTY, FLORIDA CLERK OF THE CIRCUIT COURT WEBSITE TOGETHER WITH PERTINENT STATE ROAD DEPARTMENT MAPS AVAILABLE PER FDOT RIGHT OF WAY MAPPING WEBSITE. TITLE WORK WAS NOT PROVIDED.
4. LANE DIRECTION ARROWS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. ALL PARTIAL STATION CALL OUTS IN THE PLANS ARE BASED ON \bar{c} CONST. (E COLUMBUS DR).
6. REFER TO DRIVEWAY HALF-SECTIONS FOR DRIVEWAY WIDTHS AND TIE-DOWN LIMITS.
7. RESOLUTION OF ANY CONTAMINATED OR HAZARDOUS MATERIALS INVOLVEMENT AT IDENTIFIED OR ENCOUNTERED AREAS BY THE CONTRACTOR WILL BE COORDINATED BY CITY OF TAMPA WITH THE APPROPRIATE REGULATORY AGENCIES. CITY OF TAMPA WILL UNDERTAKE, AT ITS OWN EXPENSE, ANY REMEDIAL ACTIONS NECESSARY TO ALLOW THE CONTRACTOR TO CONTINUE CONSTRUCTING THE PROJECT.

 CERTAIN CONTAMINATED AREAS INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING ADDRESSES:
 - 2317 N NEBRASKA AVE
 - 1023 E COLUMBUS DR
 - 1312 E COLUMBUS DR

DRAINAGE

1. INFORMATION FOR THE EXISTING STORM DRAIN SYSTEM HAS BEEN PROVIDED ON ROADWAY PLAN SHEET (5).
2. ALL GRATES & MANHOLE COVERS TO BE HEAVY DUTY, AND STEEL GRATES TO BE GALVANIZED, NOT PAINTED.

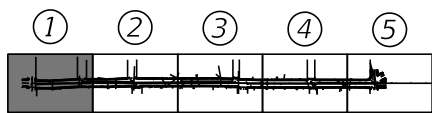
UTILITIES

1. INFORMATION FOR THE EXISTING SANITARY SYSTEM HAS BEEN PROVIDED ON UTILITY ADJUSTMENT SHEET (5).

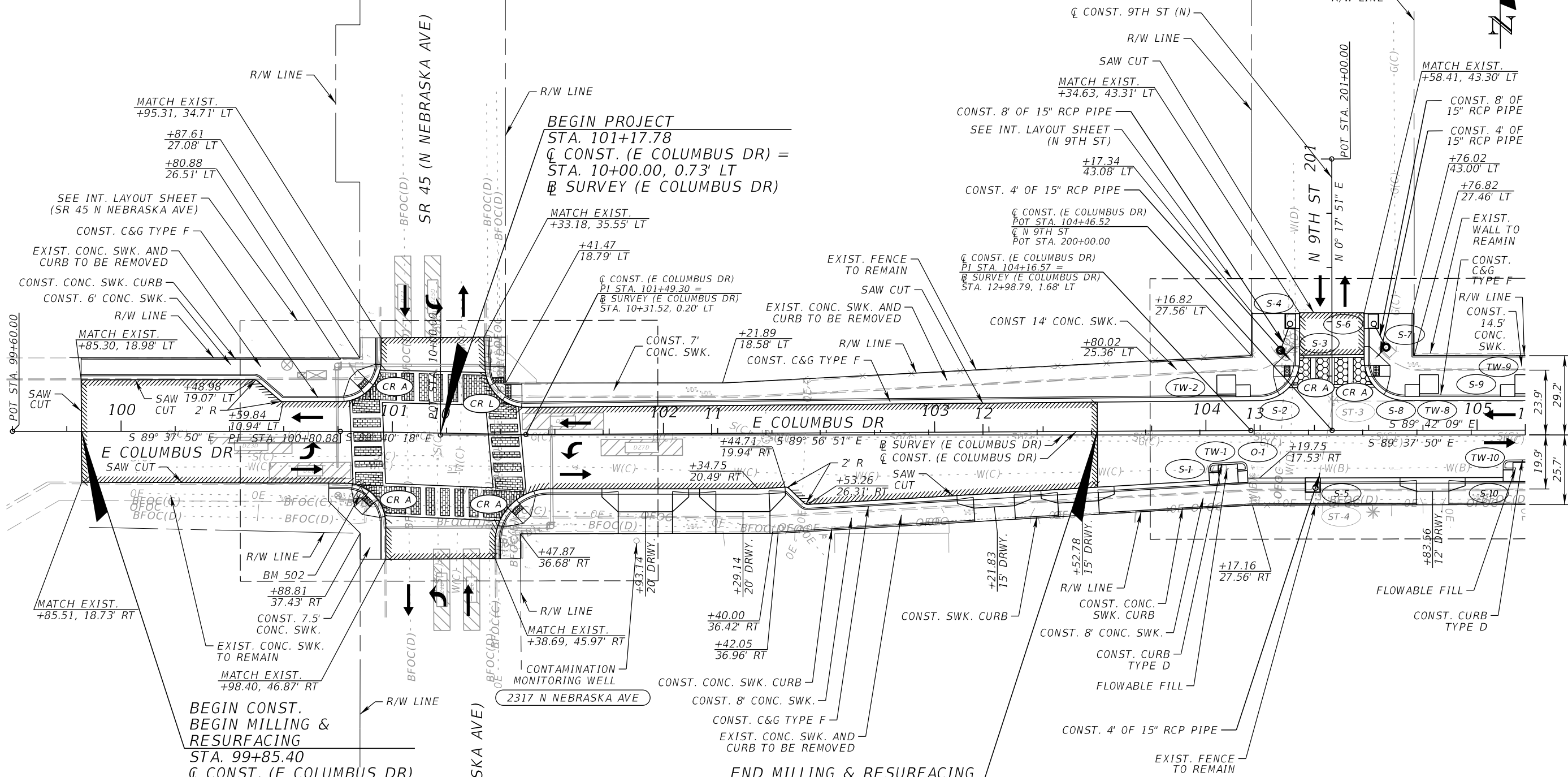
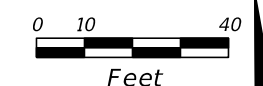
NOTES TO REVIEWERS

1. ROADWAY PLAN SHEET LIMITS AND DIMENSIONS ALONG MATCHLINES ARE BASED UPON THE \bar{c} OF SURVEY.
2. ALL PROPOSED SIDEWALK WITHIN PROJECT LIMITS TO BE MAINTAINED BY HILLSBOROUGH COUNTY AFTER CONSTRUCTION. SIDEWALK THICKNESS SHALL BE 6" THICK PER COUNTY STANDARDS.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GENERAL NOTES	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
						1001221	HILLSBOROUGH		436639-1-58-01



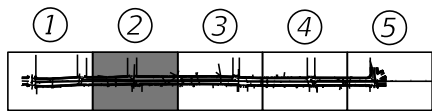
BM 502 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"
EL. 42.80'



LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
THERMOPLASTIC CROSSWALK (SEE DETAIL 1)	
PATTERNED CROSSWALK (SEE DETAIL 2)	

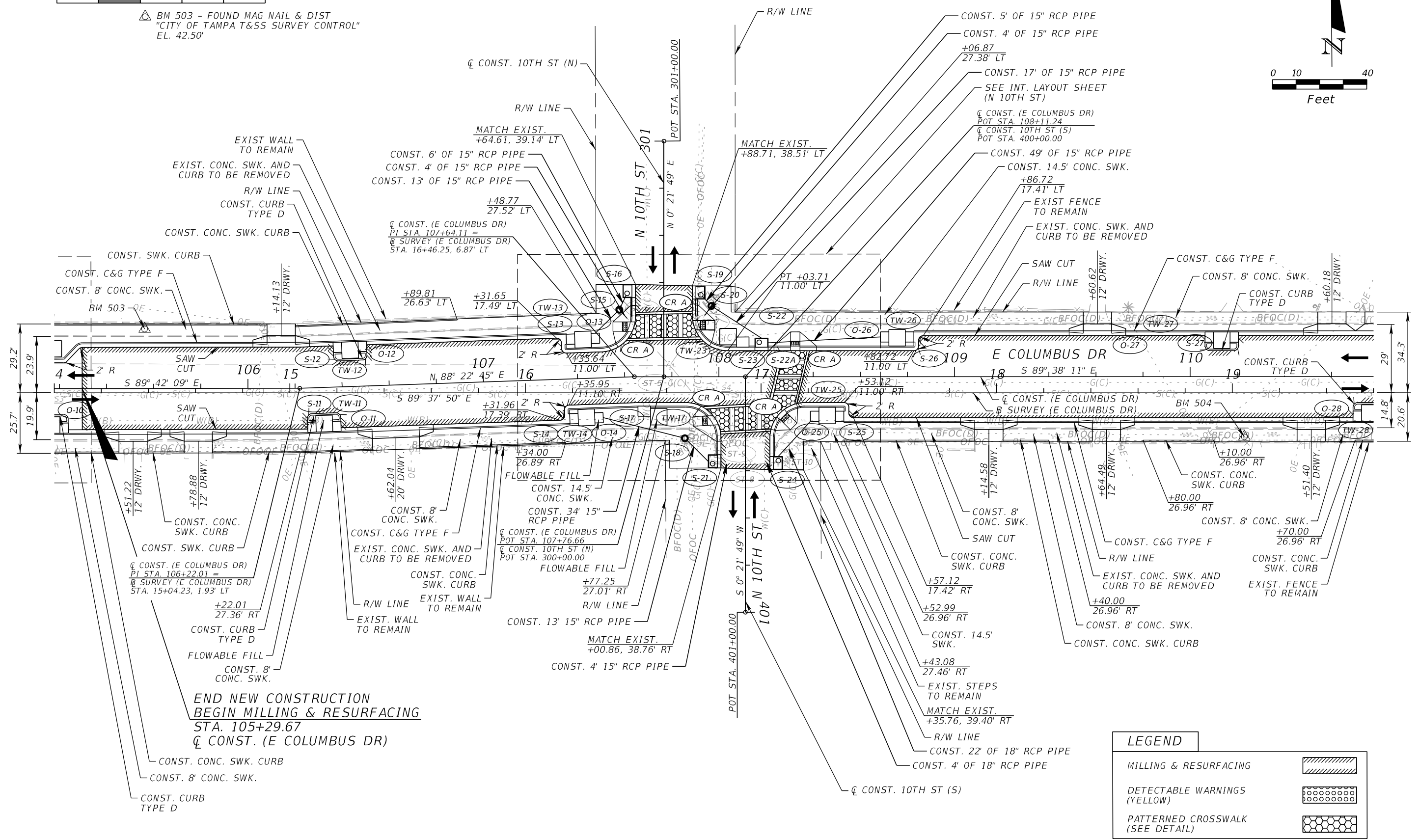
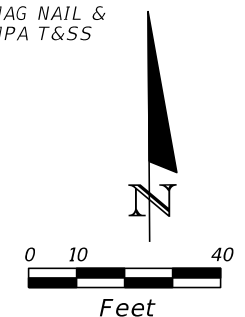
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 13
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
						1001221	HILLSBOROUGH	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



BM 503 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"
EL. 42.50'

BM 504 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"
EL. 41.81'

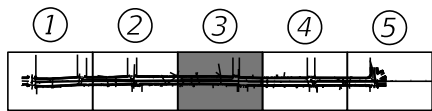


END NEW CONSTRUCTION
BEGIN MILLING & RESURFACING
STA. 105+29.67
Q CONST. (E COLUMBUS DR)

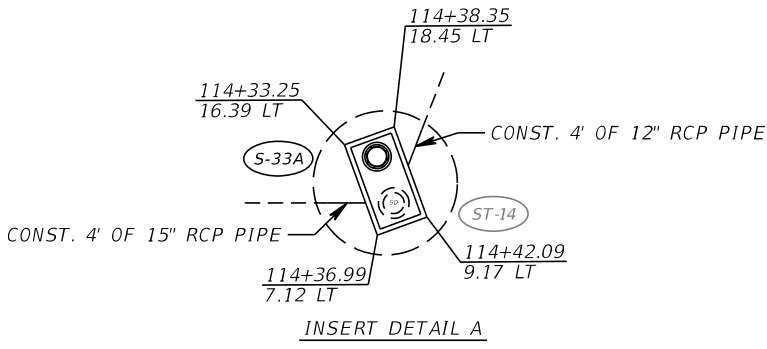
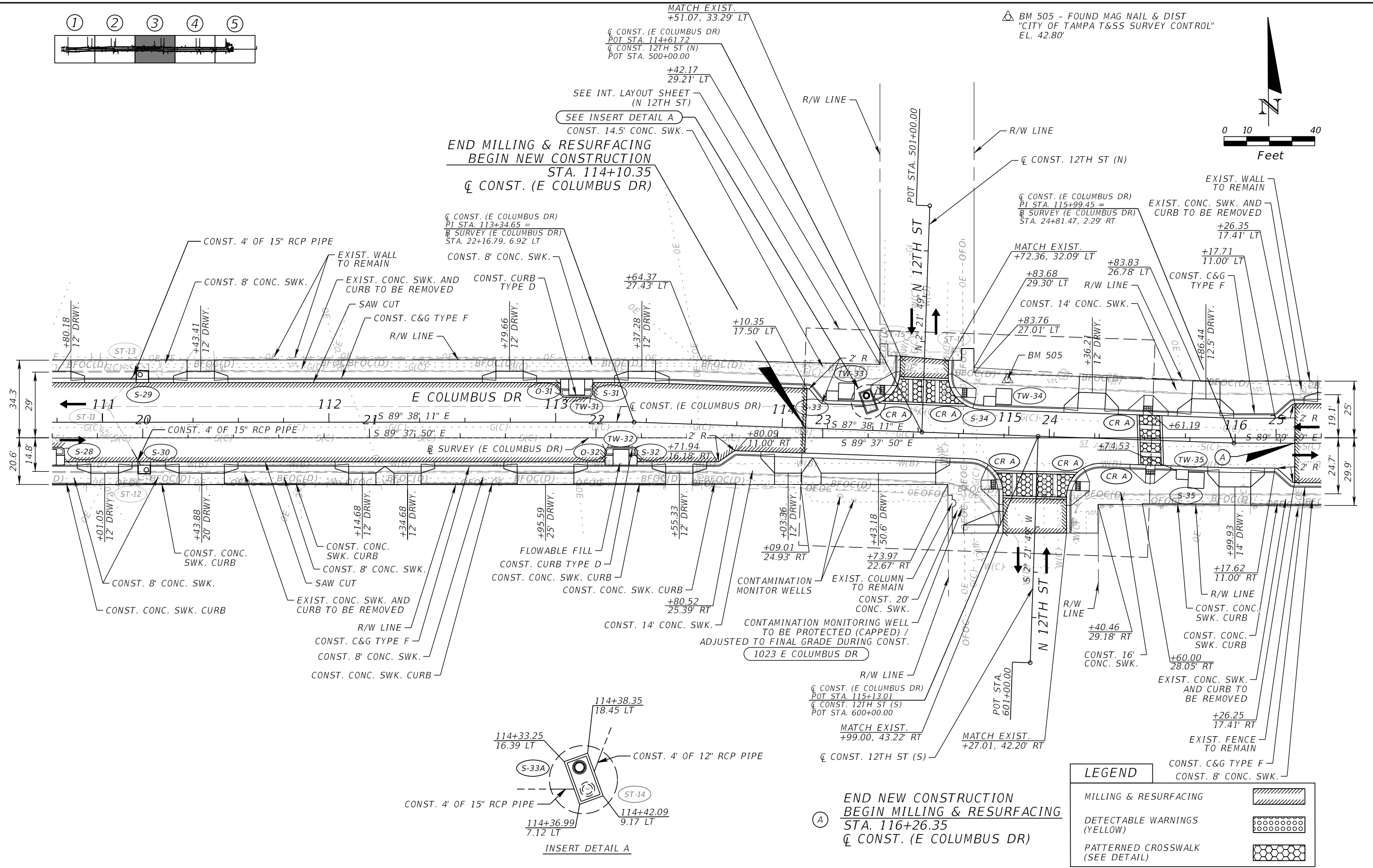
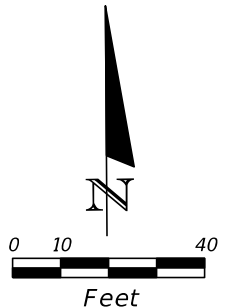
LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL)	

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 14
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



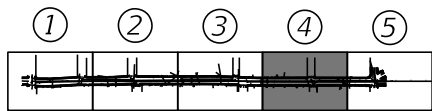
BM 505 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"
EL. 42.80'



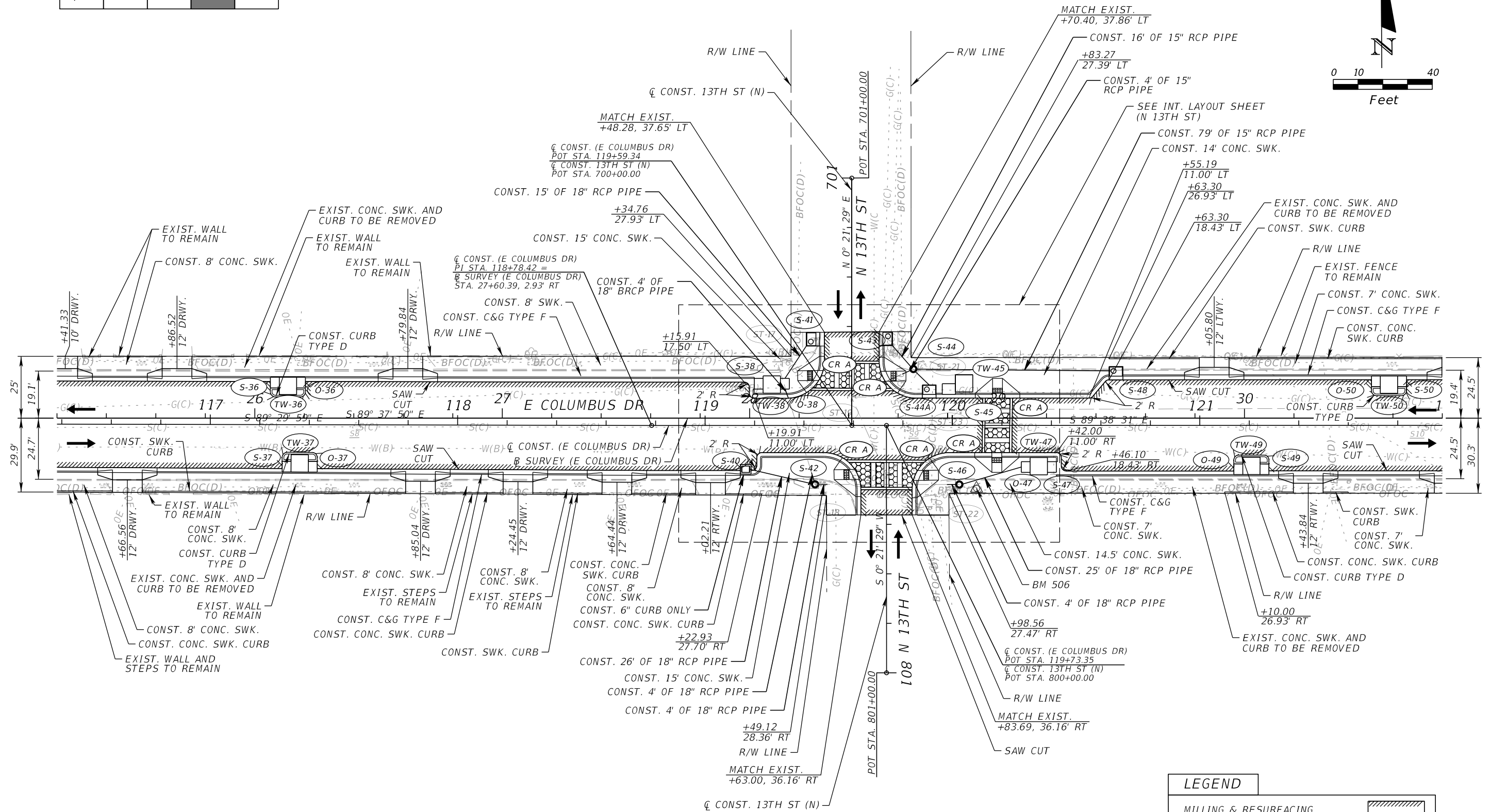
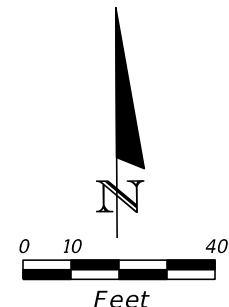
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 15
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

ROADWAY PLANS (3)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



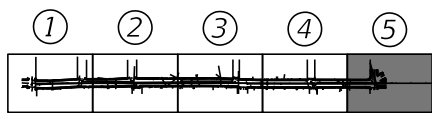
△ BM 506 - FOUND MAG NAIL & DIST
 "CITY OF TAMPA T&SS SURVEY CONTROL"
 EL. 39.24'



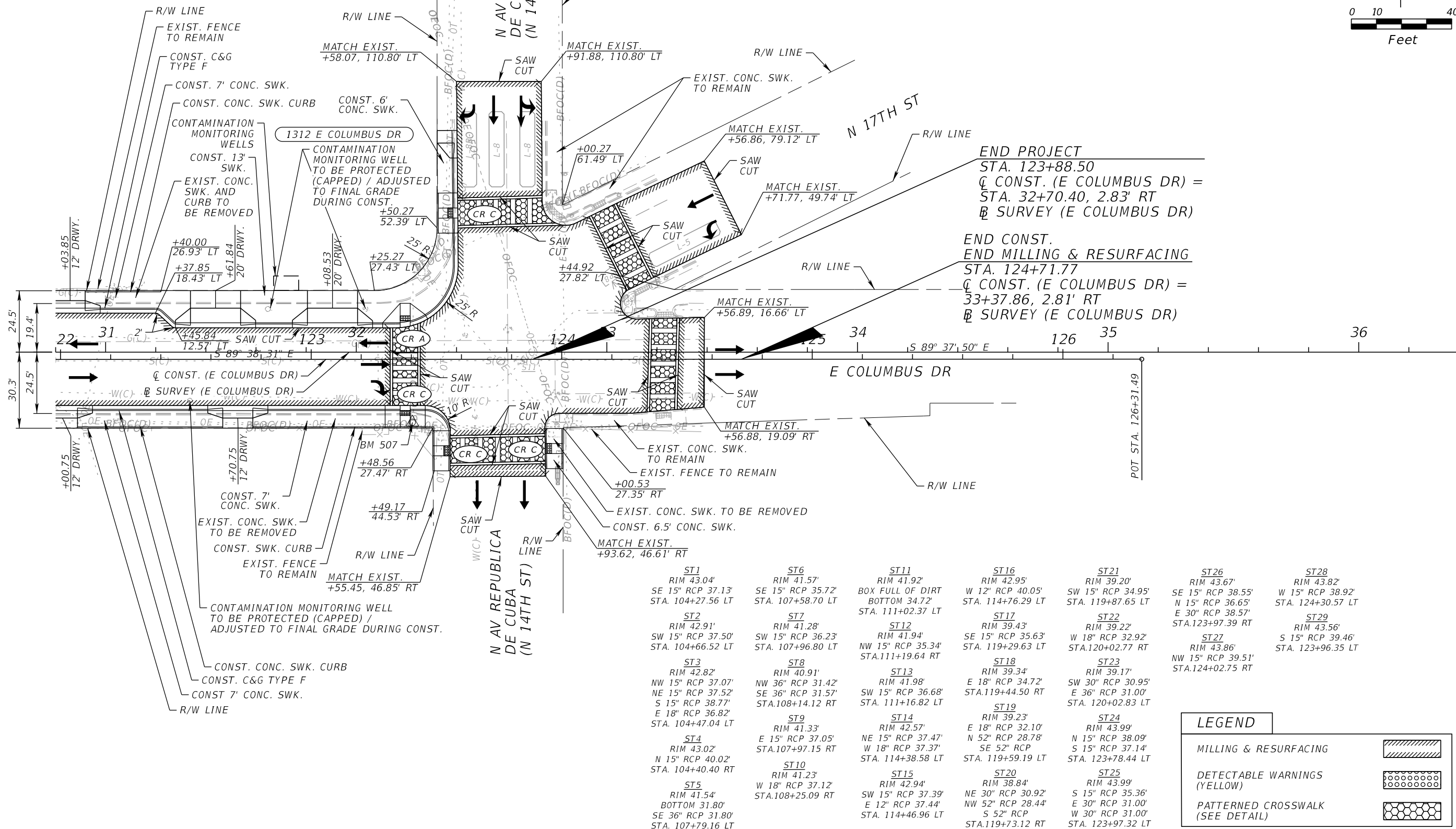
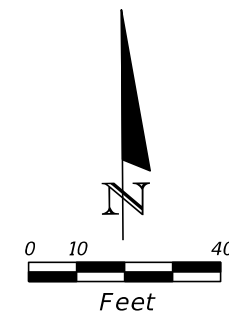
LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL)	

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	16

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



BM 507 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"
EL. 43.47'



END PROJECT
STA. 123+88.50
C CONST. (E COLUMBUS DR) =
STA. 32+70.40, 2.83' RT
B SURVEY (E COLUMBUS DR)

END CONST.
END MILLING & RESURFACING
STA. 124+71.77
C CONST. (E COLUMBUS DR) =
33+37.86, 2.81' RT
B SURVEY (E COLUMBUS DR)

ST1 RIM 43.04' SE 15" RCP 37.13' STA. 104+27.56 LT	ST6 RIM 41.57' SE 15" RCP 35.72' STA. 107+58.70 LT	ST11 RIM 41.92' BOX FULL OF DIRT BOTTOM 34.72' STA. 111+02.37 LT	ST16 RIM 42.95' W 12" RCP 40.05' STA. 114+76.29 LT	ST21 RIM 39.20' SW 15" RCP 34.95' STA. 119+87.65 LT	ST26 RIM 43.67' SE 15" RCP 38.55' N 15" RCP 36.65' E 30" RCP 38.57' STA. 123+97.39 RT	ST28 RIM 43.82' W 15" RCP 38.92' STA. 124+30.57 LT
ST2 RIM 42.91' SW 15" RCP 37.50' STA. 104+66.52 LT	ST7 RIM 41.28' SW 15" RCP 36.23' STA. 107+96.80 LT	ST12 RIM 41.94' NW 15" RCP 35.34' STA. 111+19.64 RT	ST17 RIM 39.43' SE 15" RCP 35.63' STA. 119+29.63 LT	ST22 RIM 39.22' W 18" RCP 32.92' STA. 120+02.77 RT	ST27 RIM 43.86' NW 15" RCP 39.51' STA. 124+02.75 RT	ST29 RIM 43.56' S 15" RCP 39.46' STA. 123+96.35 LT
ST3 RIM 42.82' NW 15" RCP 37.07' NE 15" RCP 37.52' S 15" RCP 38.77' E 18" RCP 36.82' STA. 104+47.04 LT	ST8 RIM 40.91' NW 36" RCP 31.42' SE 36" RCP 31.57' STA. 108+14.12 RT	ST13 RIM 41.98' SW 15" RCP 36.68' STA. 111+16.82 LT	ST18 RIM 39.34' E 18" RCP 34.72' STA. 119+44.50 RT	ST23 RIM 39.17' SW 30" RCP 30.95' E 36" RCP 31.00' STA. 120+02.83 LT		
ST4 RIM 43.02' N 15" RCP 40.02' STA. 104+40.40 RT	ST9 RIM 41.33' E 15" RCP 37.05' STA. 107+97.15 RT	ST14 RIM 42.57' NE 15" RCP 37.47' W 18" RCP 37.37' STA. 114+38.58 LT	ST19 RIM 39.23' E 18" RCP 32.10' N 52" RCP 28.78' SE 52" RCP STA. 119+59.19 LT	ST24 RIM 43.99' N 15" RCP 38.09' S 15" RCP 37.14' STA. 123+78.44 LT		
ST5 RIM 41.54' BOTTOM 31.80' SE 36" RCP 31.80' STA. 107+79.16 LT	ST10 RIM 41.23' W 18" RCP 37.12' STA. 108+25.09 RT	ST15 RIM 42.94' SW 15" RCP 37.39' E 12" RCP 37.44' STA. 114+46.96 LT	ST20 RIM 38.84' NE 30" RCP 30.92' NW 52" RCP 28.44' S 52" RCP STA. 119+73.12 RT	ST25 RIM 43.99' S 15" RCP 35.36' E 30" RCP 31.00' W 30" RCP 31.00' STA. 123+97.32 LT		

LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL)	

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 17
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

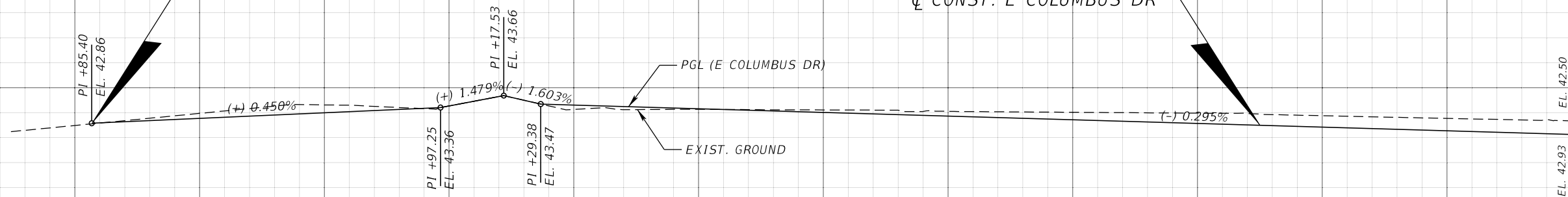
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

△ BM 502 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"

BEGIN CONSTRUCTION
BEGIN MILLING & RESURFACING
BEGIN VARIABLE MILLING
STA. 99+85.40
℄ CONST. E COLUMBUS DR

END MILLING & RESURFACING
BEGIN NEW CONSTRUCTION
STA. 103+60.00
℄ CONST. E COLUMBUS DR



1" = 40' Horizontal
1" = 4' Vertical

99+80.00

100+60.00

101+40.00

102+20.00

103+00.00

103+80.00

104+60.00

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

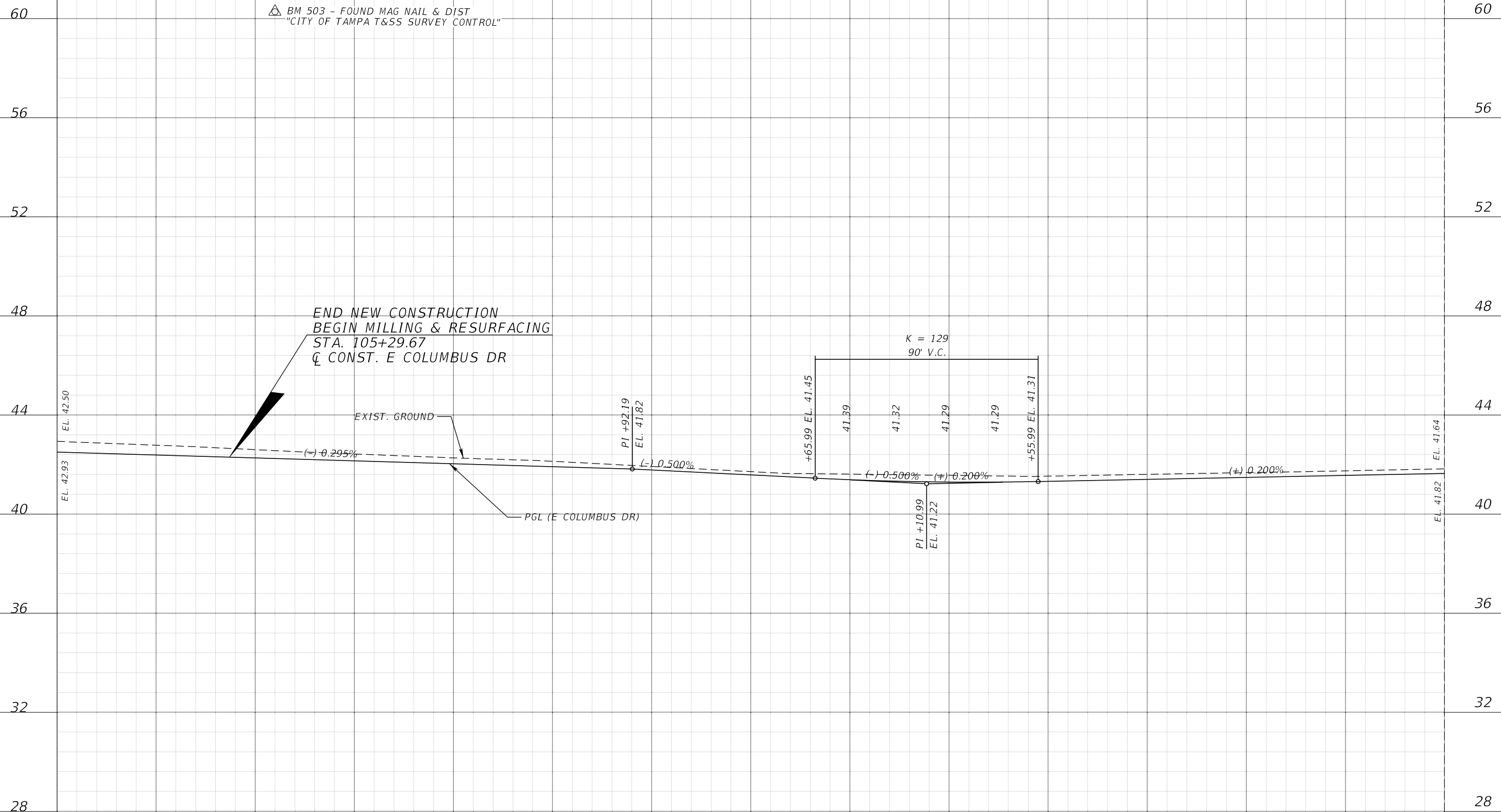
CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

ROADWAY PROFILES (1)

SHEET NO.
18

NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

△ BM 503 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"



END NEW CONSTRUCTION
BEGIN MILLING & RESURFACING
STA. 105+29.67
C.C. CONST. E COLUMBUS DR

EXIST. GROUND

PGL (E COLUMBUS DR)

K = 129
90' V.C.

1" = 40' Horizontal
1" = 4' Vertical

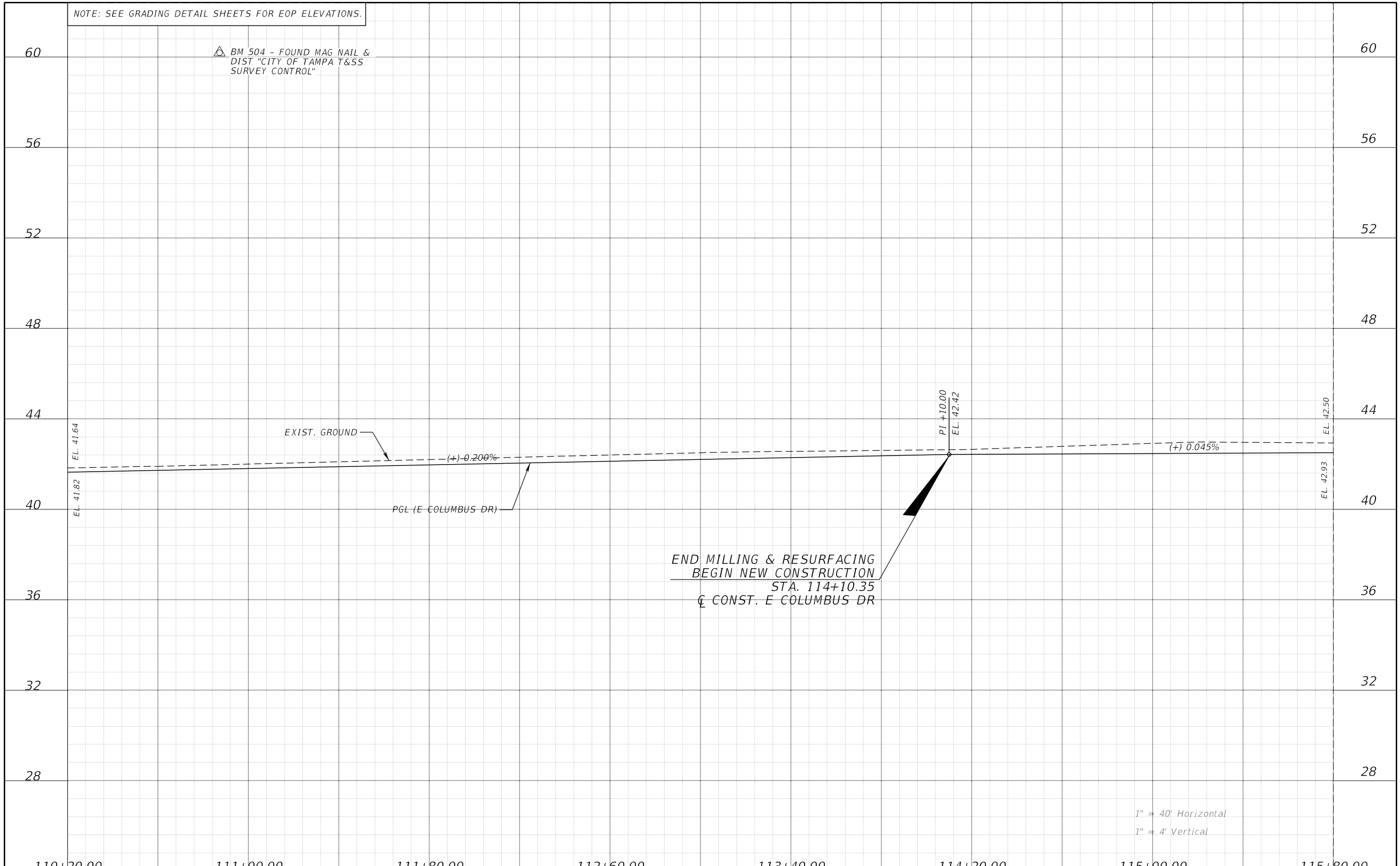
104+60.00 105+40.00 106+20.00 107+00.00 107+80.00 108+60.00 109+40.00 110+20.00

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			ROADWAY PROFILES (2)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
						1001221	HILLSBOROUGH		436639-1-58-01

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

△ BM 504 - FOUND MAG NAIL &
DIST "CITY OF TAMPA T&SS
SURVEY CONTROL"



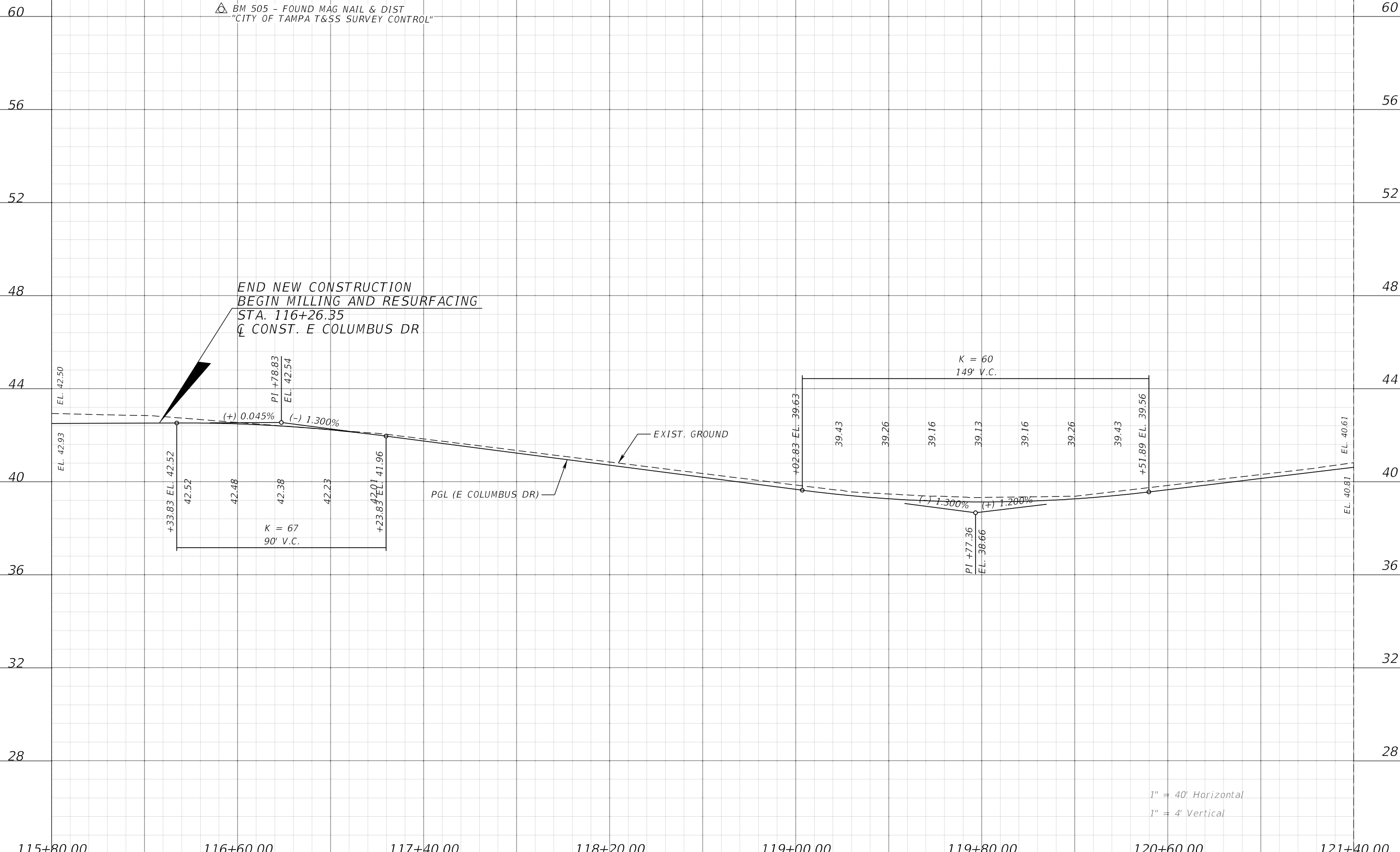
1" = 40' Horizontal
1" = 4' Vertical

110+20.00		111+00.00		111+80.00		112+60.00		113+40.00		114+20.00		115+00.00		115+80.00		
REVISIONS																
DATE	DESCRIPTION			DATE	DESCRIPTION			JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356				CITY OF TAMPA TRANSPORTATION DEPARTMENT			ROADWAY PROFILES (3)	SHEET NO.
												CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
								1001221	HILLSBOROUGH	436639-1-58-01		20				

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

△ BM 505 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"



END NEW CONSTRUCTION
BEGIN MILLING AND RESURFACING
STA. 116+26.35
Q CONST. E COLUMBUS DR

EXIST. GROUND

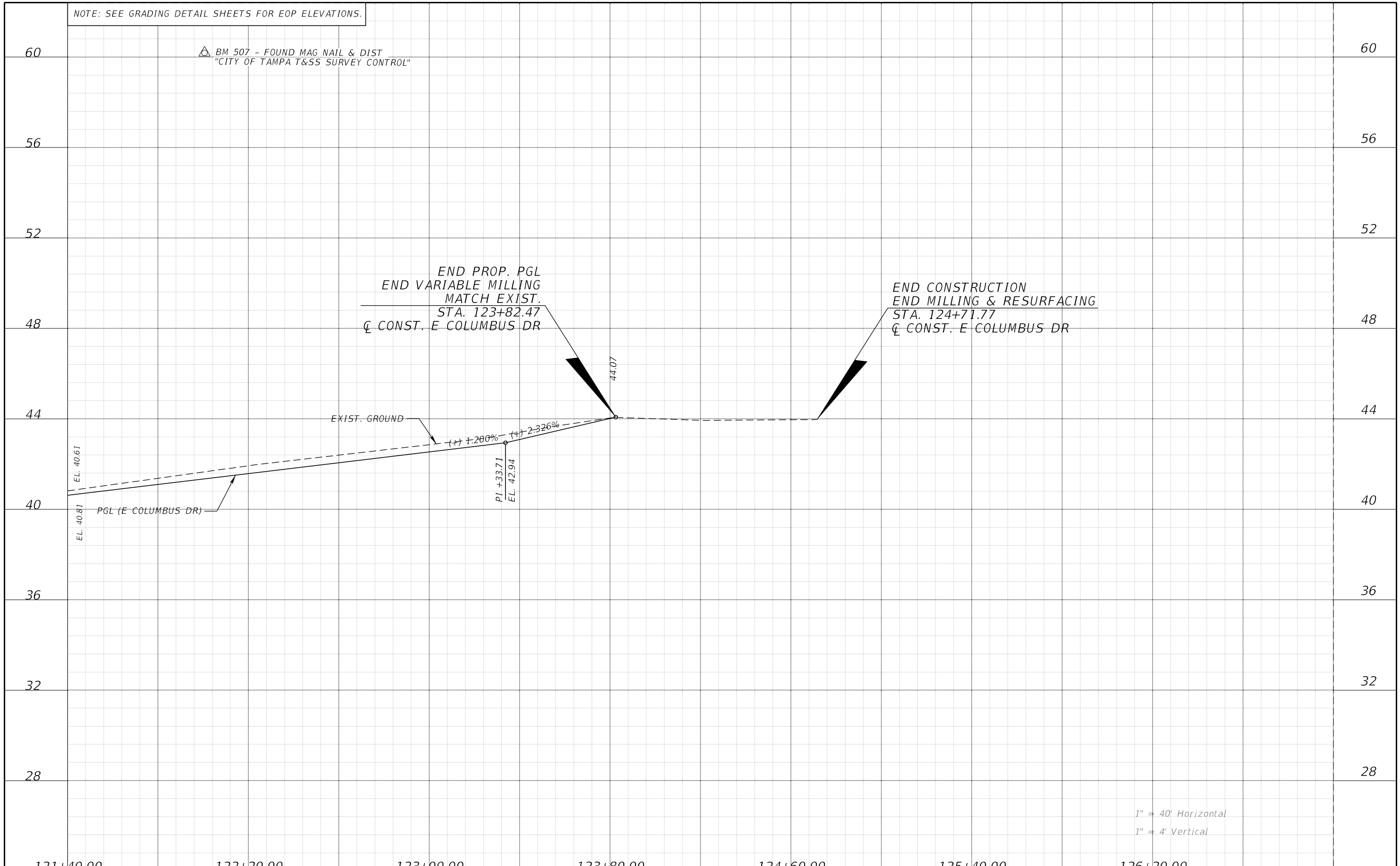
PGL (E COLUMBUS DR)

1" = 40' Horizontal
1" = 4' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			ROADWAY PROFILES (4)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
						1001221	HILLSBOROUGH		436639-1-58-01

NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

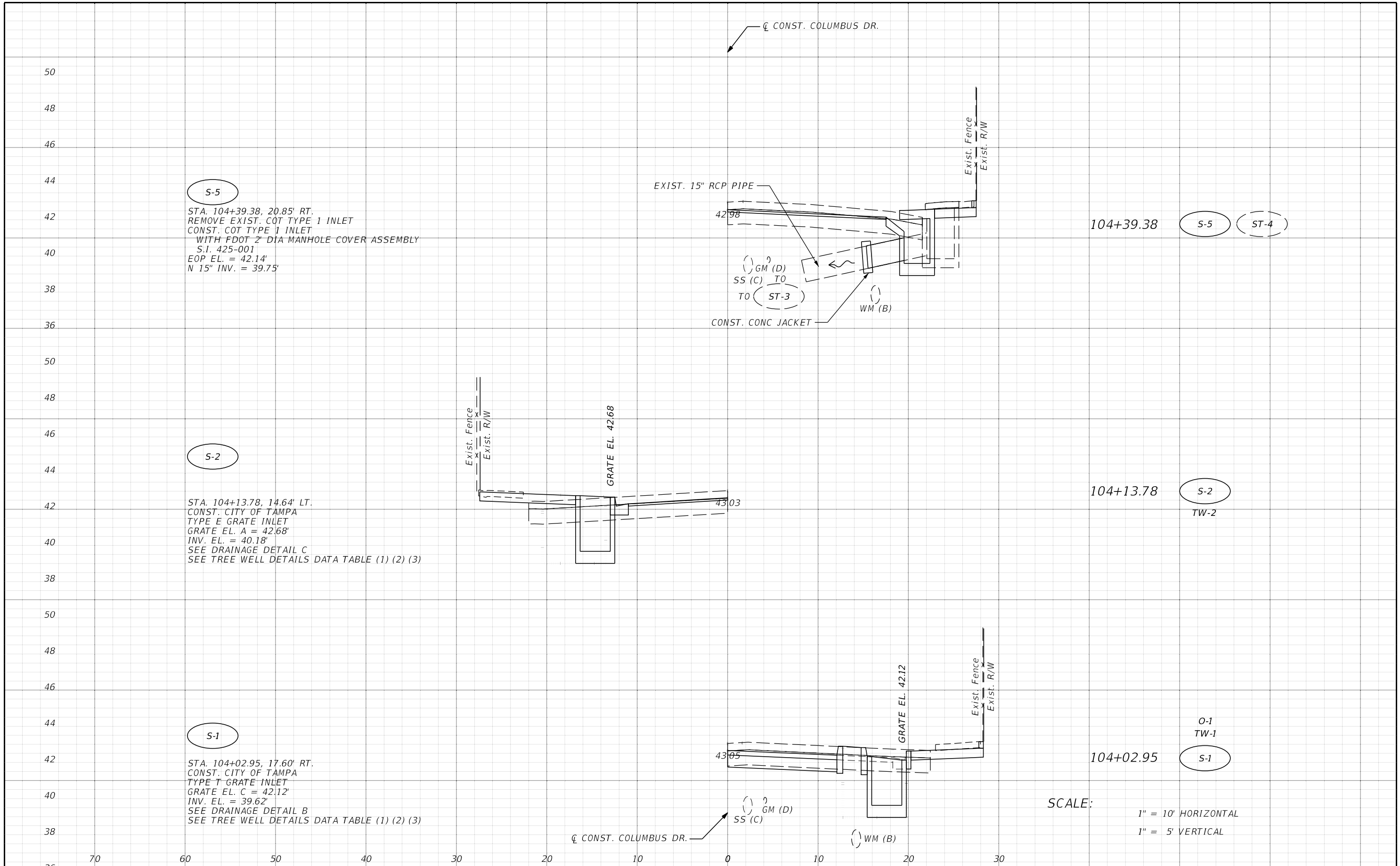
△ BM 507 - FOUND MAG NAIL & DIST
"CITY OF TAMPA T&SS SURVEY CONTROL"



1" = 40' Horizontal
1" = 4' Vertical

121+40.00		122+20.00		123+00.00		123+80.00		124+60.00		125+40.00		126+20.00			
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356				CITY OF TAMPA TRANSPORTATION DEPARTMENT				ROADWAY PROFILES (5)			
DATE	DESCRIPTION	DATE	DESCRIPTION	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		SHEET NO.							
				1001221	HILLSBOROUGH	436639-1-58-01		22							

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-5
 STA. 104+39.38, 20.85' RT.
 REMOVE EXIST. COT TYPE 1 INLET
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 42.14'
 N 15" INV. = 39.75'

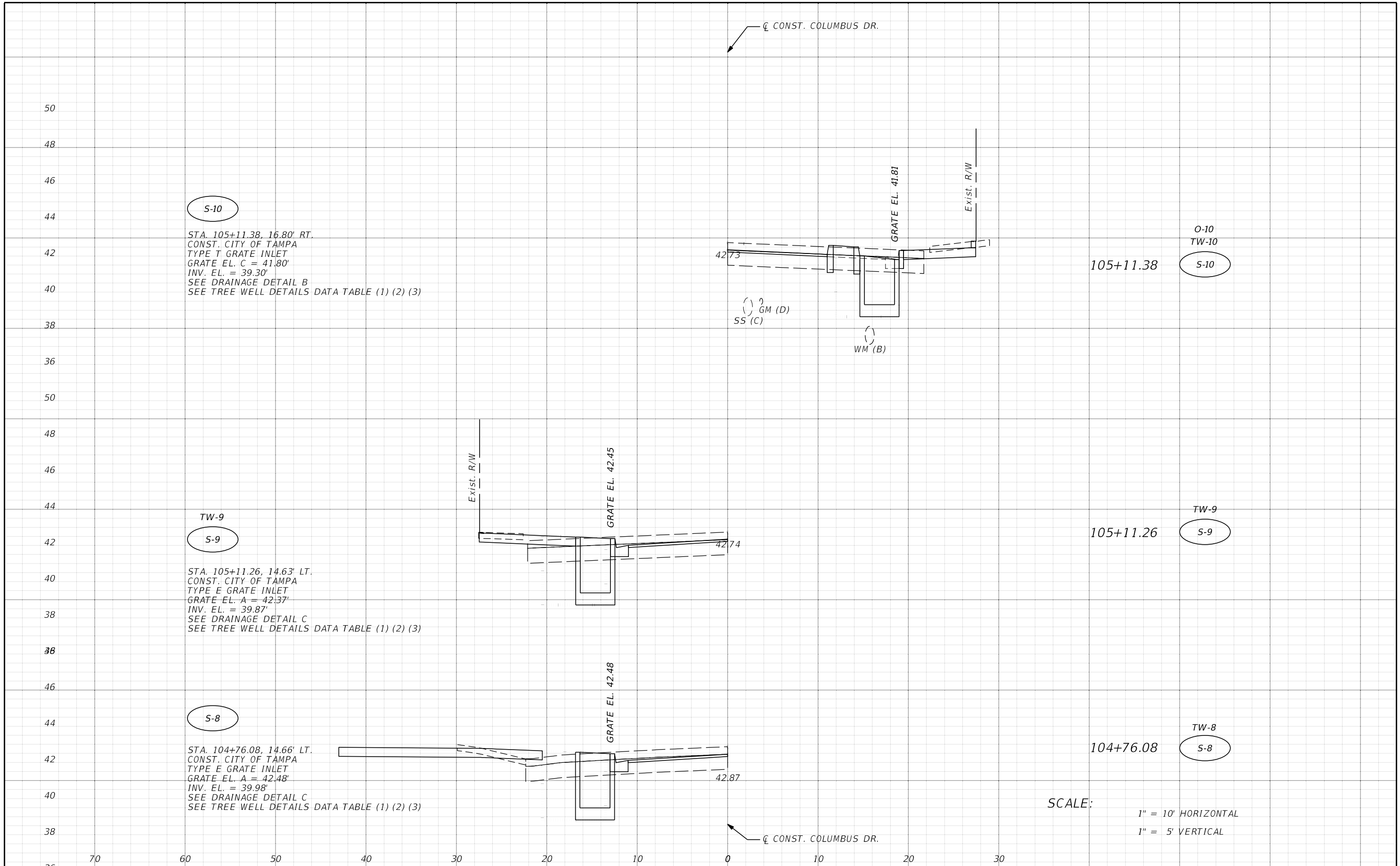
S-2
 STA. 104+13.78, 14.64' LT.
 CONST. CITY OF TAMPA
 TYPE E GRATE INLET
 GRATE EL. A = 42.68'
 INV. EL. = 40.18'
 SEE DRAINAGE DETAIL C
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-1
 STA. 104+02.95, 17.60' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 42.12'
 INV. EL. = 39.62'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

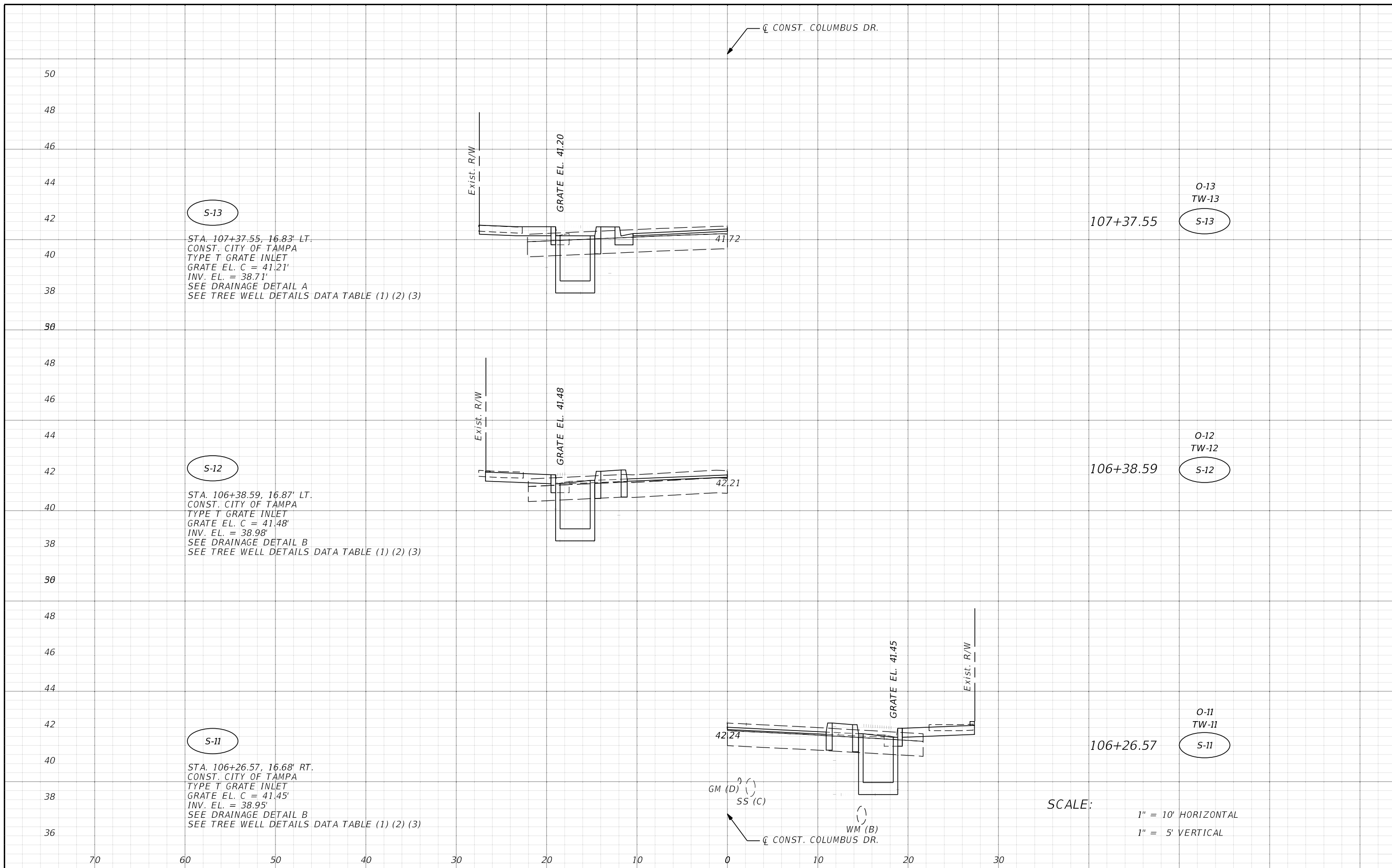
REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 23
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 24
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



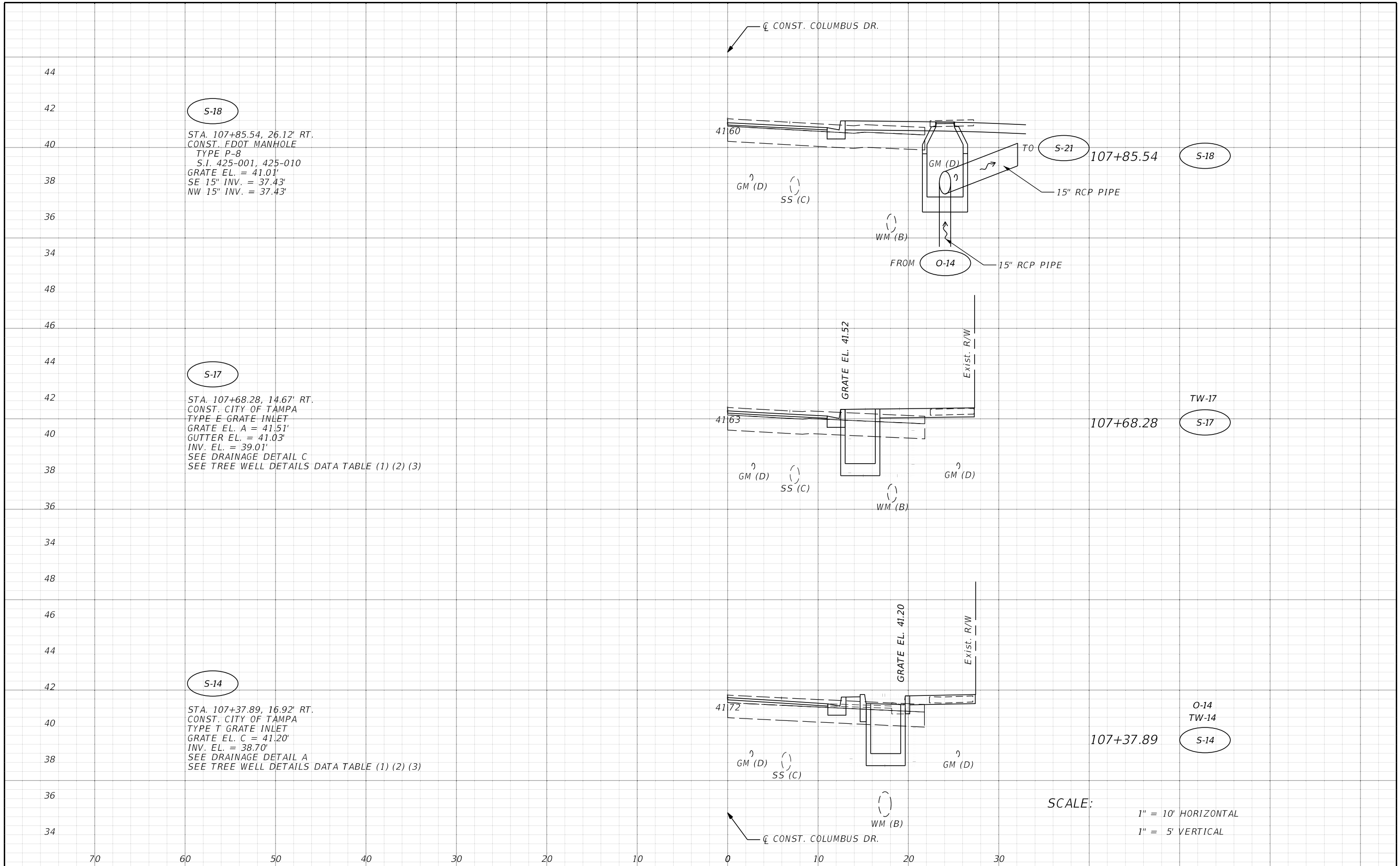
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

DRAINAGE STRUCTURES
 SHEET NO. 25

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-18
 STA. 107+85.54, 26.12' RT.
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 41.01'
 SE 15" INV. = 37.43'
 NW 15" INV. = 37.43'

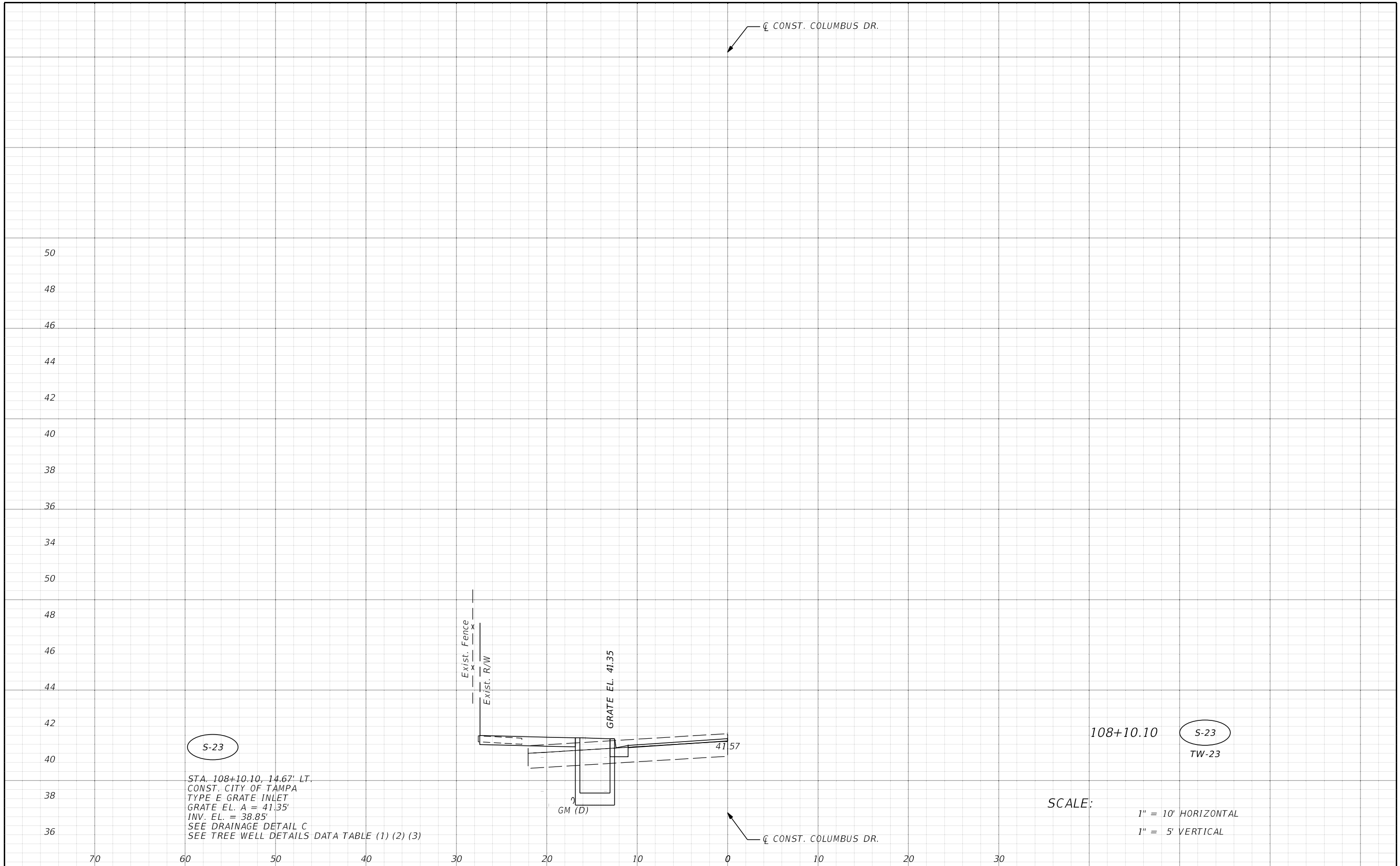
S-17
 STA. 107+68.28, 14.67' RT.
 CONST. CITY OF TAMPA
 TYPE E GRATE INLET
 GRATE EL. A = 41.51'
 GUTTER EL. = 41.03'
 INV. EL. = 39.01'
 SEE DRAINAGE DETAIL C
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-14
 STA. 107+37.89, 16.92' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 41.20'
 INV. EL. = 38.70'
 SEE DRAINAGE DETAIL A
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 26
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-23

S-23

TW-23

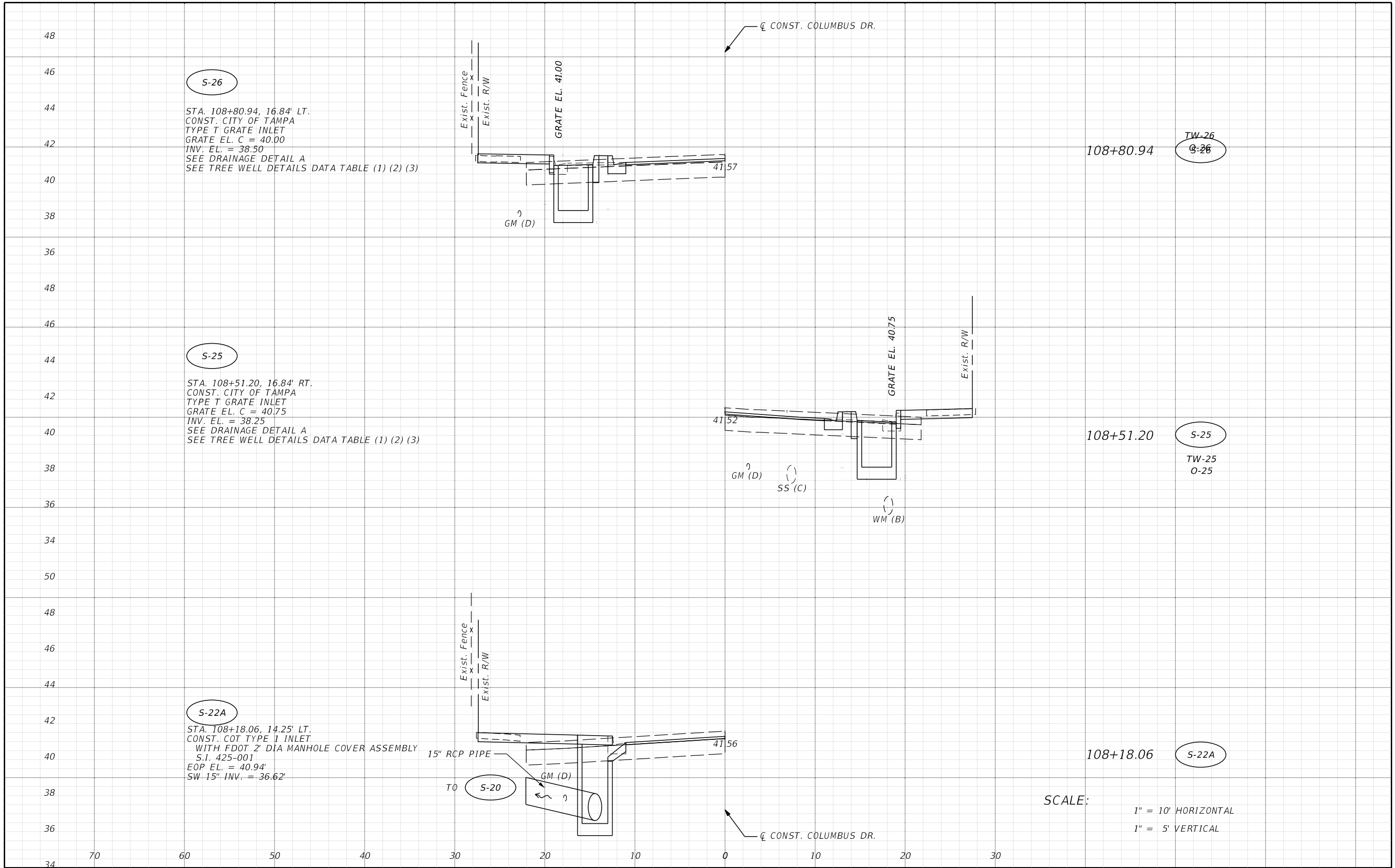
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

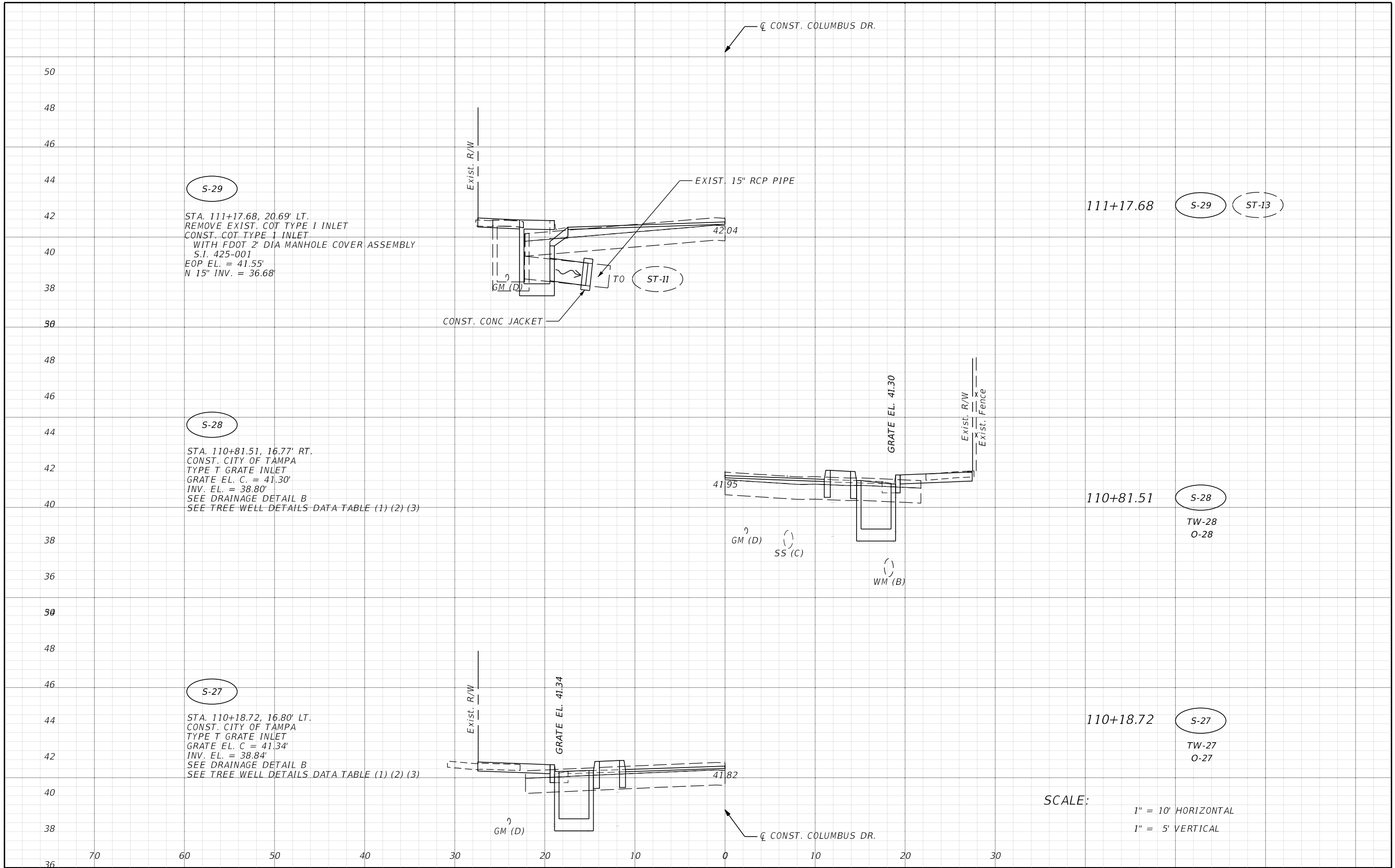
DRAINAGE STRUCTURES

SHEET NO.
 27



REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 28
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-29
 STA. 111+17.68, 20.69' LT.
 REMOVE EXIST. COT TYPE I INLET
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 41.55'
 N 15" INV. = 36.68'

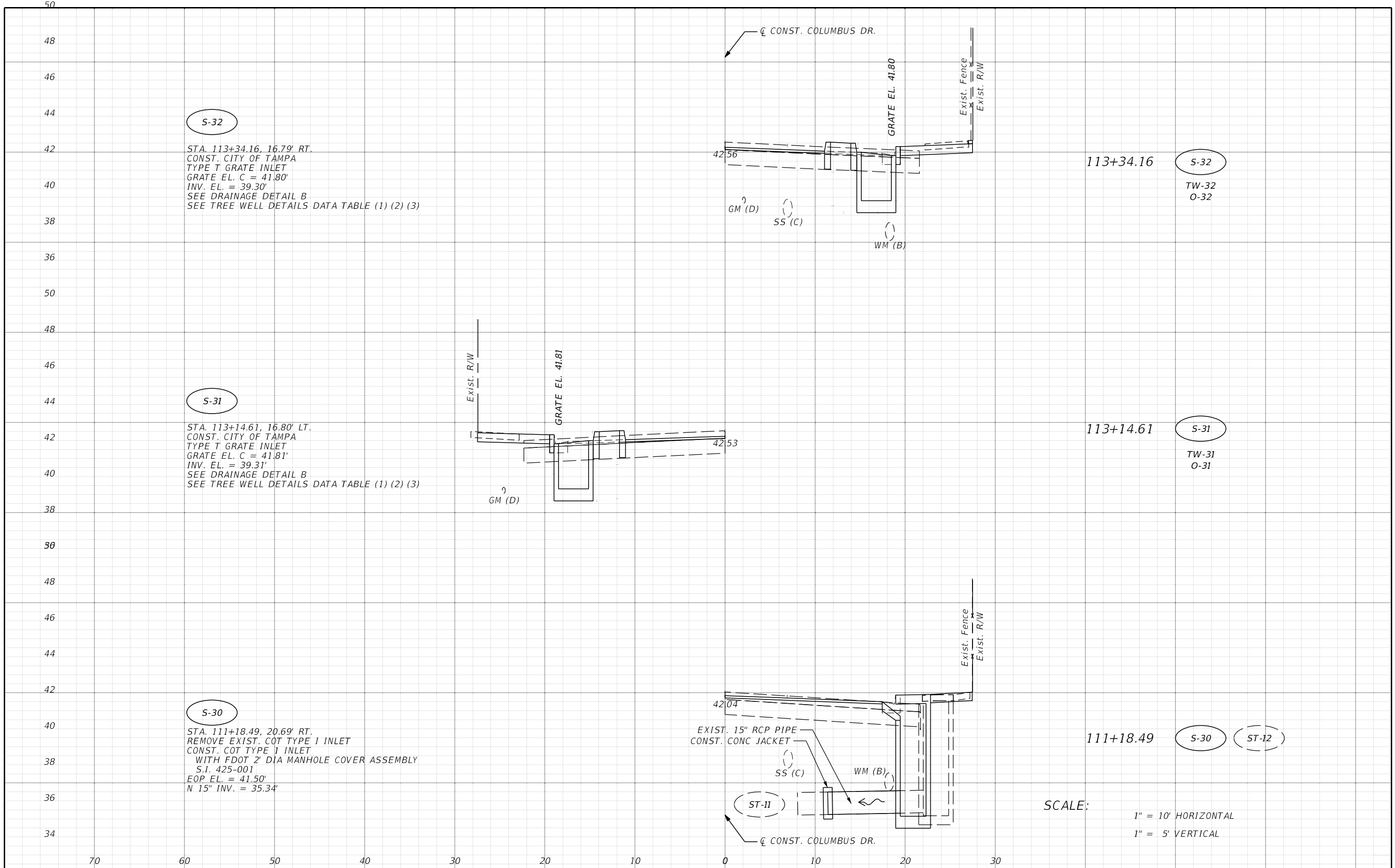
S-28
 STA. 110+81.51, 16.77' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C. = 41.30'
 INV. EL. = 38.80'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-27
 STA. 110+18.72, 16.80' LT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 41.34'
 INV. EL. = 38.84'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

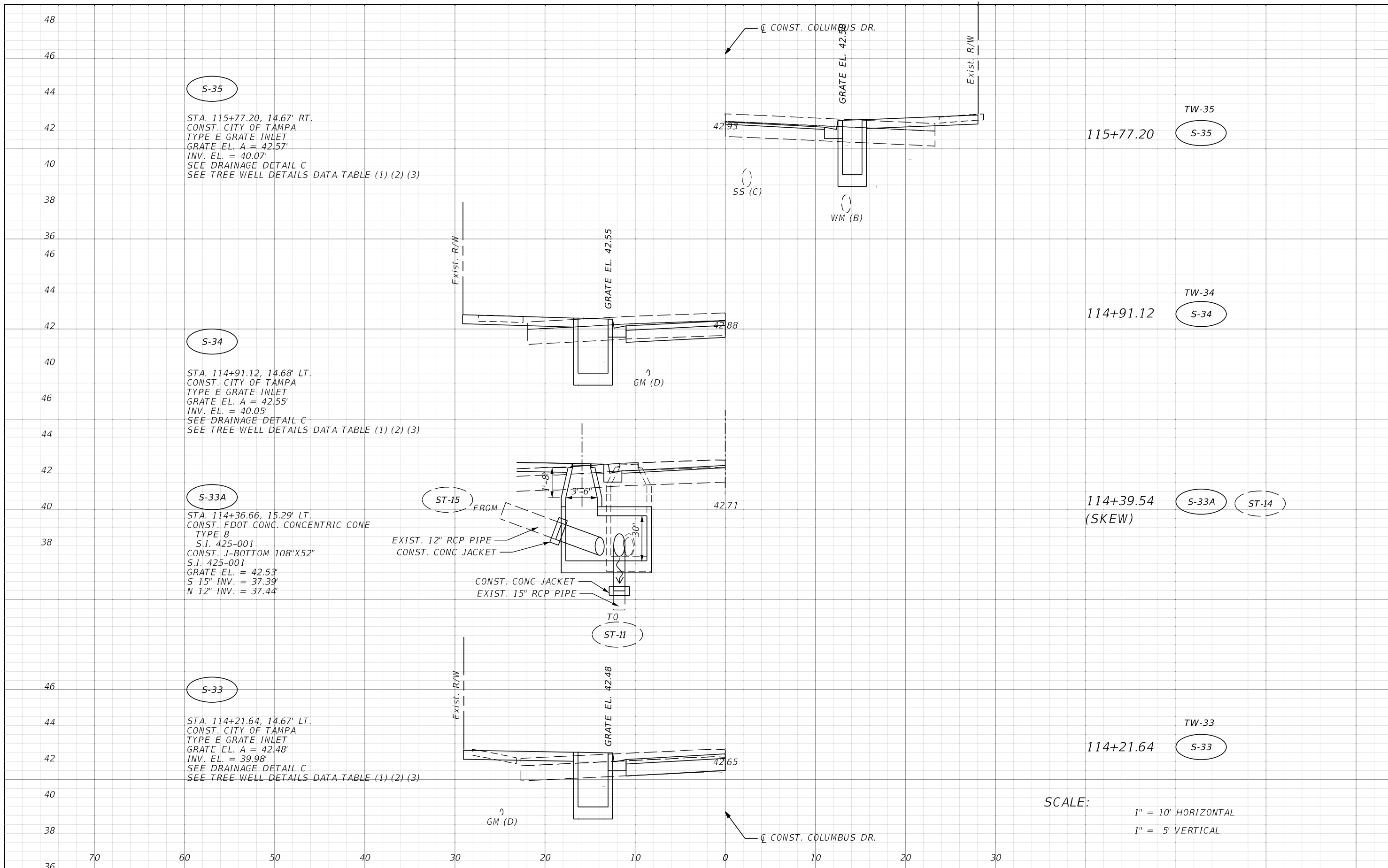
REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 29
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 30
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01	DRAINAGE STRUCTURES	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

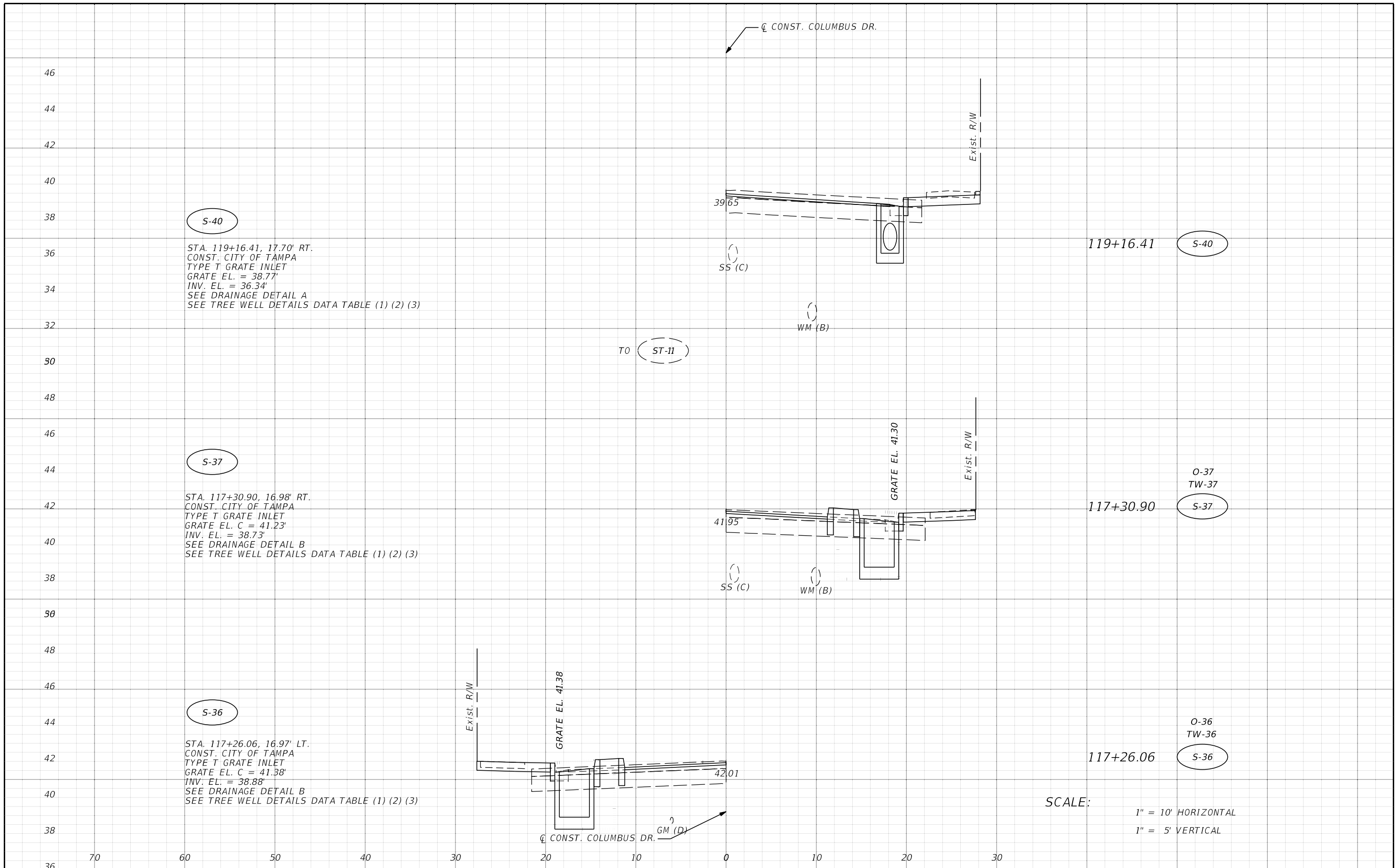
THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

DRAINAGE STRUCTURES

SHEET NO.
31

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-40
 STA. 119+16.41, 17.70' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. = 38.77'
 INV. EL. = 36.34'
 SEE DRAINAGE DETAIL A
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

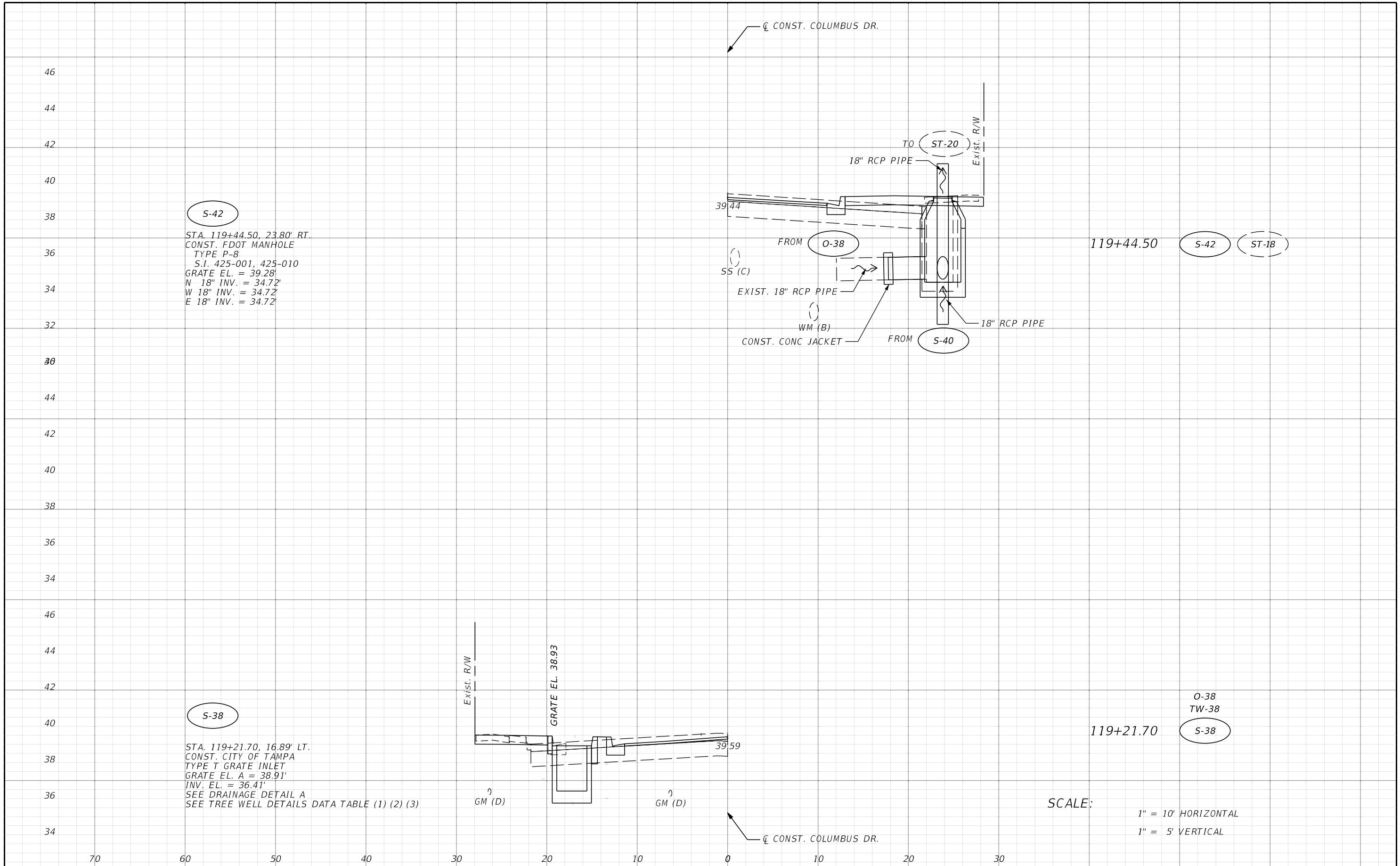
S-37
 STA. 117+30.90, 16.98' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 41.23'
 INV. EL. = 38.73'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-36
 STA. 117+26.06, 16.97' LT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 41.38'
 INV. EL. = 38.88'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES SHEET NO. 32
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



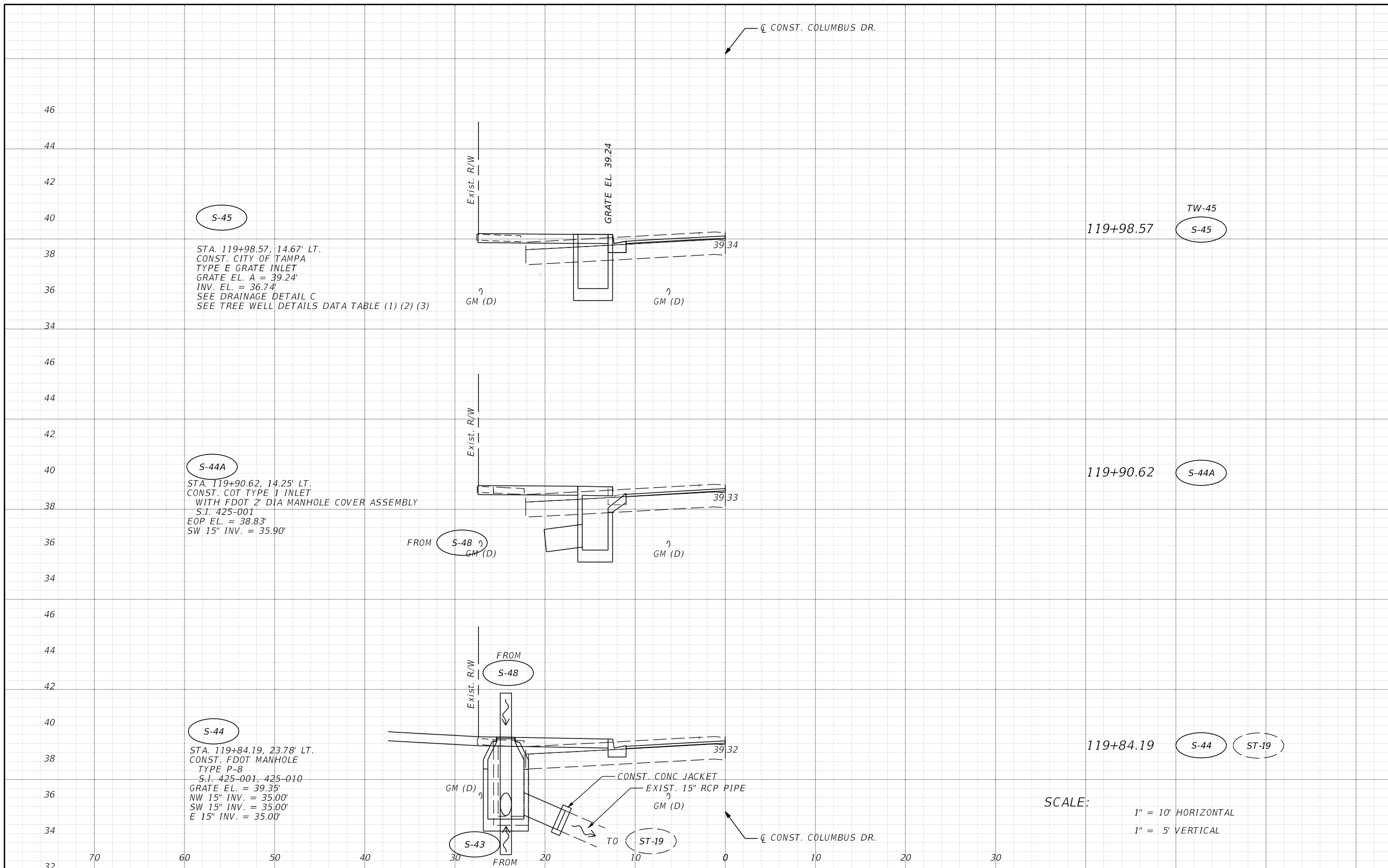
S-42
 STA. 119+44.50, 23.80' RT.
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 39.28'
 N 18" INV. = 34.72'
 W 18" INV. = 34.72'
 E 18" INV. = 34.72'

S-38
 STA. 119+21.70, 16.89' LT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. A = 38.91'
 INV. EL. = 36.41'
 SEE DRAINAGE DETAIL A
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES SHEET NO. 33
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-45

STA. 119+98.57, 14.67' LT.
 CONST. CITY OF TAMPA
 TYPE E GRATE INLET
 GRATE EL. A = 39.24'
 INV. EL. = 36.74'
 SEE DRAINAGE DETAIL C
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-44A

STA. 119+90.62, 14.25' LT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 38.83'
 SW 15" INV. = 35.90'

S-44

STA. 119+84.19, 23.78' LT.
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 39.35'
 NW 15" INV. = 35.00'
 SW 15" INV. = 35.00'
 E 15" INV. = 35.00'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

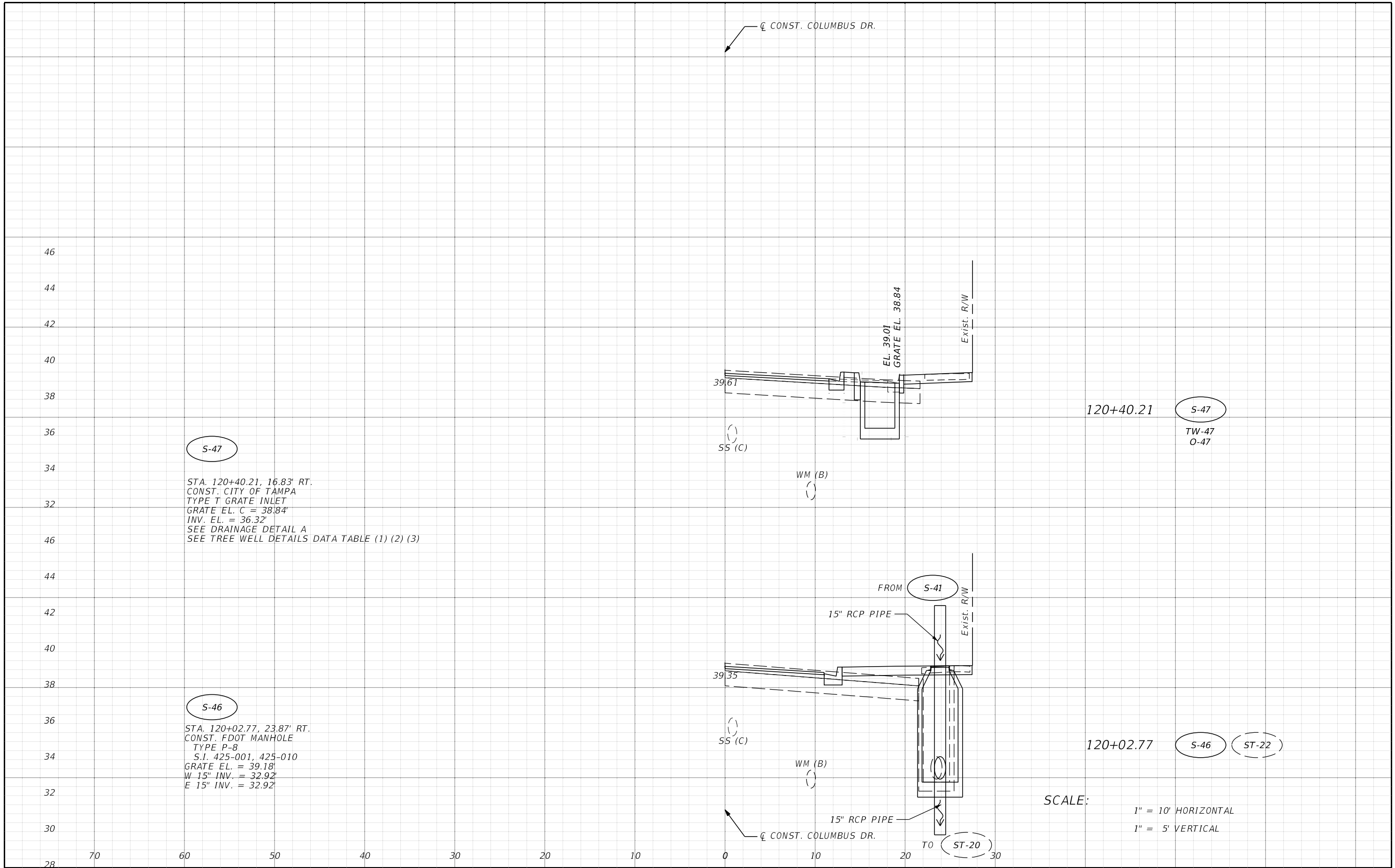
THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

DRAINAGE STRUCTURES

SHEET NO.
34

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



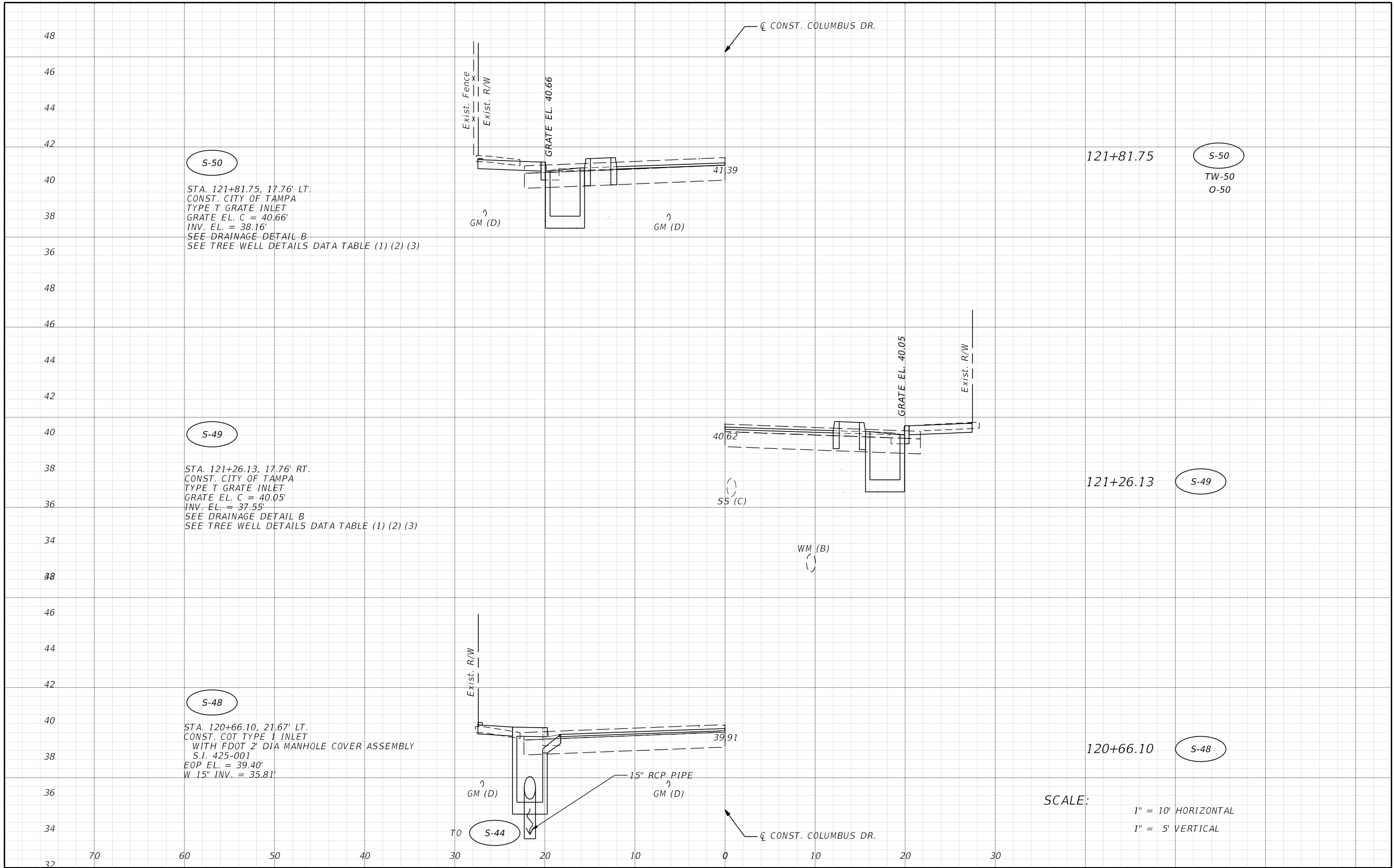
S-47
 STA. 120+40.21, 16.83' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 38.84'
 INV. EL. = 36.32'
 SEE DRAINAGE DETAIL A
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-46
 STA. 120+02.77, 23.87' RT.
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 39.18'
 W 15" INV. = 32.92'
 E 15" INV. = 32.92'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES SHEET NO. 35
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-50
 STA. 121+81.75, 17.76' LT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 40.66'
 INV. EL. = 38.16'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

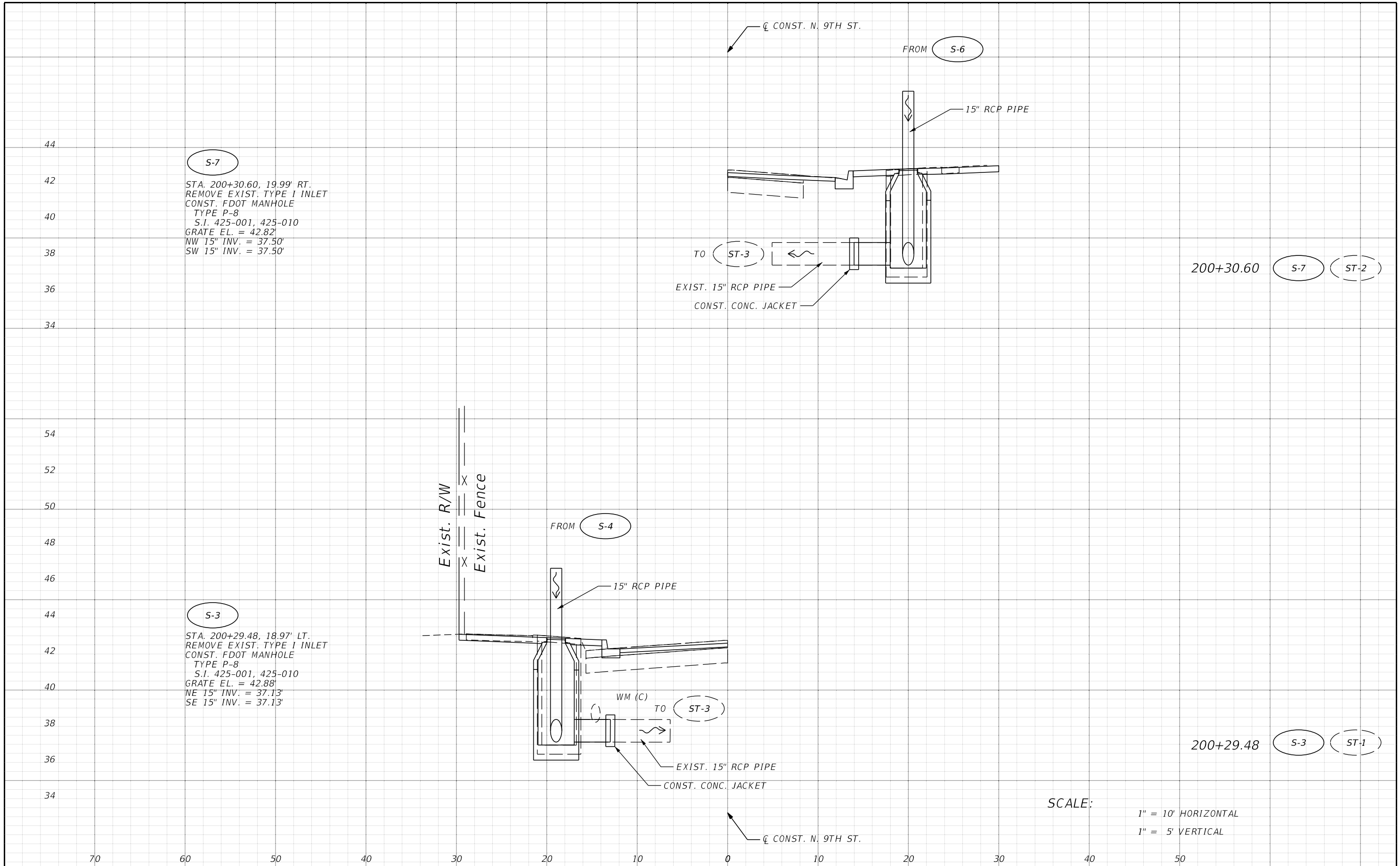
S-49
 STA. 121+26.13, 17.76' RT.
 CONST. CITY OF TAMPA
 TYPE T GRATE INLET
 GRATE EL. C = 40.05'
 INV. EL. = 37.55'
 SEE DRAINAGE DETAIL B
 SEE TREE WELL DETAILS DATA TABLE (1) (2) (3)

S-48
 STA. 120+66.10, 21.67' LT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 39.40'
 W 15" INV. = 35.81'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES SHEET NO. 36
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



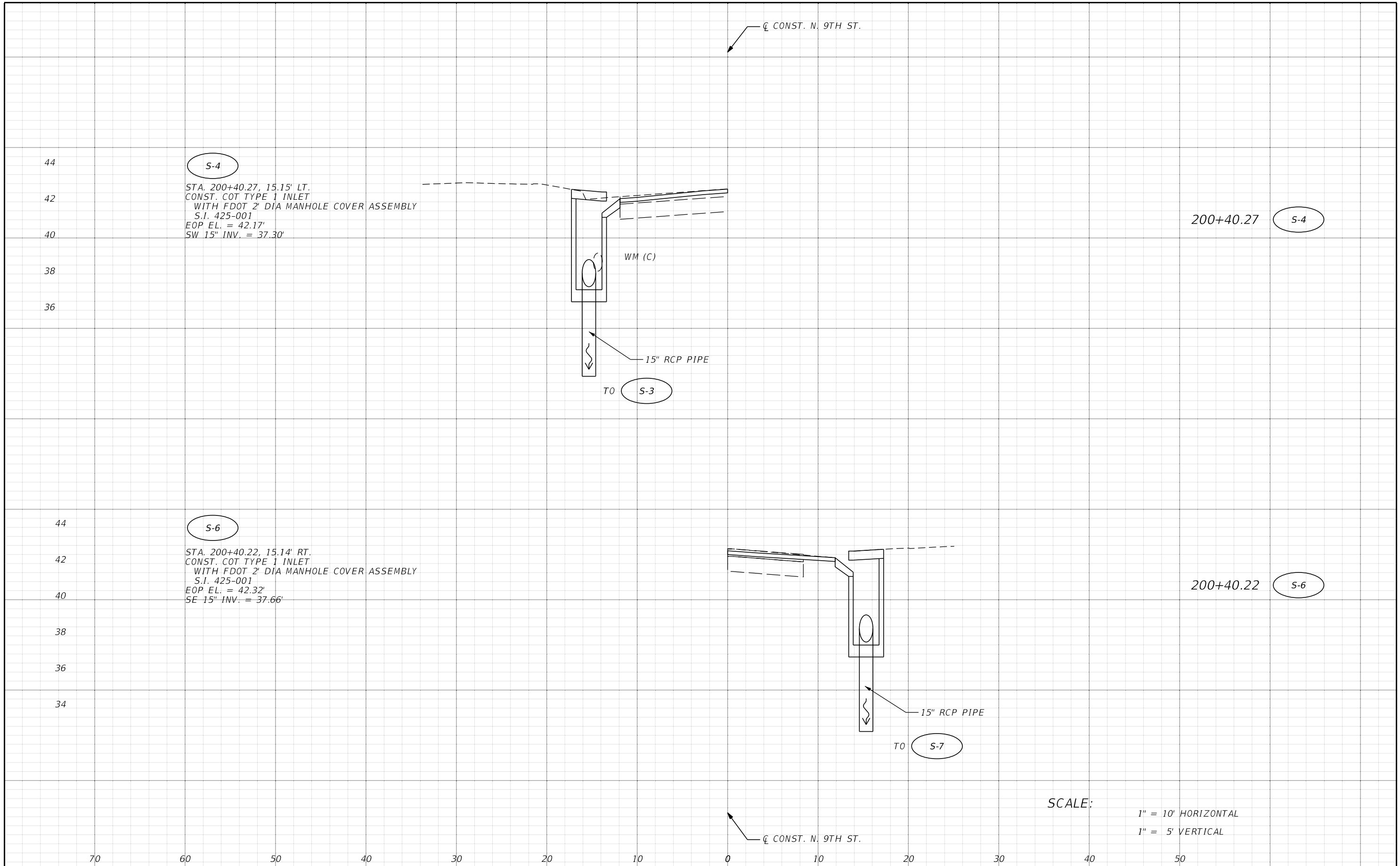
S-7
 STA. 200+30.60, 19.99' RT.
 REMOVE EXIST. TYPE 1 INLET
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 42.82'
 NW 15" INV. = 37.50'
 SW 15" INV. = 37.50'

S-3
 STA. 200+29.48, 18.97' LT.
 REMOVE EXIST. TYPE 1 INLET
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 42.88'
 NE 15" INV. = 37.13'
 SE 15" INV. = 37.13'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 37
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



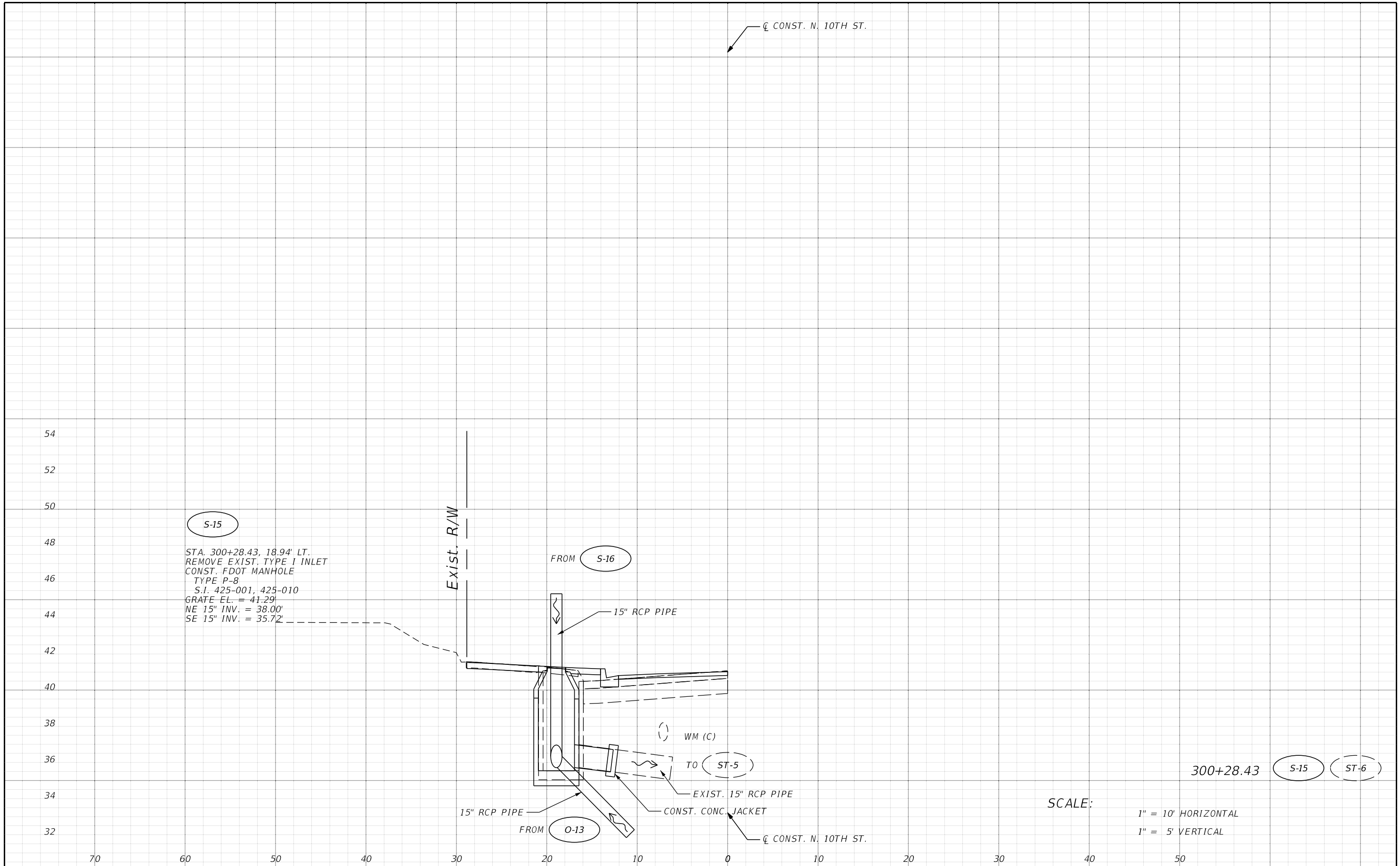
S-4
 STA. 200+40.27, 15.15' LT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 42.17'
 SW 15" INV. = 37.30'

S-6
 STA. 200+40.22, 15.14' RT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 42.32'
 SE 15" INV. = 37.66'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES SHEET NO. 38
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-15
 STA. 300+28.43, 18.94' LT.
 REMOVE EXIST. TYPE I INLET
 CONST. FDOT MANHOLE
 TYPE P-8
 S.I. 425-001, 425-010
 GRATE EL. = 41.29'
 NE 15" INV. = 38.00'
 SE 15" INV. = 35.72'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

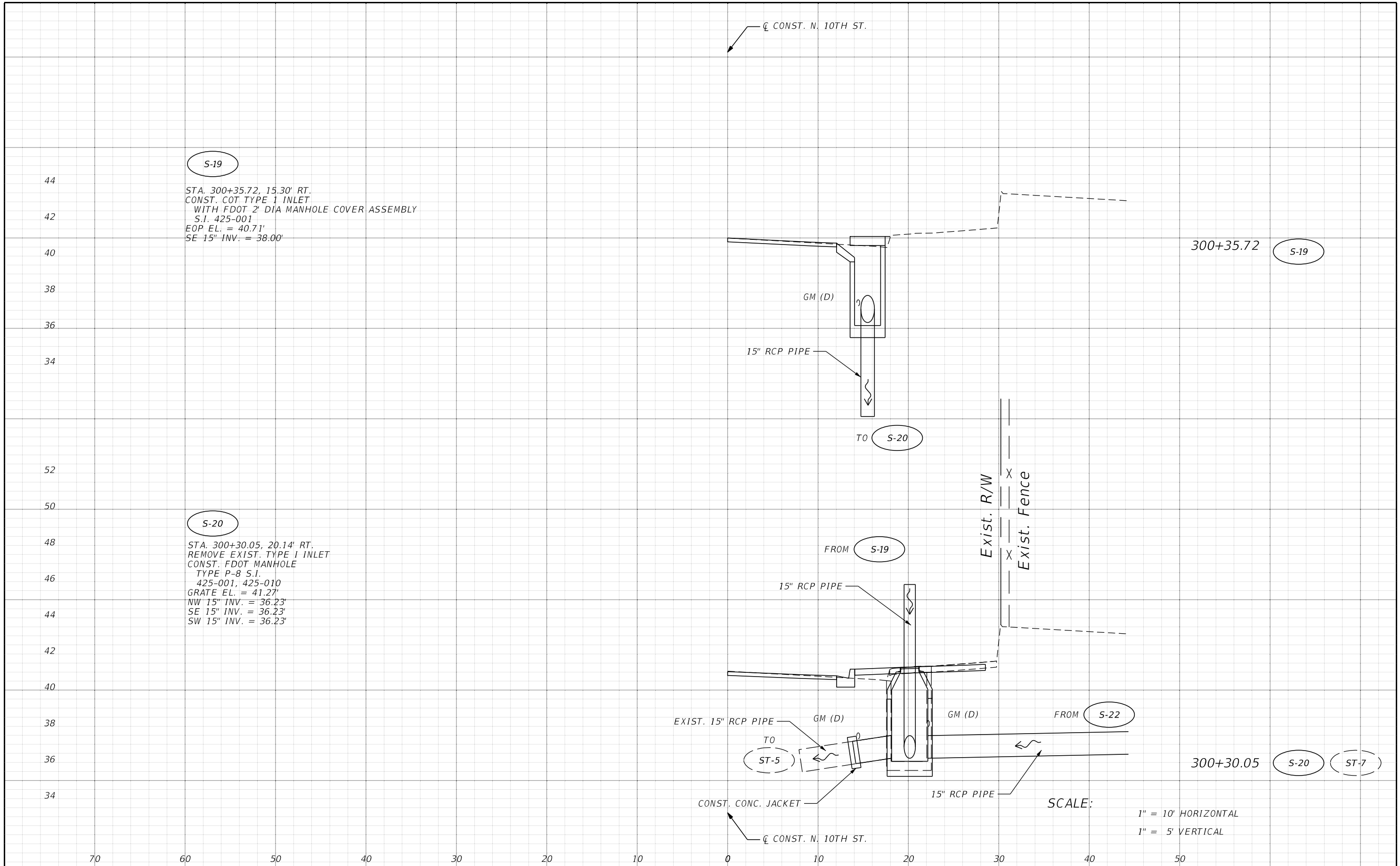
THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

DRAINAGE STRUCTURES

SHEET NO.
 39

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



S-19
 STA. 300+35.72, 15.30' RT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 40.71'
 SE 15" INV. = 38.00'

S-20
 STA. 300+30.05, 20.14' RT.
 REMOVE EXIST. TYPE 1 INLET
 CONST. FDOT MANHOLE
 TYPE P-8 S.I.
 425-001, 425-010
 GRATE EL. = 41.27'
 NW 15" INV. = 36.23'
 SE 15" INV. = 36.23'
 SW 15" INV. = 36.23'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

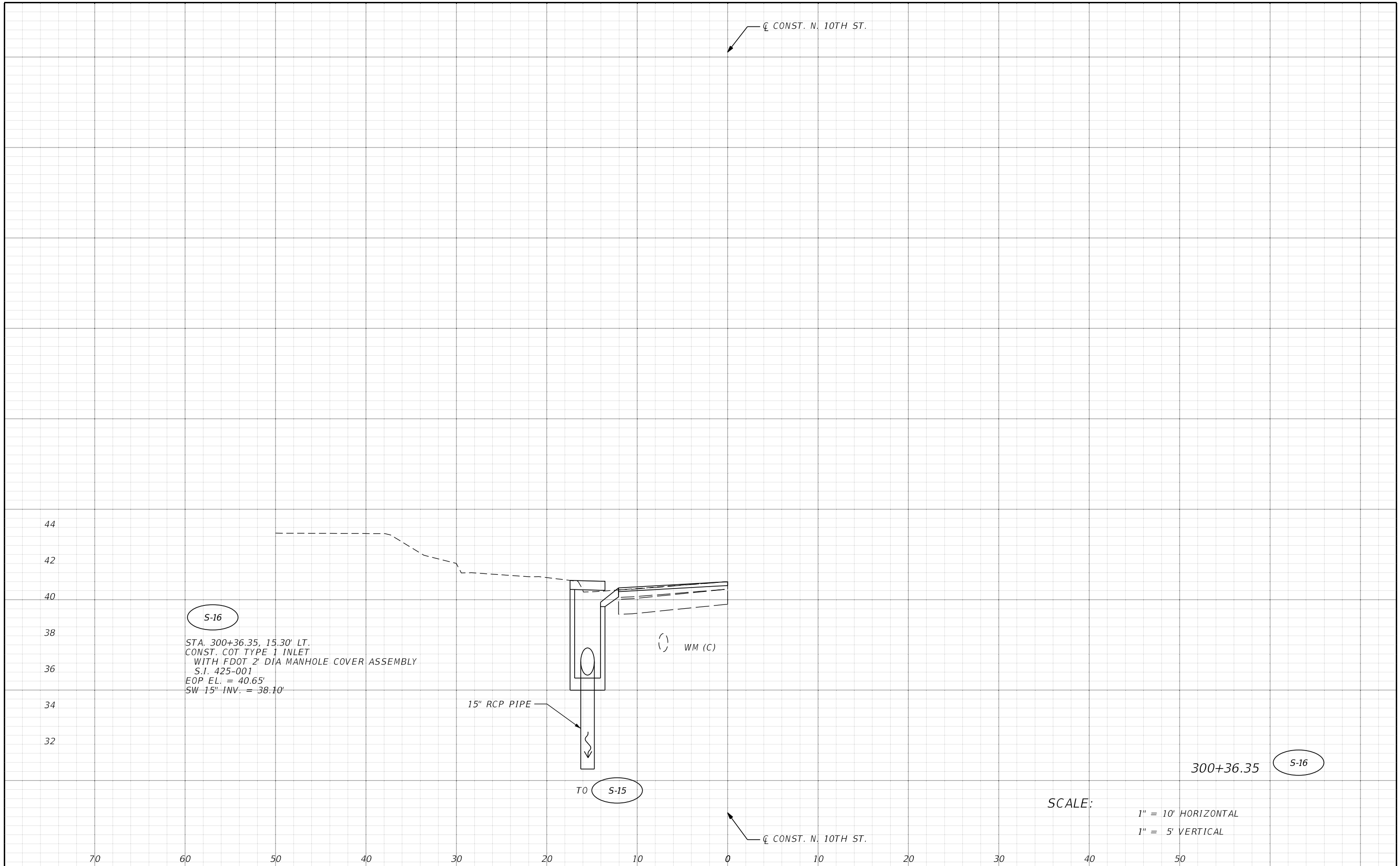
THOMAS J. WARD, P.E.
 P.E. LICENSE NUMBER 52144
 BES, INC.
 11007 N. 56TH ST., SUITE 208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

DRAINAGE STRUCTURES

SHEET NO.
40

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



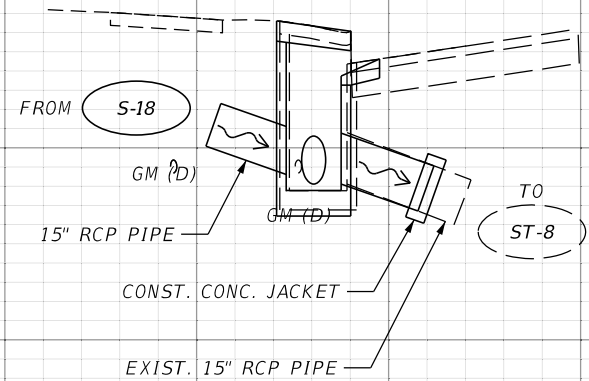
S-16
 STA. 300+36.35, 15.30' LT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 40.65'
 SW 15" INV. = 38.10'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 41
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

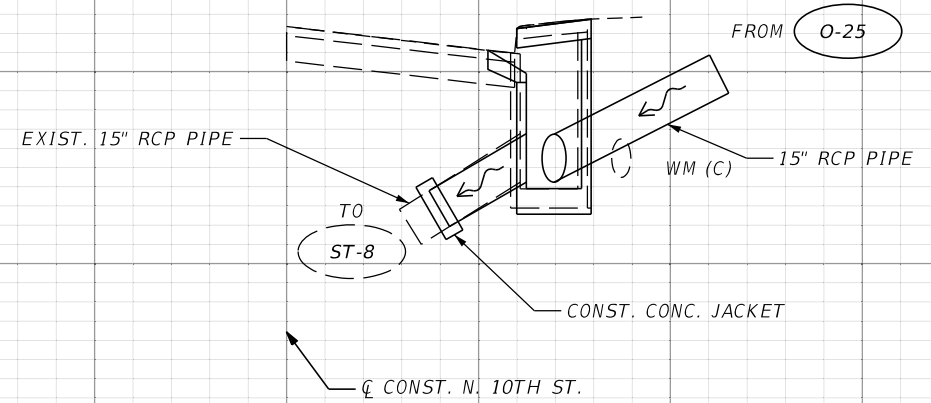
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

S-21
 STA. 400+36.66, 13.72' LT.
 REMOVE EXIST. COT TYPE 1 INLET
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 40.32'
 NW 15" INV. = 37.05'
 E 15" INV. = 37.05'



400+36.66 **S-21** **ST-9**

S-24
 STA. 400+35.96, 13.75' RT.
 REMOVE EXIST. COT TYPE 1 INLET
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 40.56'
 NE 15" INV. = 37.12'
 W 15" INV. = 37.12'

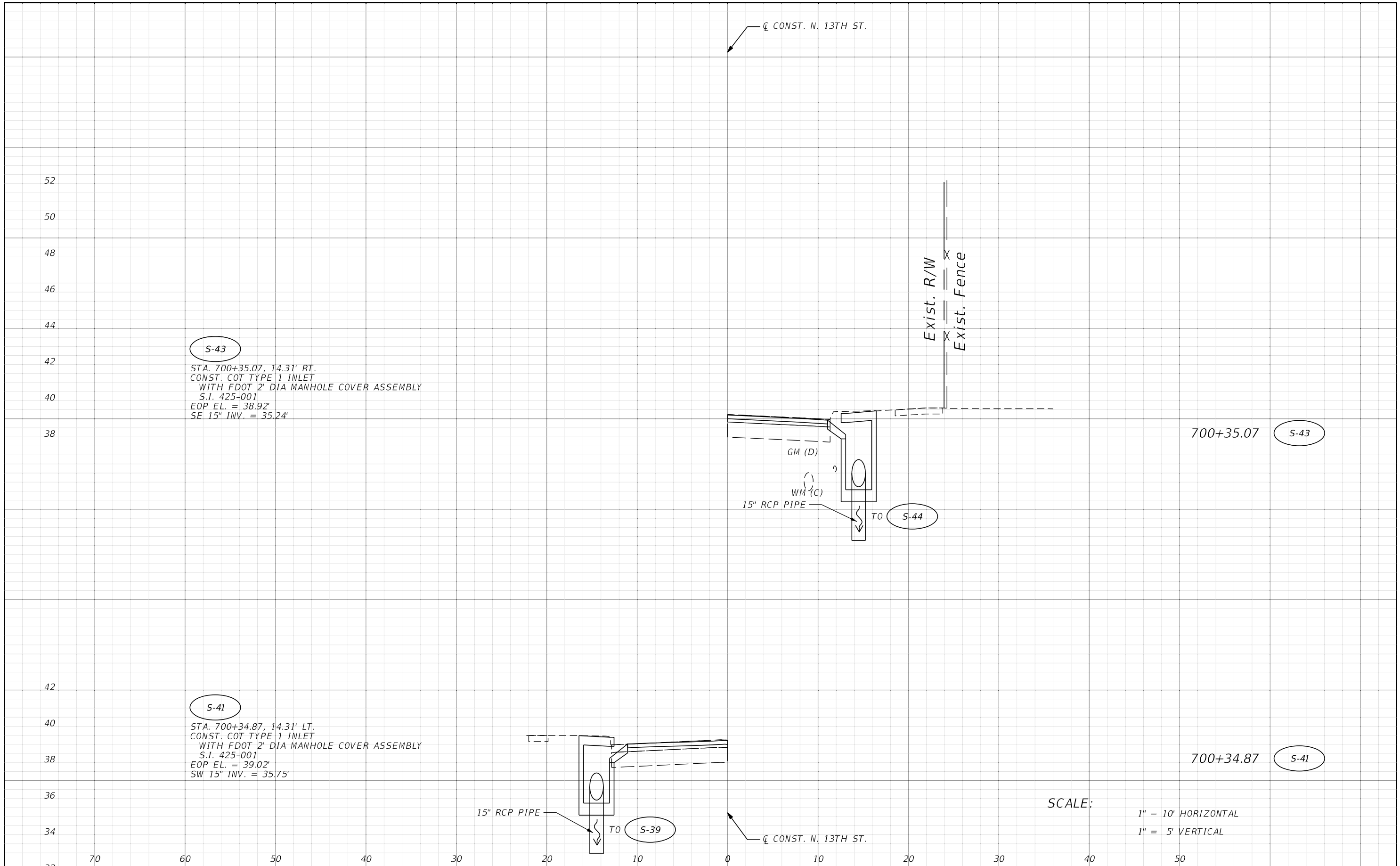


400+35.96 **S-24** **ST-10**

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 42
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



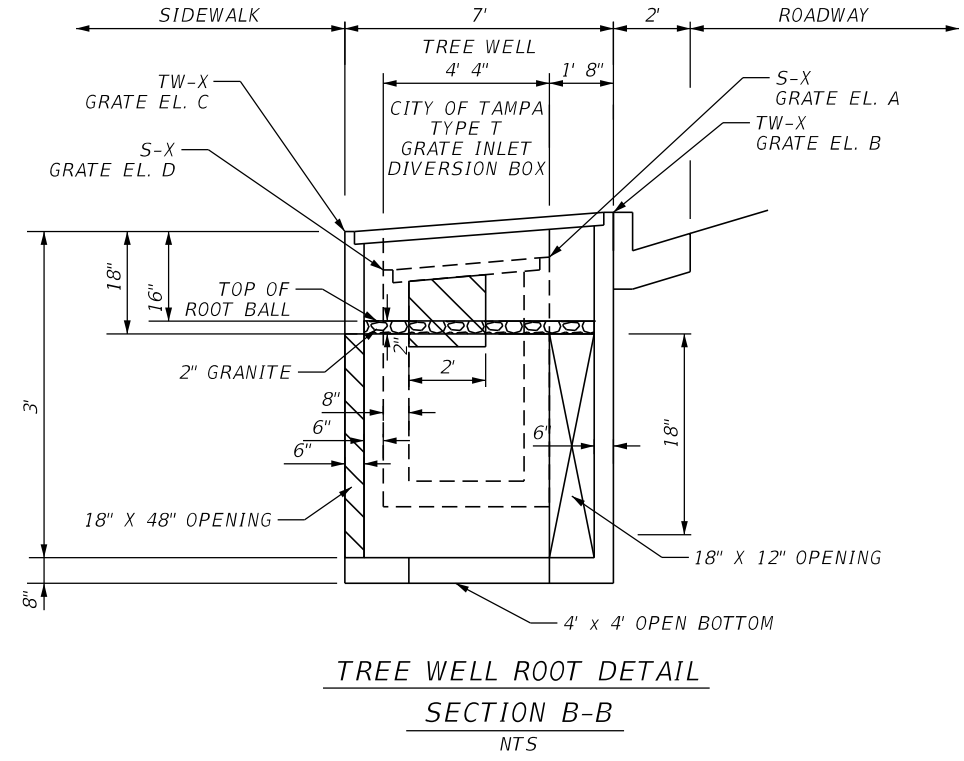
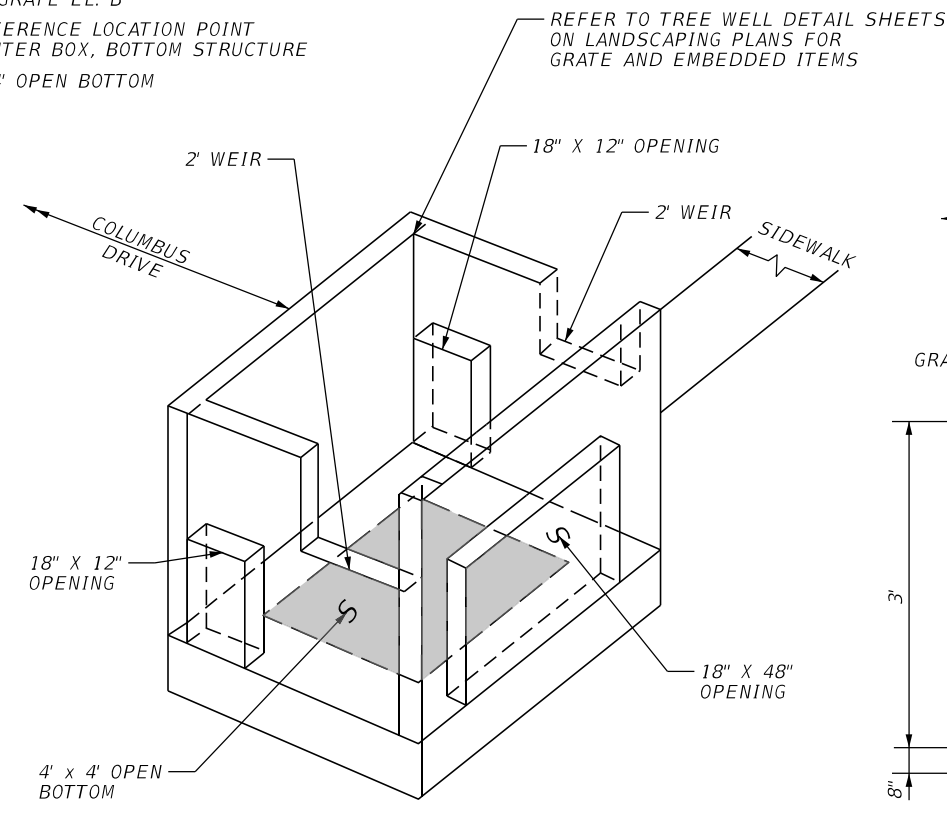
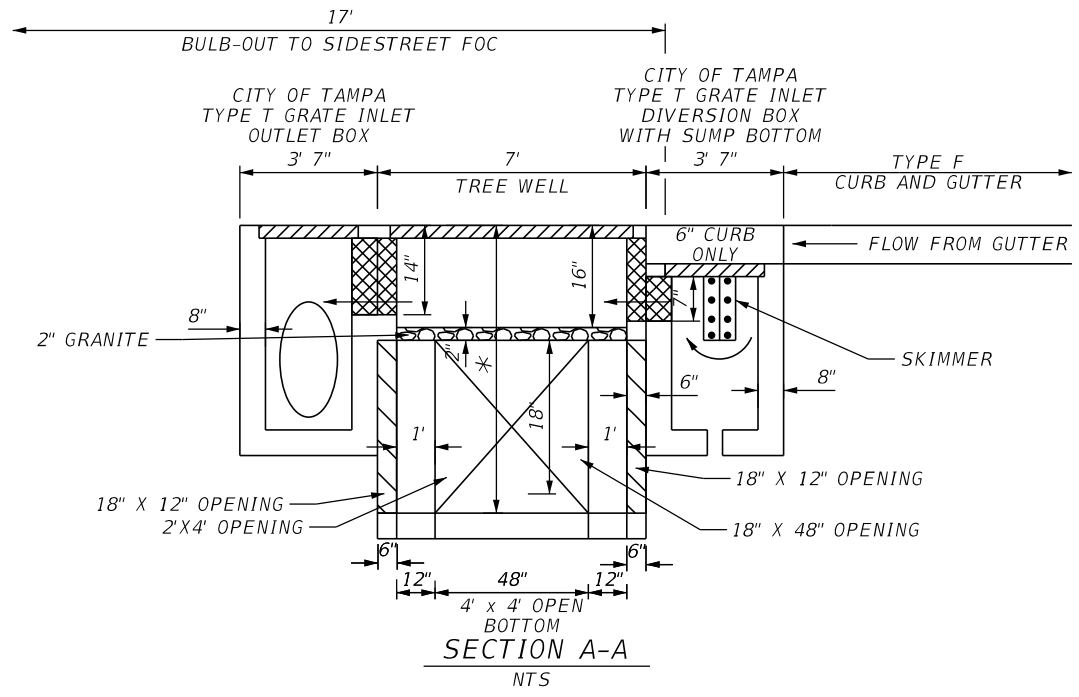
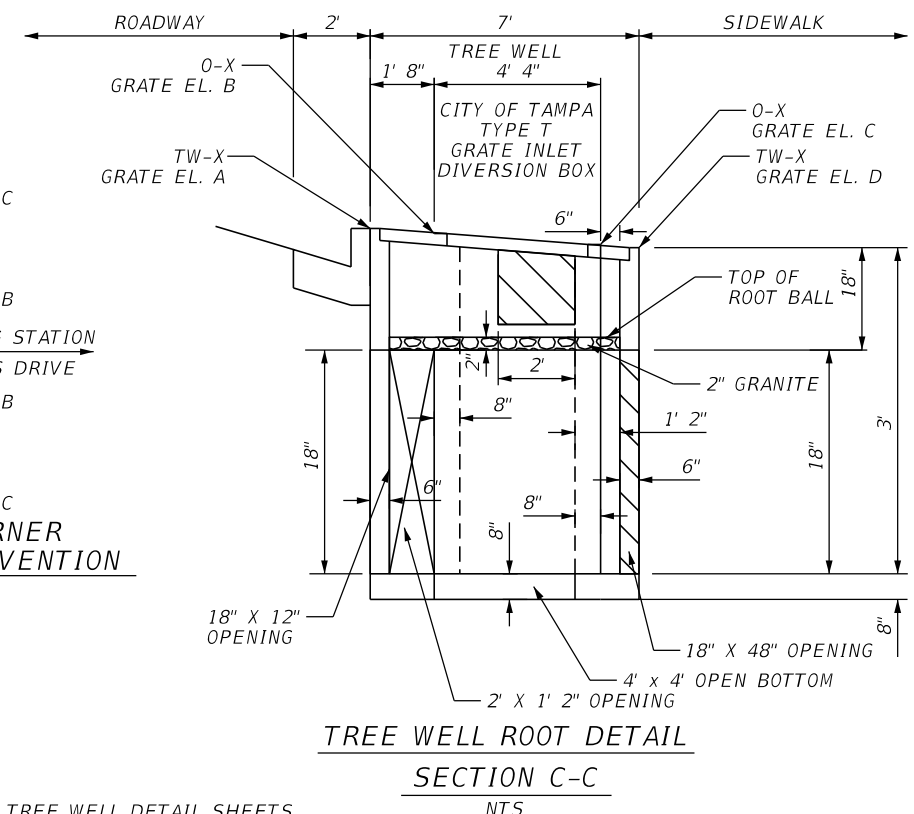
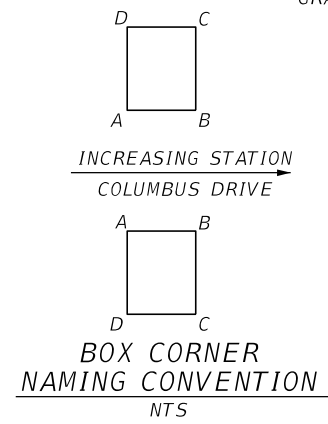
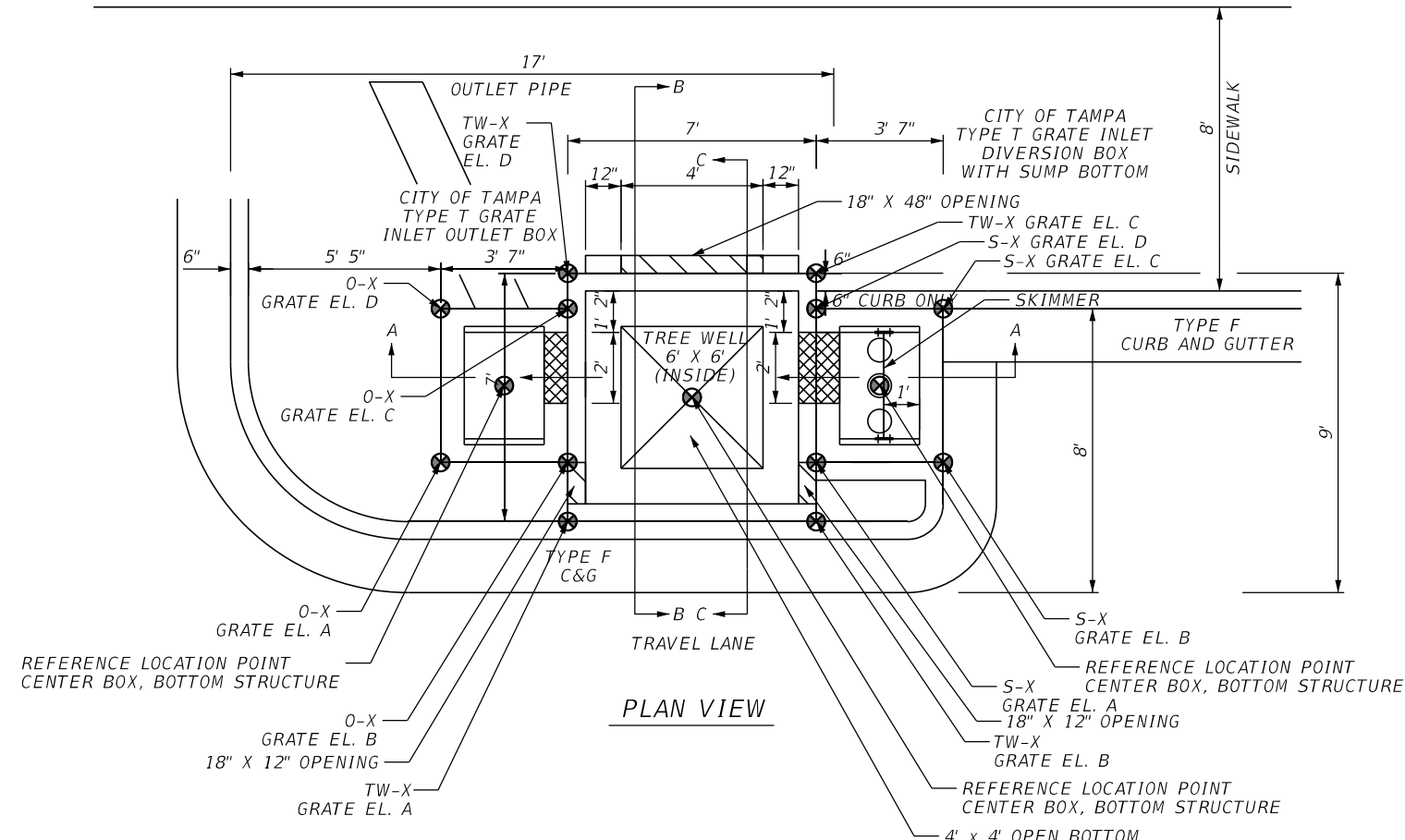
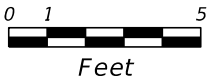
S-43
 STA. 700+35.07, 14.31' RT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 38.92'
 SE 15" INV. = 35.24'

S-41
 STA. 700+34.87, 14.31' LT.
 CONST. COT TYPE 1 INLET
 WITH FDOT 2' DIA MANHOLE COVER ASSEMBLY
 S.I. 425-001
 EOP EL. = 39.02'
 SW 15" INV. = 35.75'

SCALE:
 1" = 10' HORIZONTAL
 1" = 5' VERTICAL

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRAINAGE STRUCTURES	SHEET NO. 43
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



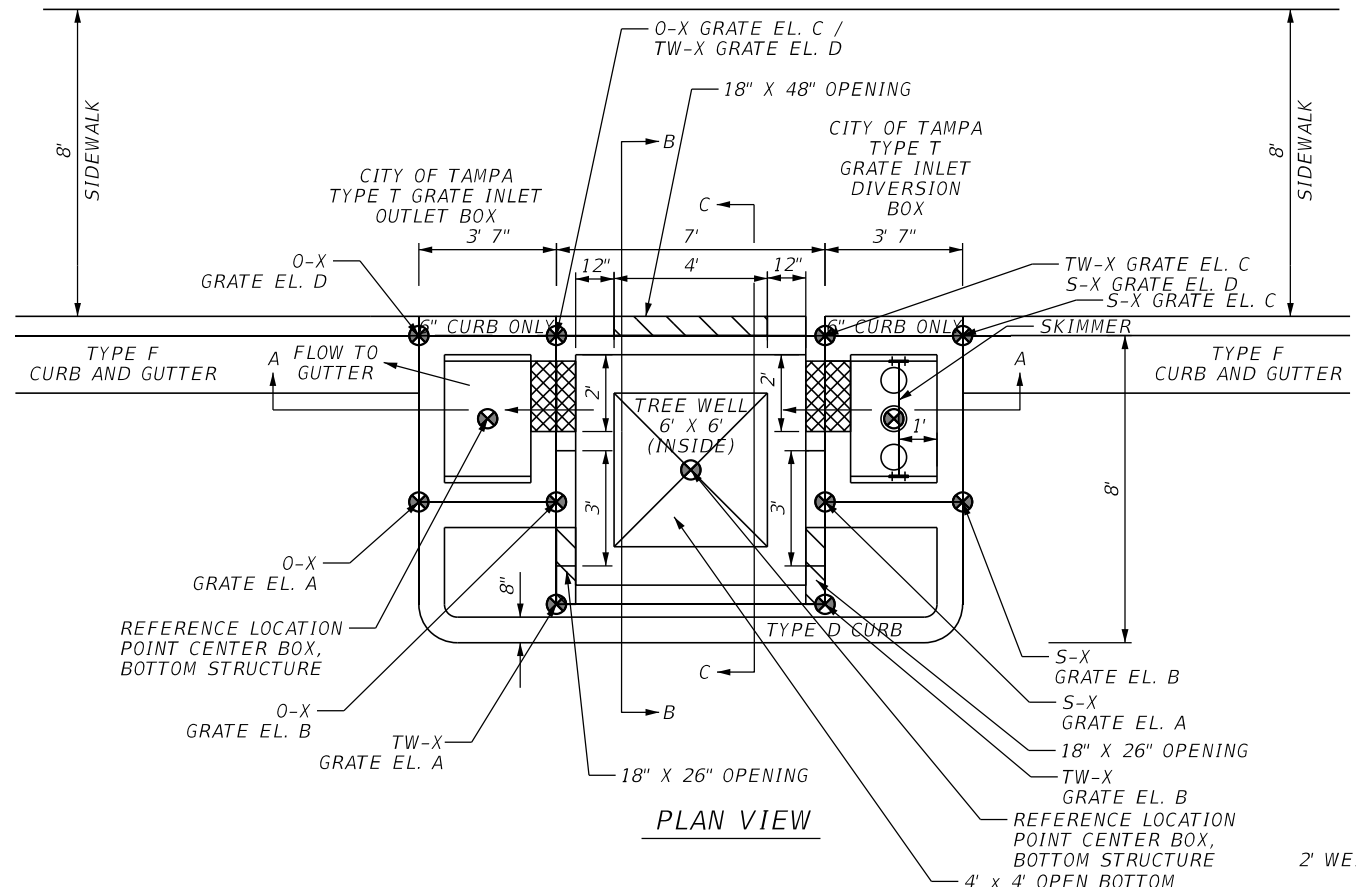
SEE TREE WELL DATA SHEET (2) FOR TOP OF TREE WELL ELEVATION.

TREE WELL DETAIL A

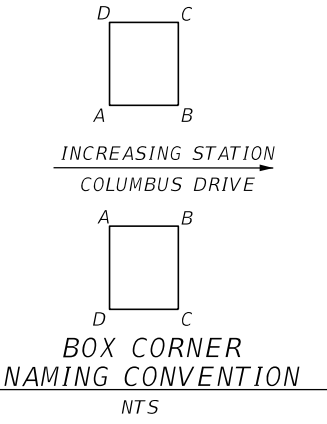
REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 44
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

DRAINAGE DETAILS (1)

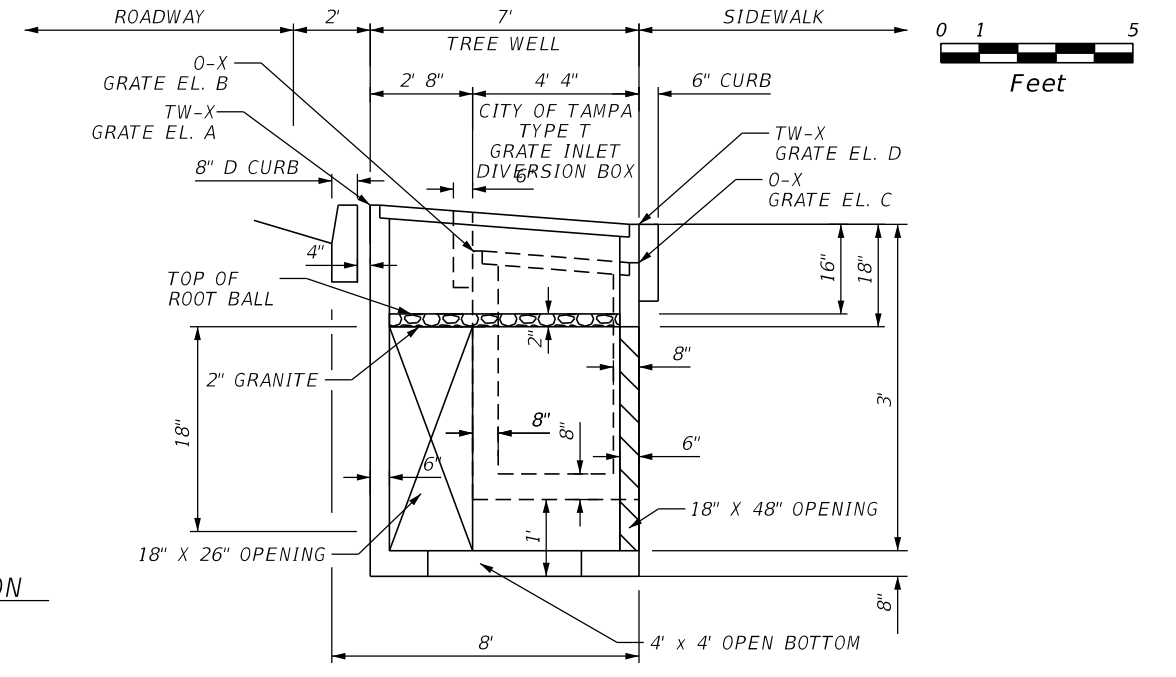
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



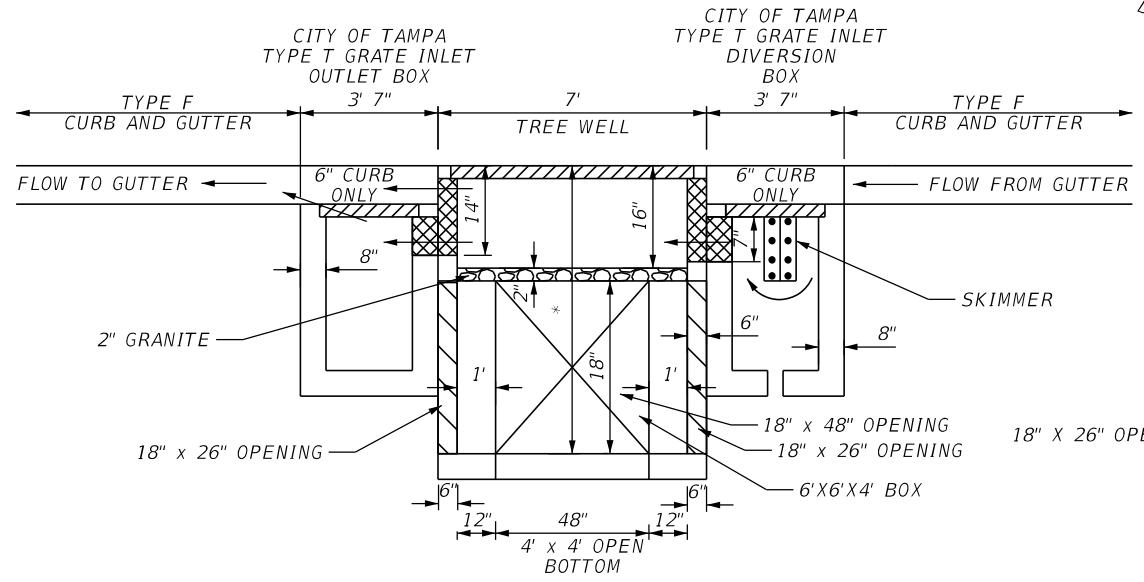
PLAN VIEW



BOX CORNER NAMING CONVENTION NTS



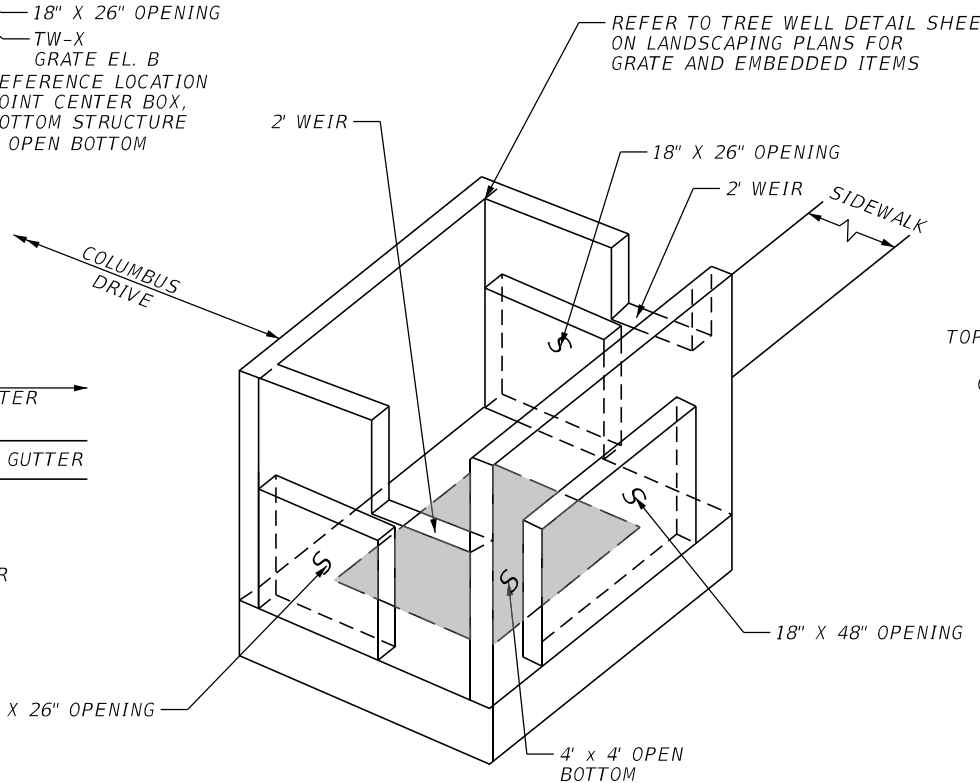
TREE WELL ROOT DETAIL SECTION C-C



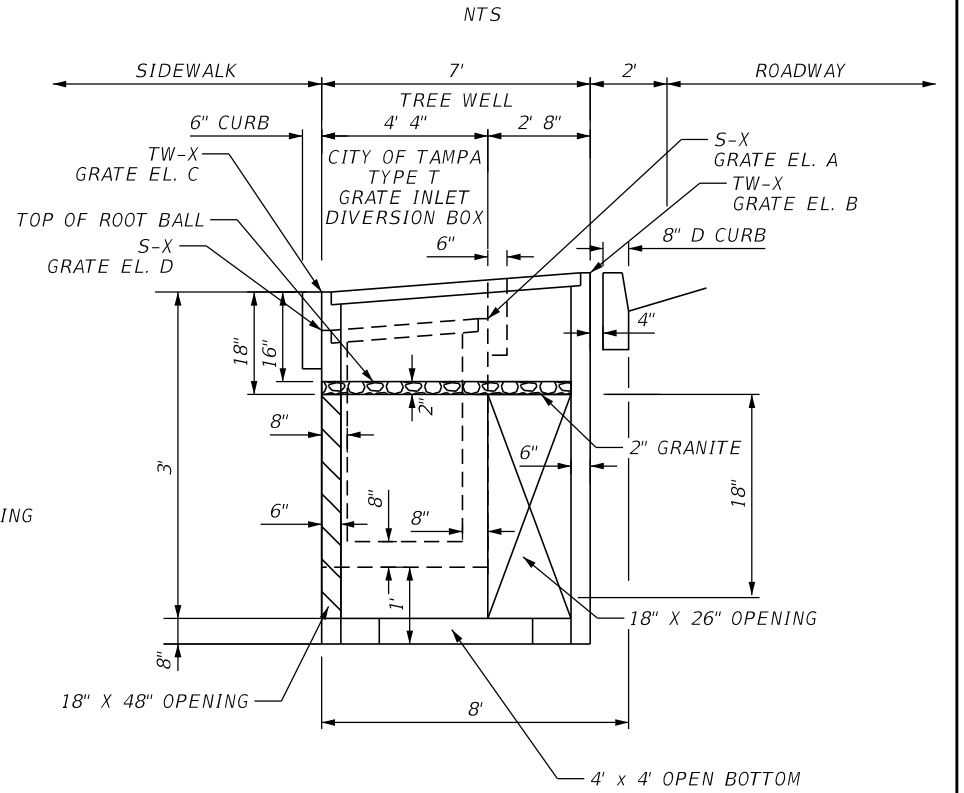
SECTION A-A

NTS

SEE TREE WELL DATA SHEET (2) FOR TOP OF TREE WELL ELEVATION.



TREE WELL DETAIL B



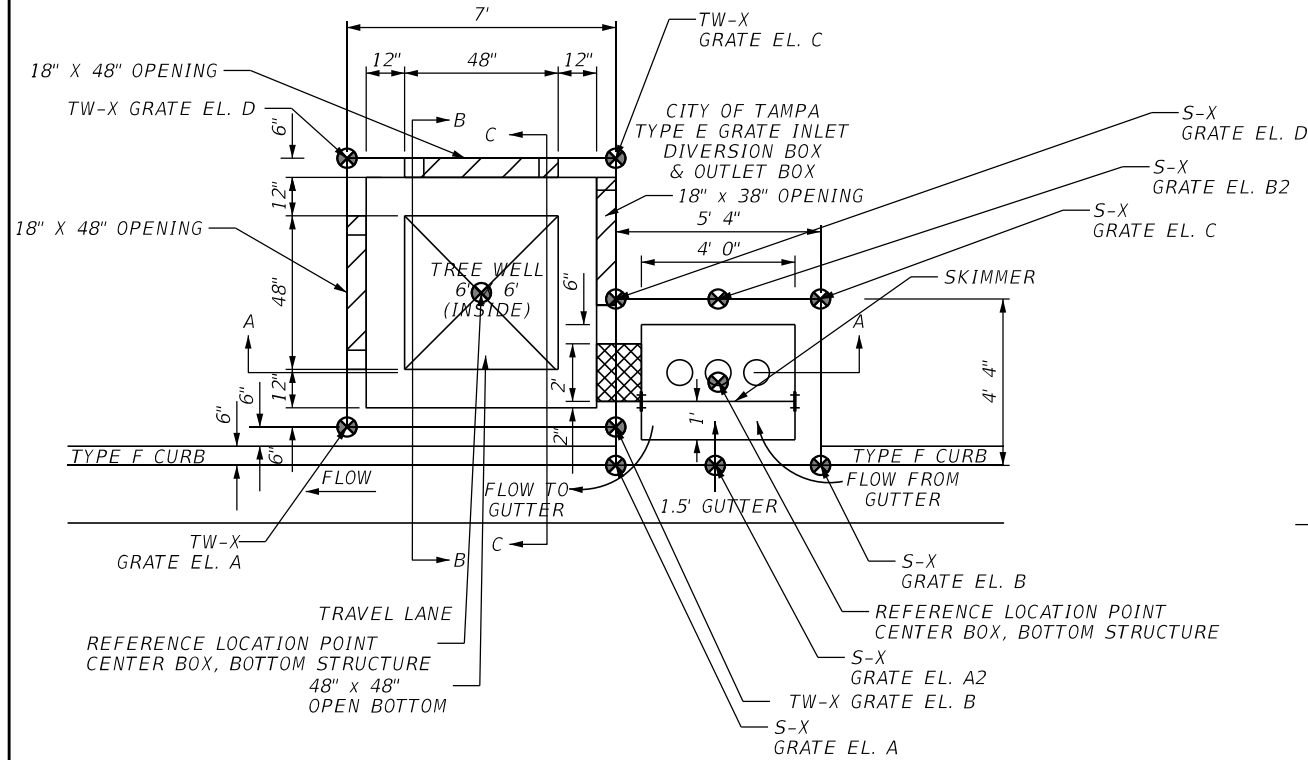
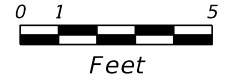
TREE WELL ROOT DETAIL SECTION B-B

NTS

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 45
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

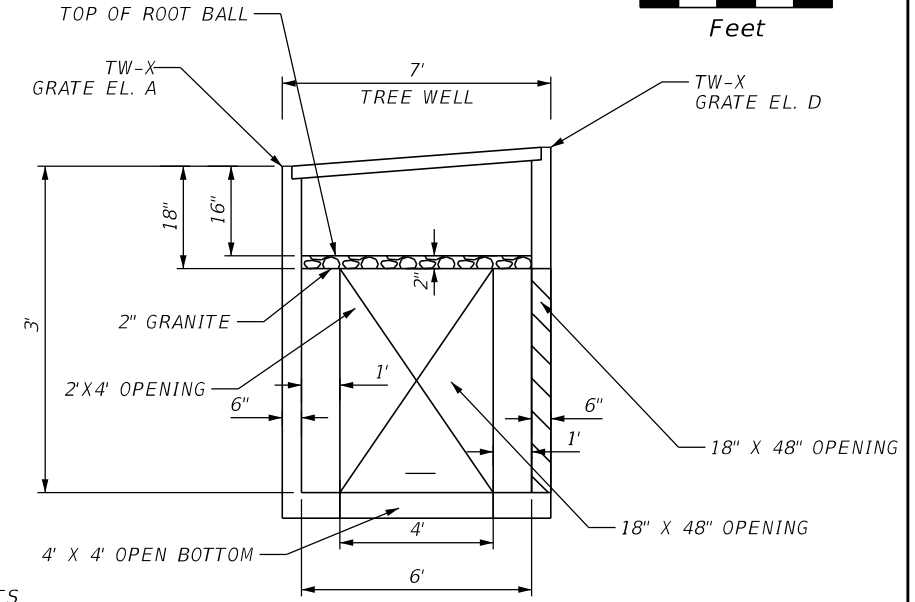
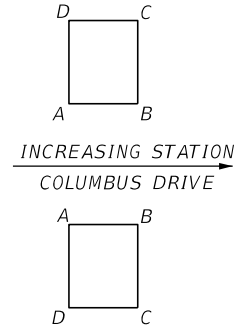
DRAINAGE DETAILS (2)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

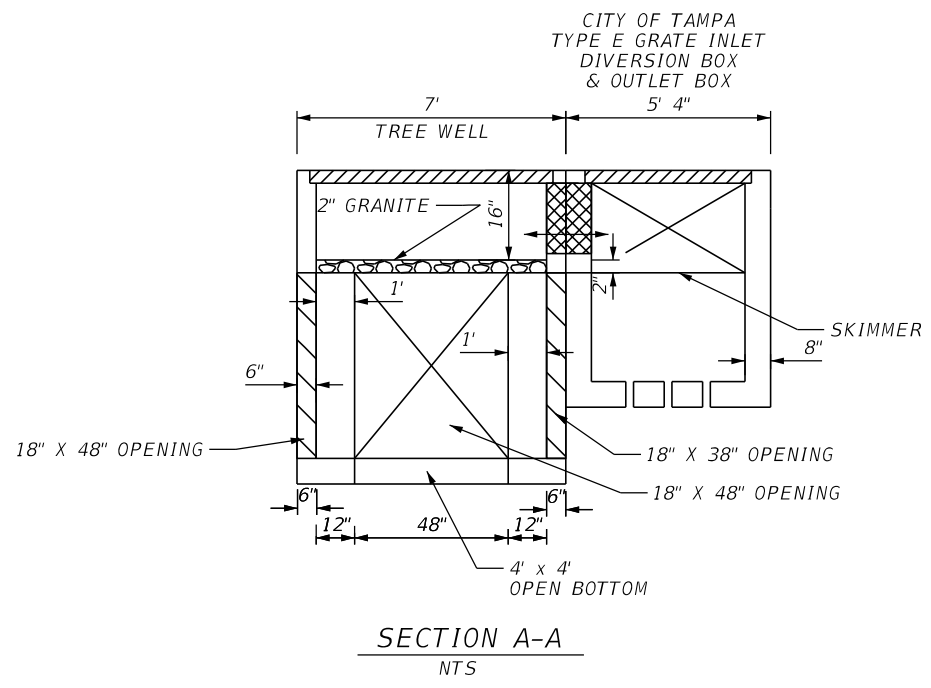


TREE WELL DIVERSION BOX (ALONG TRAVEL LANE)
PLAN VIEW
NTS

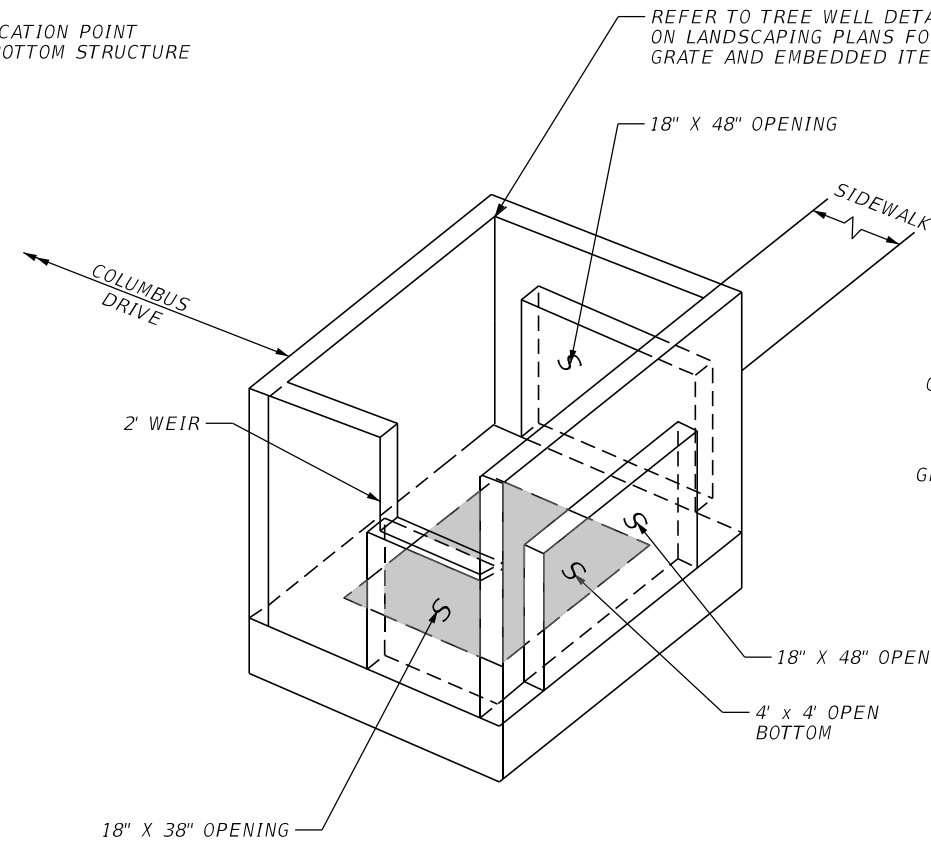
BOX CORNER NAMING CONVENTION
NTS



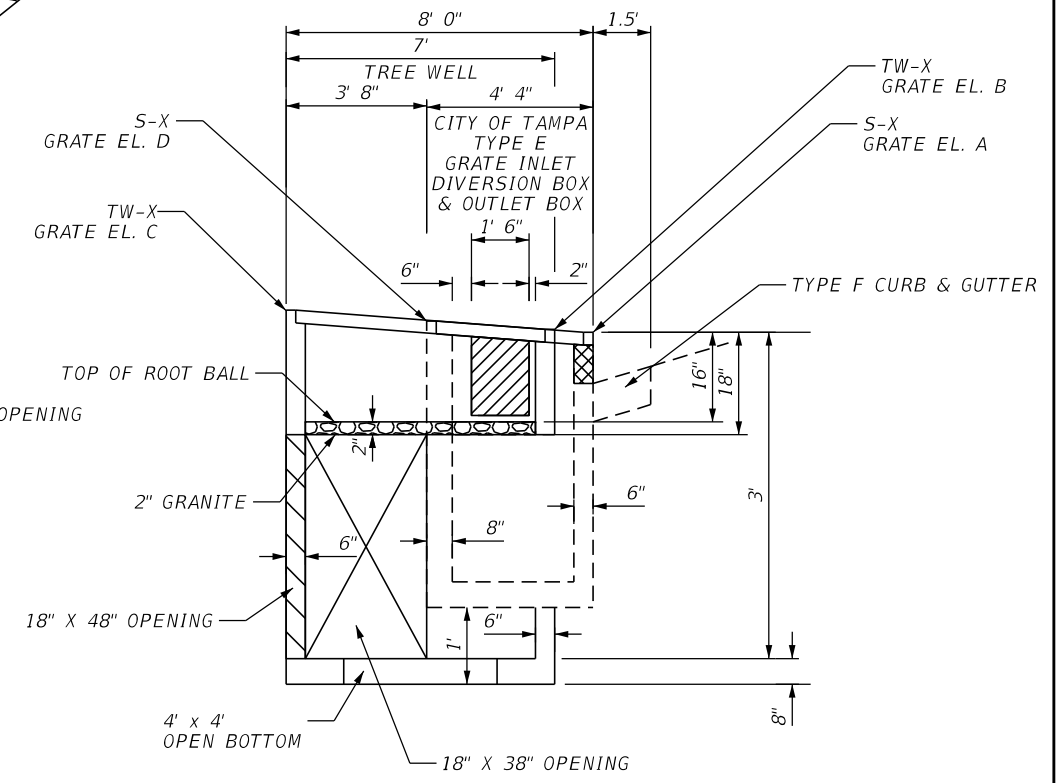
TREE WELL ROOT DETAIL
SECTION C-C
NTS



SECTION A-A
NTS



TREE WELL DETAIL C



TREE WELL ROOT DETAIL
SECTION B-B
NTS

SEE TREE WELL DATA SHEET 3 FOR TOP OF TREE WELL ELEVATIONS.

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 46
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

DRAINAGE DETAILS (3)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

TREE WELL DETAIL DATA SHEET (SHEET 1 OF 3)											
Detail Type	Diversion Box Structure No.	Station	City Of Tampa Type Grate Inlet	Offset	Side	Pavt /Grate @ El. A	Pavt /Grate @ El. B	Gutter /Grate @ El. C	Gutter /Grate @ El. D	Grate Top Elevation @ Reference Point Location	Interior Structure Bottom Elevation
Tree Well Detail B	S-1	104+02.95	T	17.60	RT	42.32	42.32	42.12	42.12	42.22	39.62
Tree Well Detail C	S-2	104+13.78	E	14.64	LT	42.68	42.68	42.76	42.76	42.72	40.18
Tree Well Detail C	S-8	104+76.08	E	14.66	LT	42.48	42.48	42.58	42.58	42.53	39.98
Tree Well Detail C	S-9	105+11.26	E	14.63	LT	42.37	42.37	42.45	42.45	42.41	39.87
Tree Well Detail B	S-10	105+11.38	T	16.79	RT	42.00	42.00	41.80	41.80	41.90	39.30
Tree Well Detail B	S-11	106+26.57	T	16.68	RT	41.65	41.65	41.45	41.45	41.55	38.95
Tree Well Detail B	S-12	106+38.59	T	16.83	LT	41.68	41.68	41.48	41.48	41.58	38.98
Tree Well Detail A	S-13	107+37.55	T	16.83	LT	41.27	41.27	41.21	41.21	41.24	38.71
Tree Well Detail A	S-14	107+37.89	T	16.92	RT	41.24	41.24	41.20	41.20	41.22	38.70
Tree Well Detail C	S-17	107+68.28	E	14.67	RT	41.51	41.51	41.53	41.53	41.52	39.01
Tree Well Detail C	S-23	108+10.10	E	14.67	LT	41.35	41.35	41.35	41.35	41.35	38.85
Tree Well Detail A	S-25	108+51.20	T	16.84	RT	40.85	40.85	40.75	40.75	40.80	38.25
Tree Well Detail A	S-26	108+80.94	T	16.83	LT	41.10	41.10	41.00	41.00	41.05	38.50
Tree Well Detail B	S-27	110+18.72	T	16.80	LT	41.40	41.40	41.34	41.34	41.37	38.84
Tree Well Detail B	S-28	110+81.51	T	16.77	RT	41.48	41.48	41.30	41.30	41.39	38.80
Tree Well Detail B	S-31	113+14.61	T	16.80	LT	41.99	41.99	41.81	41.81	41.90	39.31
Tree Well Detail B	S-32	113+34.16	T	16.79	RT	42.00	42.00	41.80	41.80	41.90	39.30
Tree Well Detail C	S-33	114+21.64	E	14.67	LT	42.48	42.48	42.52	42.52	42.50	39.98
Tree Well Detail C	S-34	114+91.12	E	14.68	LT	42.55	42.55	42.61	42.61	42.58	40.05
Tree Well Detail C	S-35	115+77.20	E	14.67	RT	42.57	42.57	42.63	42.63	42.60	40.07
Tree Well Detail B	S-36	117+26.06	T	16.97	LT	41.58	41.58	41.38	41.38	41.48	38.88
Tree Well Detail B	S-37	117+30.90	T	16.98	RT	41.45	41.45	41.23	41.23	41.34	38.73
Tree Well Detail A	S-38	119+21.70	T	16.87	LT	38.91	38.91	38.93	38.93	38.92	36.41
Tree Well Detail C	S-45	119+98.57	E	14.67	LT	39.24	39.24	39.28	39.28	39.26	36.74
Tree Well Detail A	S-47	120+40.21	T	16.83	RT	38.82	38.82	38.84	38.84	38.83	36.32
Tree Well Detail B	S-49	121+26.13	T	17.76	RT	40.23	40.23	40.05	40.05	41.25	37.55
Tree Well Detail B	S-50	121+81.75	T	17.76	LT	40.84	40.84	40.66	40.66	40.75	38.16

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			TREE WELL DETAILS DATA TABLE (1)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		47
					1001221	HILLSBOROUGH	436639-1-58-01		

TREE WELL DETAIL DATA SHEET (SHEET 2 OF 3)												
Detail Type	Tree Well Structure No.	Station	FDOT Bottom with 8" Bottom Slab	FDOT Standard Index	Offset	Side	Grate @ El. A	Grate @ El. B	Grate @ El. C	Grate @ El. D	Grate Top Elevation @ Reference Point Location	Interior Structure Bottom Elevation
Tree Well Detail B	TW-1	104+08.16	6'x6'	425-010	15.99	RT	42.75	42.75	42.61	42.61	42.68	39.61
Tree Well Detail C	TW-2	104+07.60	6'x6'	425-010	16.95	LT	42.69	42.69	42.85	42.85	42.77	39.69
Tree Well Detail C	TW-8	104+82.16	6'x6'	425-010	16.99	LT	42.48	42.48	42.62	42.62	42.55	39.48
Tree Well Detail C	TW-9	105+17.42	6'x6'	425-010	16.96	LT	42.38	42.38	42.52	42.52	42.45	39.38
Tree Well Detail B	TW-10	105+16.67	6'x6'	425-010	15.45	RT	42.34	42.34	42.30	43.30	42.32	39.30
Tree Well Detail B	TW-11	106+31.86	6'x6'	425-010	15.35	RT	42.09	42.09	41.95	41.95	42.02	38.95
Tree Well Detail B	TW-12	106+43.89	6'x6'	425-010	15.50	LT	42.10	42.10	41.96	41.96	42.03	38.96
Tree Well Detail A	TW-13	107+42.84	6'x6'	425-010	16.50	LT	41.65	41.65	41.71	41.71	41.68	38.65
Tree Well Detail A	TW-14	107+43.18	6'x6'	425-010	16.58	RT	41.55	41.55	41.65	41.65	41.60	38.55
Tree Well Detail C	TW-17	107+74.45	6'x6'	425-010	17.00	RT	41.52	41.52	41.56	41.56	41.54	38.52
Tree Well Detail C	TW-23	108+03.94	6'x6'	425-010	17.00	LT	41.35	41.35	41.35	41.35	41.35	38.35
Tree Well Detail A	TW-25	108+45.91	6'x6'	425-010	16.50	RT	41.26	41.26	41.34	41.34	41.30	38.26
Tree Well Detail A	TW-26	108+75.64	6'x6'	425-010	16.50	LT	41.43	41.43	41.50	41.50	41.43	38.43
Tree Well Detail B	TW-27	110+13.43	6'x6'	425-010	15.47	LT	41.80	41.80	41.78	41.78	41.79	38.80
Tree Well Detail B	TW-28	110+76.22	6'x6'	425-010	15.44	RT	41.90	41.90	41.80	41.80	41.85	38.90
Tree Well Detail B	TW-31	113+09.32	6'x6'	425-010	15.46	LT	42.40	42.40	42.30	42.30	42.35	39.40
Tree Well Detail B	TW-32	113+28.87	6'x6'	425-010	15.46	RT	42.00	42.00	42.30	42.30	42.35	39.00
Tree Well Detail C	TW-33	114+97.29	6'x6'	425-010	17.01	LT	42.49	42.49	42.55	42.55	42.52	39.49
Tree Well Detail C	TW-34	114+97.29	6'x6'	425-010	17.01	LT	42.56	42.56	42.66	42.66	42.61	39.56
Tree Well Detail C	TW-35	115+83.37	6'x6'	425-010	17.00	RT	42.58	42.58	42.72	42.72	42.65	39.58
Tree Well Detail B	TW-36	117+31.35	6'x6'	425-010	15.65	LT	41.96	41.96	41.82	41.82	41.89	38.96
Tree Well Detail B	TW-37	117+36.19	6'x6'	425-010	15.66	RT	41.85	41.85	41.67	41.67	41.34	38.85
Tree Well Detail A	TW-38	119+27.07	6'x6'	425-010	16.48	LT	39.37	39.37	39.43	39.43	39.40	36.37
Tree Well Detail C	TW-45	120+04.74	6'x6'	425-010	17.00	LT	39.25	39.25	39.31	39.31	39.28	36.25
Tree Well Detail A	TW-47	120+34.92	6'x6'	425-010	16.50	RT	39.29	39.29	39.31	39.31	39.30	36.29
Tree Well Detail B	TW-49	121+20.84	6'x6'	425-010	16.42	RT	40.56	40.56	40.50	40.50	40.53	37.56
Tree Well Detail B	TW-50	121+76.46	6'x6'	425-010	16.43	LT	41.20	41.20	41.10	41.10	41.15	38.20

<table border="1"> <thead> <tr> <th colspan="4">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				REVISIONS				DATE	DESCRIPTION	DATE	DESCRIPTION					THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835			CITY OF TAMPA TRANSPORTATION DEPARTMENT CITY PROJECT NO. 1001221 COUNTY HILLSBOROUGH FINANCIAL PROJECT ID 436639-1-58-01			TREE WELL DETAILS DATA TABLE (2)		SHEET NO. 48
REVISIONS																								
DATE	DESCRIPTION	DATE	DESCRIPTION																					

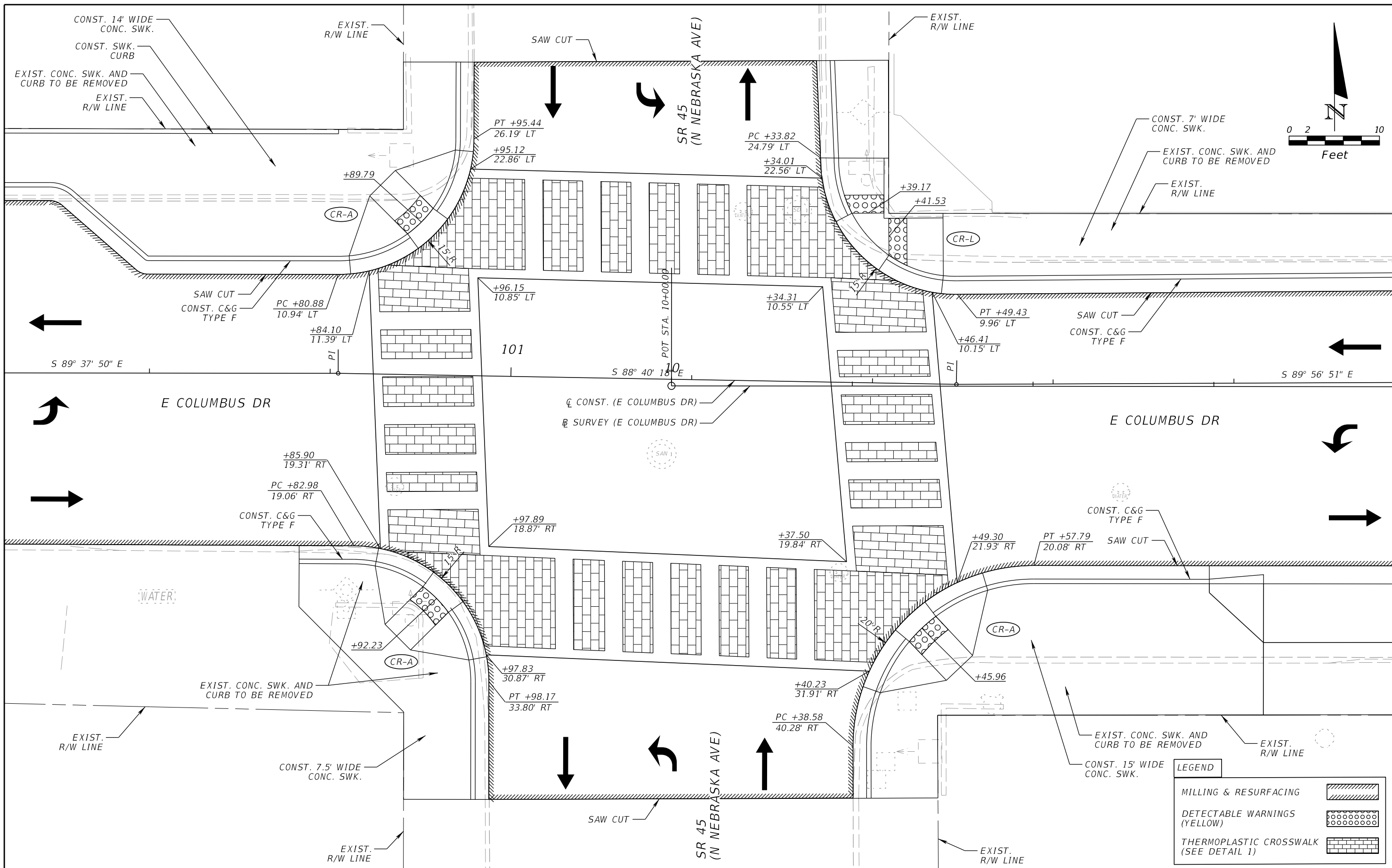
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

TREE WELL DETAIL DATA SHEET (SHEET 3 OF 3)

Detail Type	Outlet Box Structure No.	Station	City of Tampa Grate Inlet Type	Offset	Side	Pavt/Grate El. A	Pavt/Grate El. B	Gutter/Grate El. C	Gutter/Grate El. D	Grate Top Elevation @ Reference Point Location	Outlet Pipe Size	Interior Structure Bottom/ Outlet Pipe Invert El.
Tree Well Detail B	O-1	104+13.51	T	17.03	RT	42.30	42.30	42.11	42.11	42.20	NA	39.61
Tree Well Detail C	S-2	104+13.78	E	14.64	LT	42.68	42.68	42.76	42.76	42.72	NA	40.18
Tree Well Detail C	S-8	104+76.08	E	14.66	LT	42.48	42.48	42.58	42.58	42.53	NA	39.98
Tree Well Detail C	S-9	105+11.26	E	14.63	LT	42.37	42.37	42.45	42.45	42.41	NA	39.87
Tree Well Detail B	O-10	105+21.96	T	16.78	RT	41.96	41.96	41.80	41.80	41.88	NA	39.30
Tree Well Detail B	O-11	106+37.16	T	16.69	RT	41.63	41.63	41.43	41.43	41.53	NA	38.93
Tree Well Detail B	O-12	106+49.18	T	16.83	LT	41.64	41.64	41.45	41.45	41.55	NA	38.95
Tree Well Detail A	O-13	107+48.14	T	16.83	LT	41.64	41.64	41.70	41.70	41.67	15.00	39.14
Tree Well Detail A	O-14	107+48.47	T	16.89	RT	41.62	41.62	41.64	41.64	41.63	15.00	39.12
Tree Well Detail C	S-17	107+68.28	E	14.67	RT	41.51	41.51	41.53	41.53	41.52	NA	39.01
Tree Well Detail C	S-23	108+10.10	E	14.67	LT	41.35	41.35	41.35	41.35	41.35	NA	38.85
Tree Well Detail A	O-25	108+40.62	T	16.83	RT	41.28	41.28	41.34	41.34	41.31	18.00	38.78
Tree Well Detail A	O-26	108+70.35	T	16.83	LT	41.42	41.42	41.48	41.48	41.45	15.00	38.92
Tree Well Detail B	O-27	110+08.14	T	16.80	LT	41.38	41.38	41.20	41.20	41.29	NA	38.70
Tree Well Detail B	O-28	110+70.93	T	16.77	RT	41.47	41.47	41.27	41.27	41.38	NA	38.77
Tree Well Detail B	O-31	113+04.03	T	16.80	LT	41.97	41.97	41.79	41.79	41.88	NA	39.29
Tree Well Detail B	O-32	113+23.58	T	16.80	RT	41.97	41.97	41.79	41.79	41.88	NA	39.29
Tree Well Detail C	S-33	114+21.64	E	14.67	LT	42.48	42.48	42.52	42.52	42.50	NA	39.98
Tree Well Detail C	S-34	114+91.12	E	14.68	LT	42.55	42.55	42.61	42.61	42.58	NA	40.05
Tree Well Detail C	S-35	115+77.20	E	14.67	RT	42.57	42.57	42.63	42.63	42.60	NA	40.07
Tree Well Detail B	O-36	117+36.64	T	16.99	LT	41.44	41.44	41.24	41.24	41.34	NA	38.74
Tree Well Detail B	O-37	117+41.48	T	17.00	RT	41.33	41.33	41.17	41.17	41.25	NA	38.67
Tree Well Detail A	O-38	119+32.29	T	16.88	LT	39.39	39.39	39.41	39.41	39.40	15.00	36.89
Tree Well Detail C	S-45	119+98.57	E	14.67	LT	39.24	39.24	39.28	39.28	39.26	NA	36.78
Tree Well Detail A	O-47	120+29.63	T	16.83	RT	39.30	39.30	39.30	39.30	39.30	18.00	36.80
Tree Well Detail B	O-49	121+15.55	T	17.75	RT	40.08	40.08	39.90	39.90	39.99	NA	37.40
Tree Well Detail B	O-51	121+71.17	T	17.76	LT	40.71	40.71	40.53	40.53	40.62	NA	38.03

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			TREE WELL DETAILS DATA TABLE (3)		SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID			49
					1001221	HILLSBOROUGH	436639-1-58-01			



THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

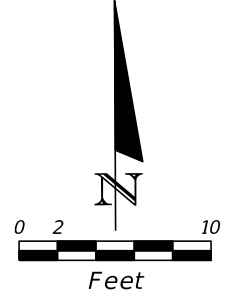
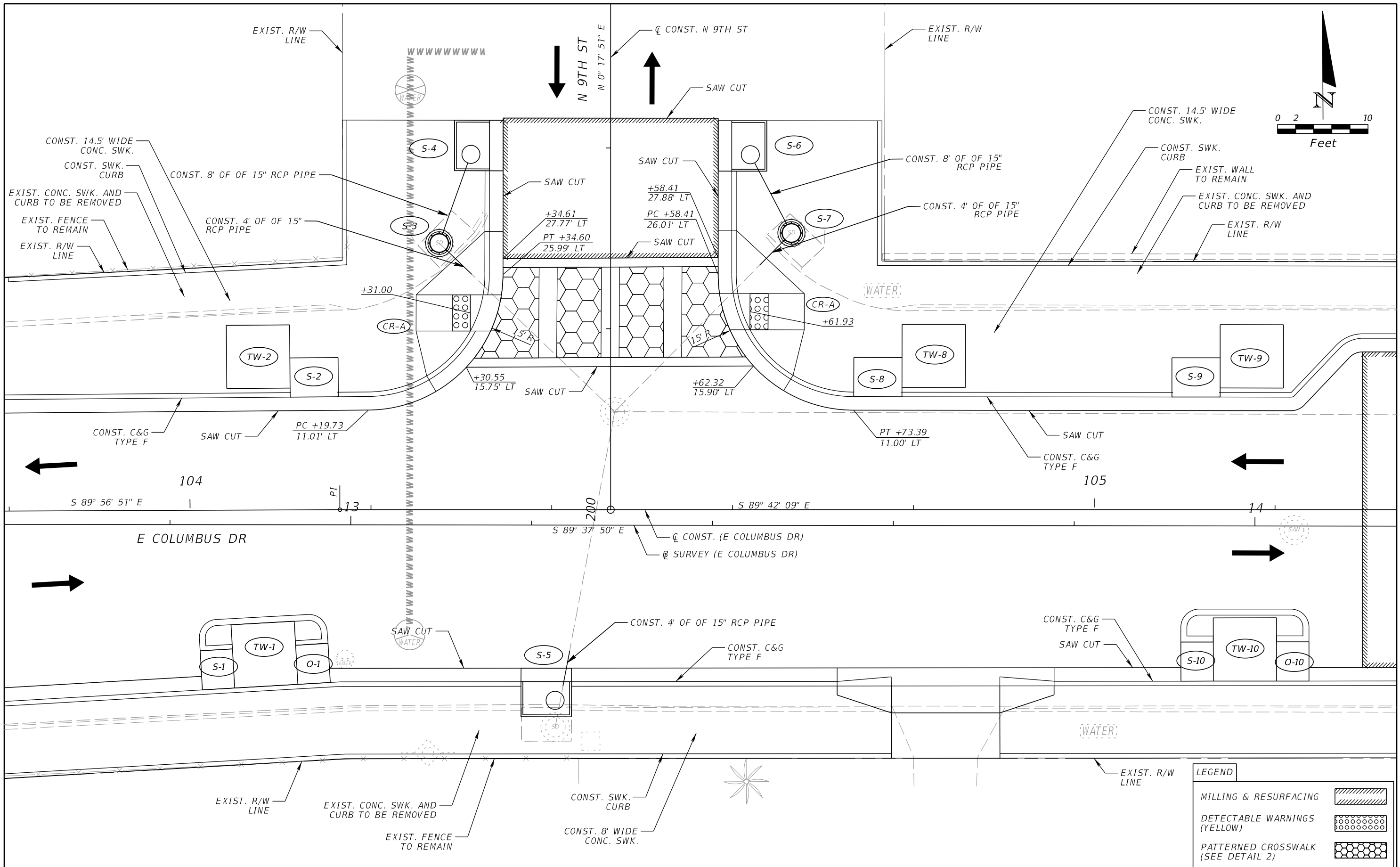
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

INTERSECTION LAYOUT
SR 45 (N NEBRASKA AVE)

SHEET NO.
 50



LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL 2)	

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

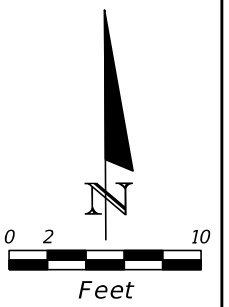
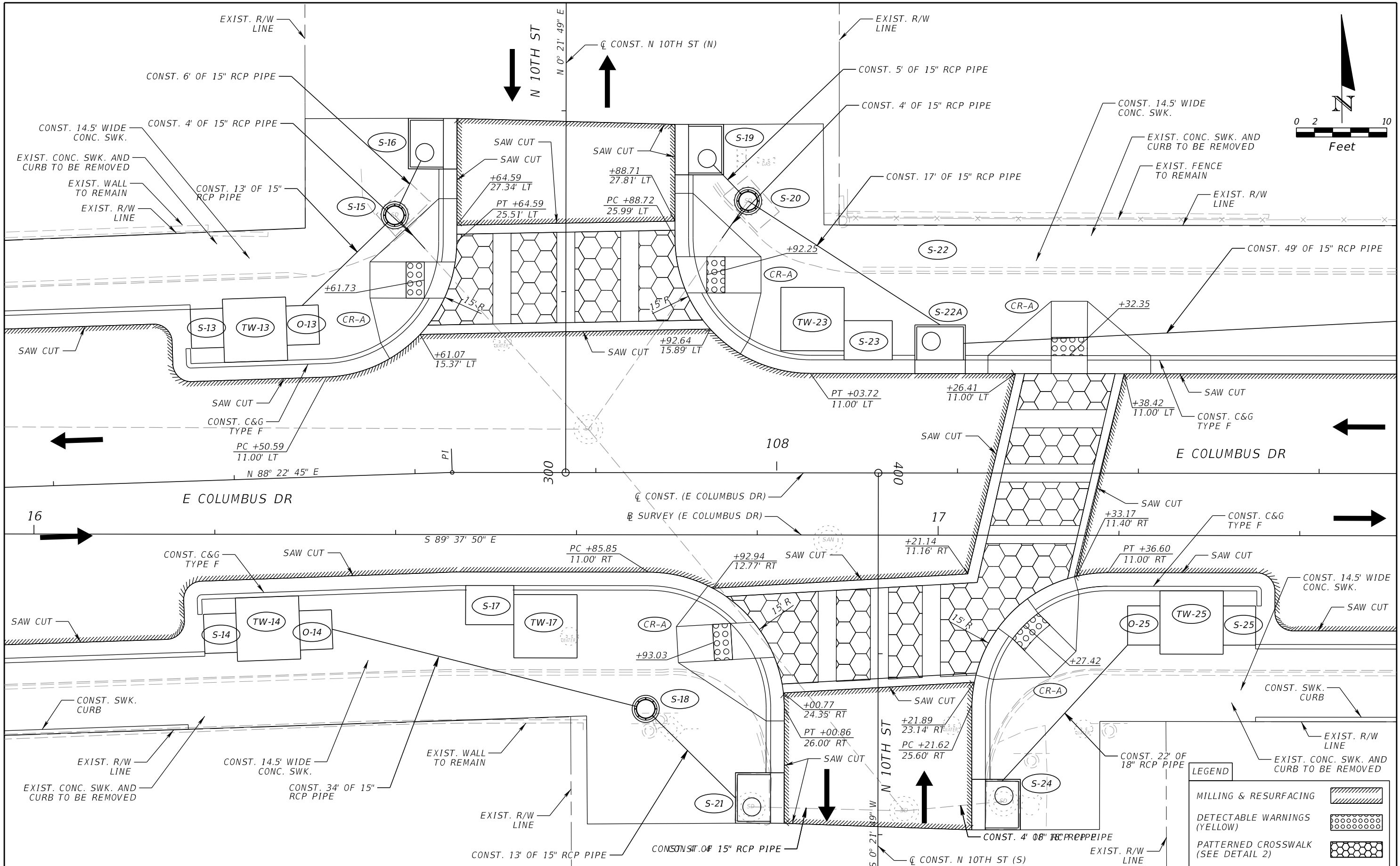
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

INTERSECTION LAYOUT
N 9TH ST

SHEET NO.
51

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

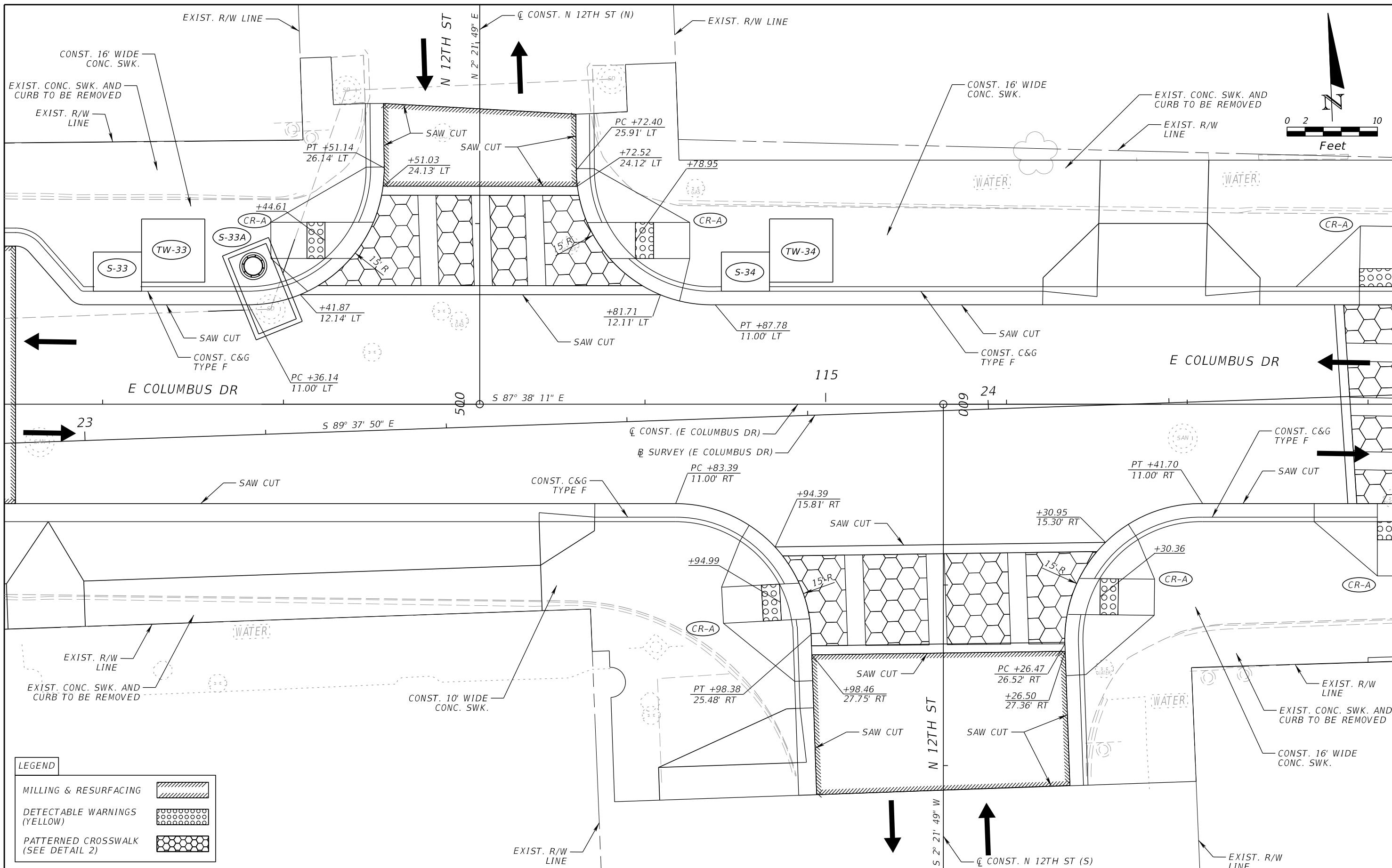
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

INTERSECTION LAYOUT
N 10TH ST

SHEET NO.
52

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL 2)	

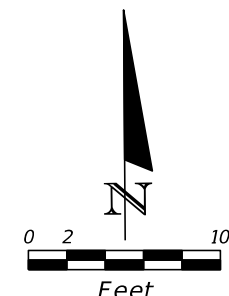
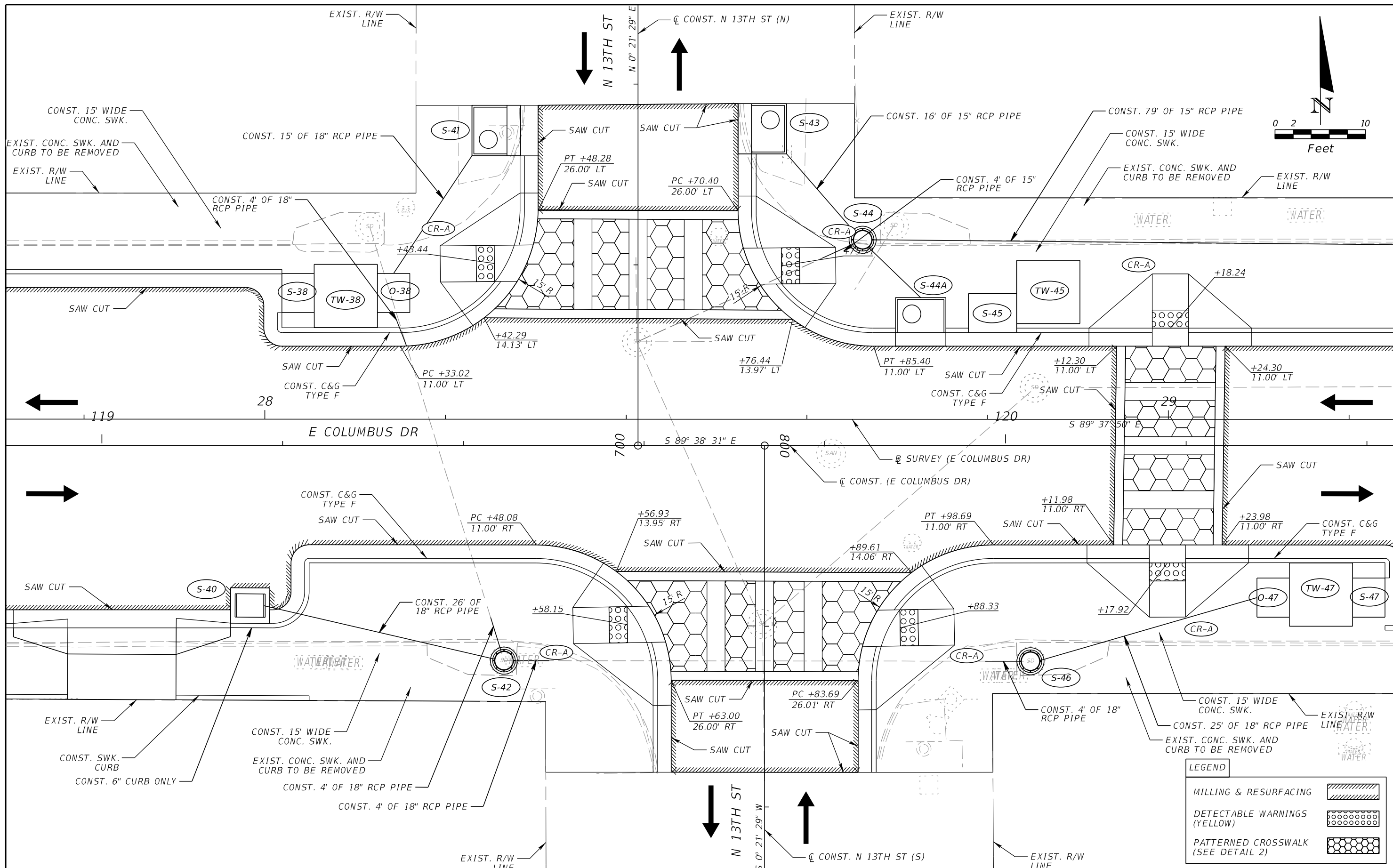
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

INTERSECTION LAYOUT N 12TH ST	
SHEET NO.	53

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



LEGEND	
MILLING & RESURFACING	
DETECTABLE WARNINGS (YELLOW)	
PATTERNED CROSSWALK (SEE DETAIL 2)	

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

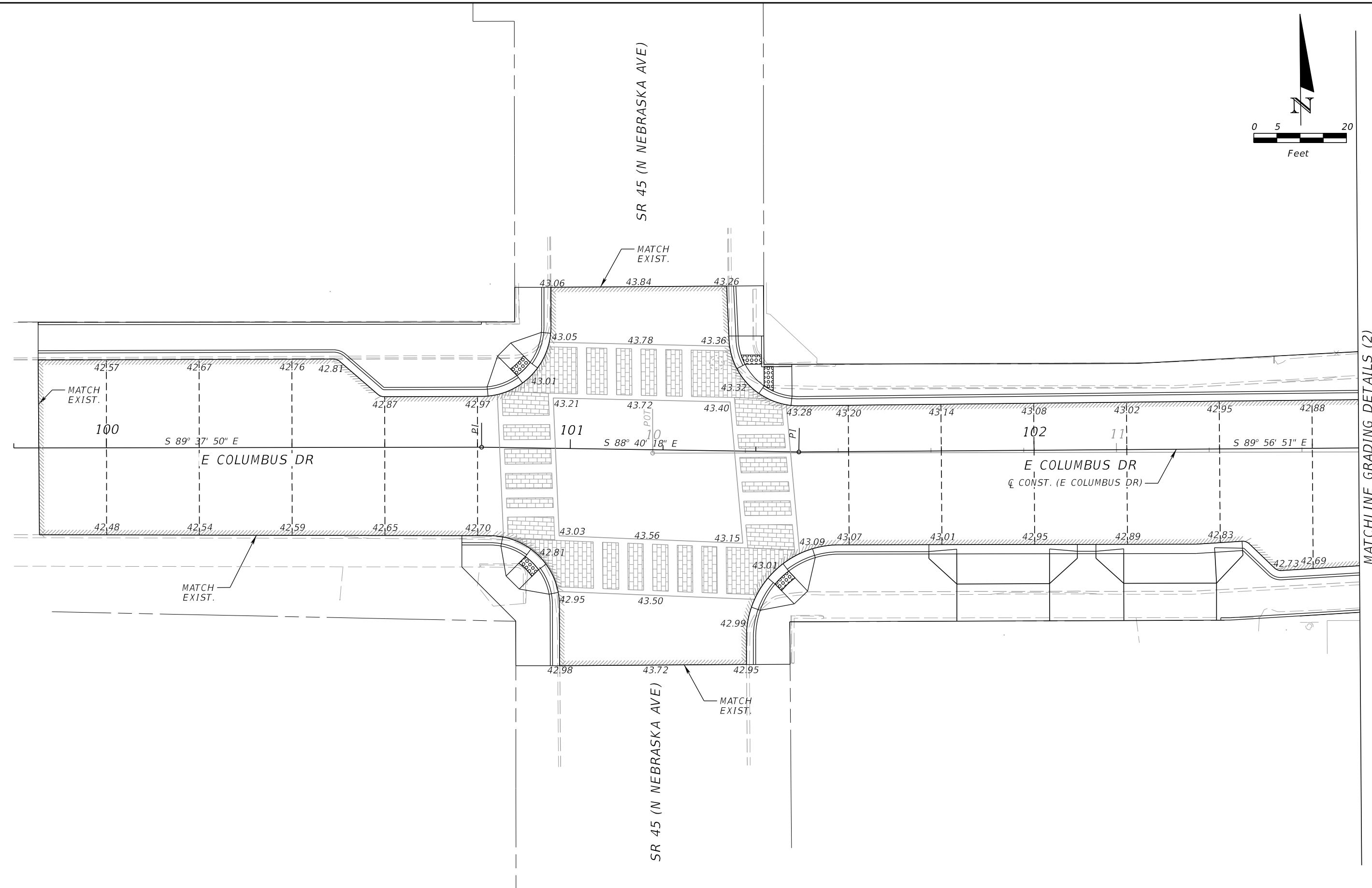
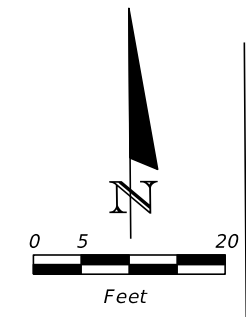
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

INTERSECTION LAYOUT
N 13TH ST

SHEET NO.
54

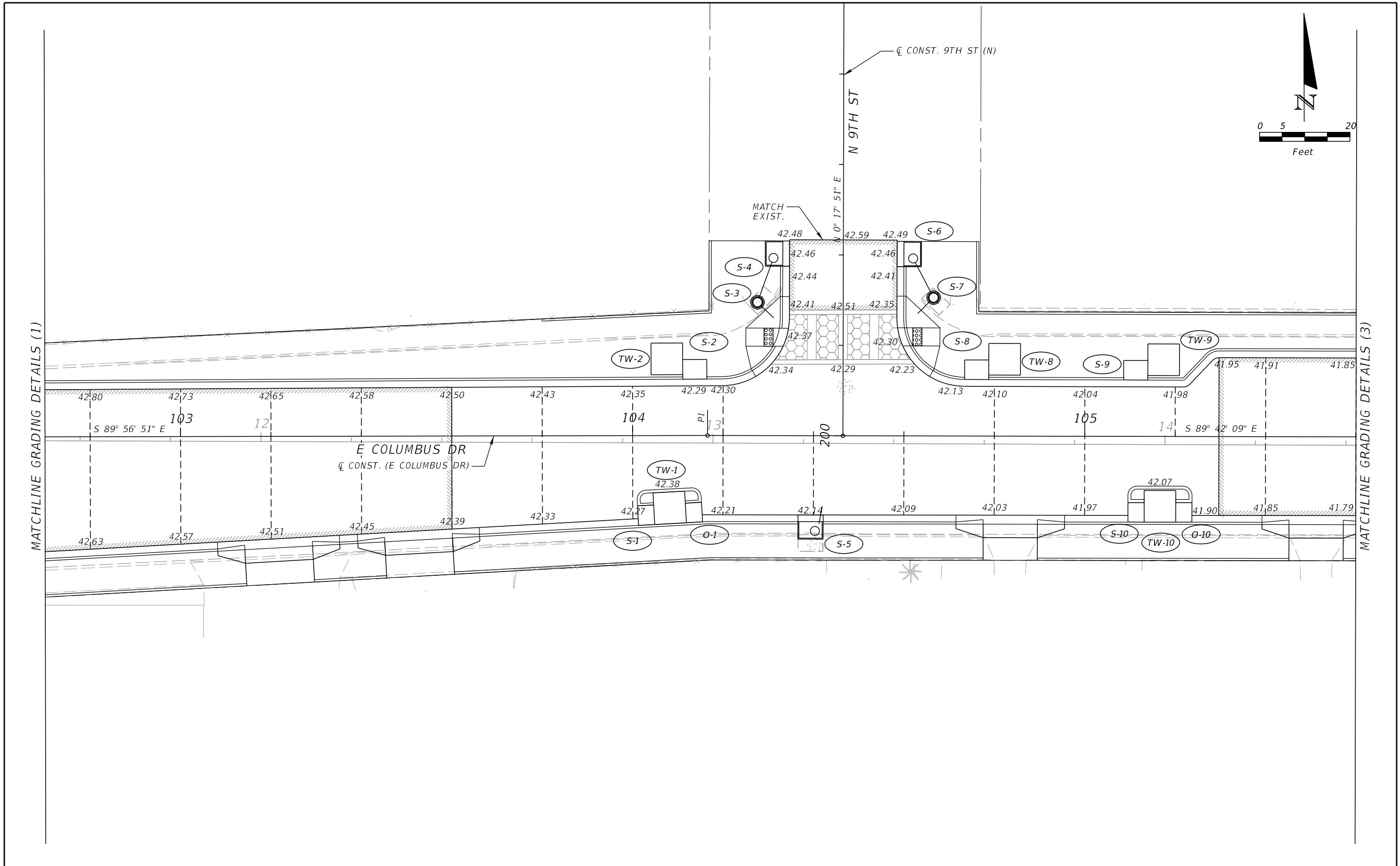
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



MATCHLINE GRADING DETAILS (2)

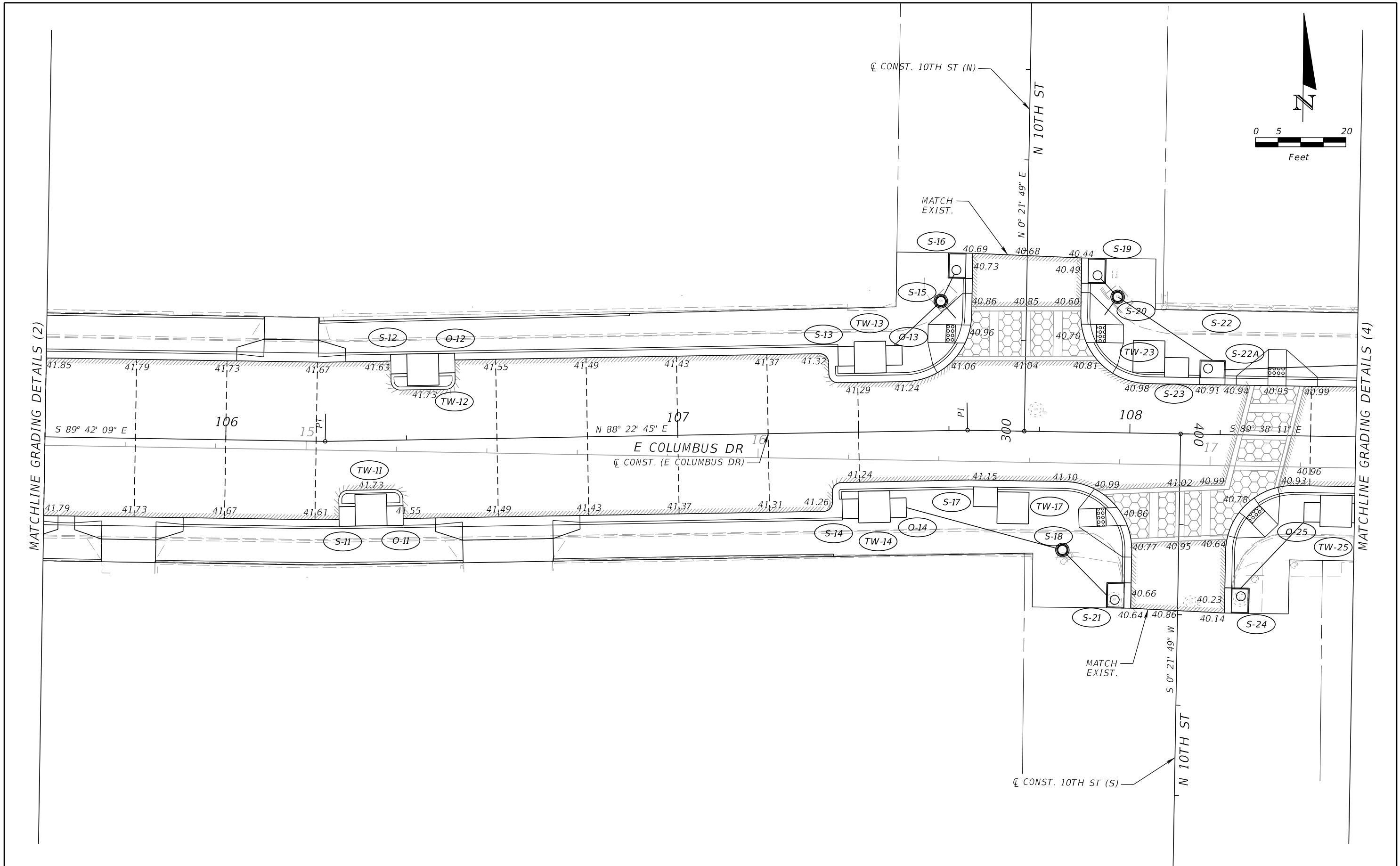
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (1) SHEET NO. 55
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	



THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

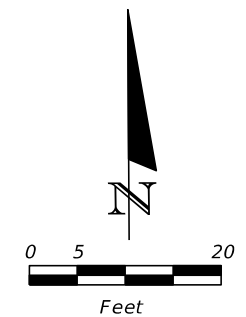
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (2)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		56
					1001221	HILLSBOROUGH	436639-1-58-01		



REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 57
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

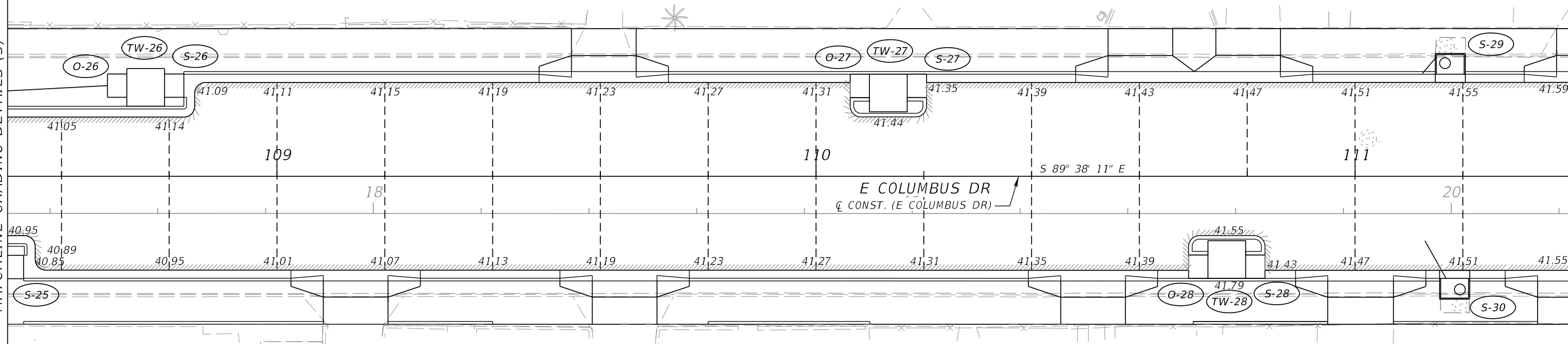
GRADING DETAILS (3)

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



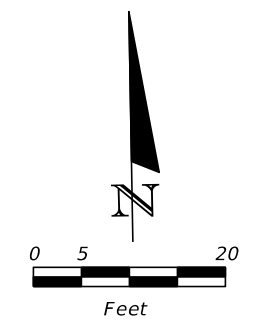
MATCHLINE GRADING DETAILS (3)

MATCHLINE GRADING DETAILS (5)



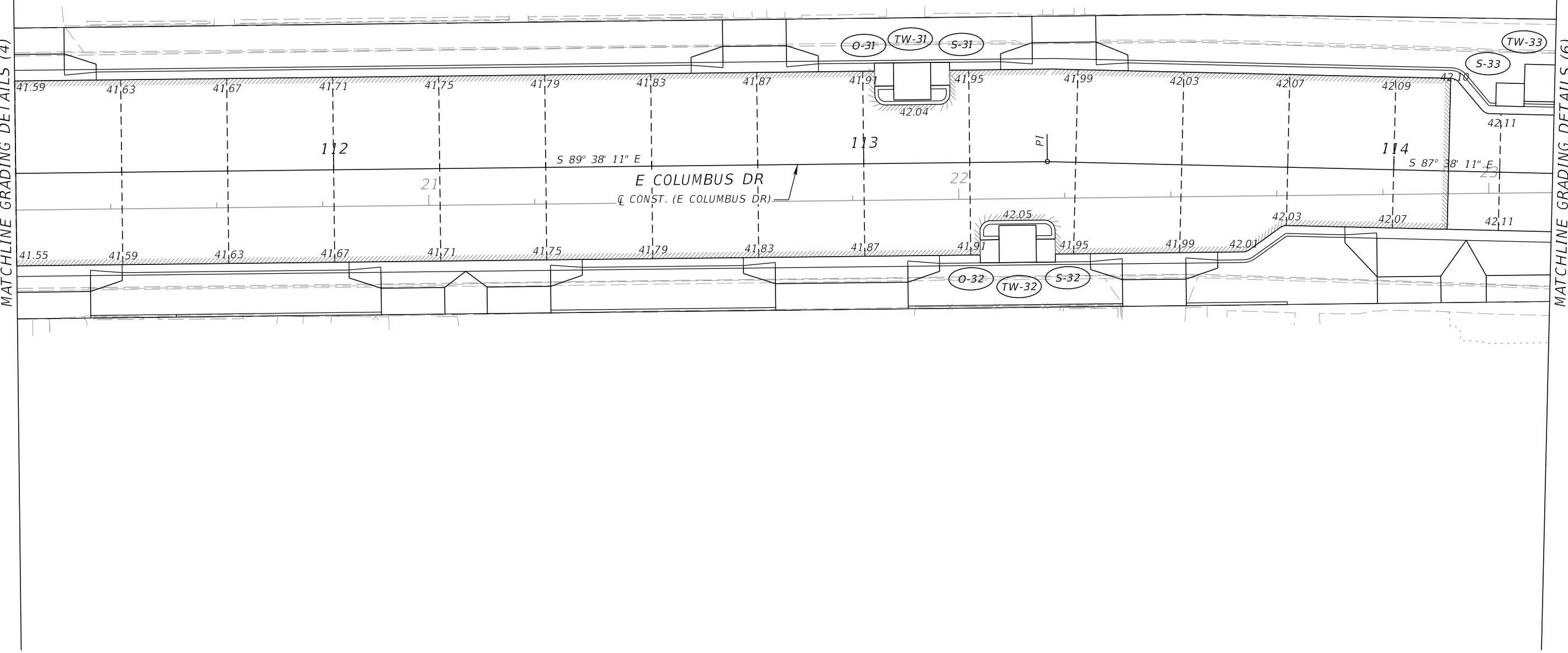
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (4)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		58
					1001221	HILLSBOROUGH	436639-1-58-01		

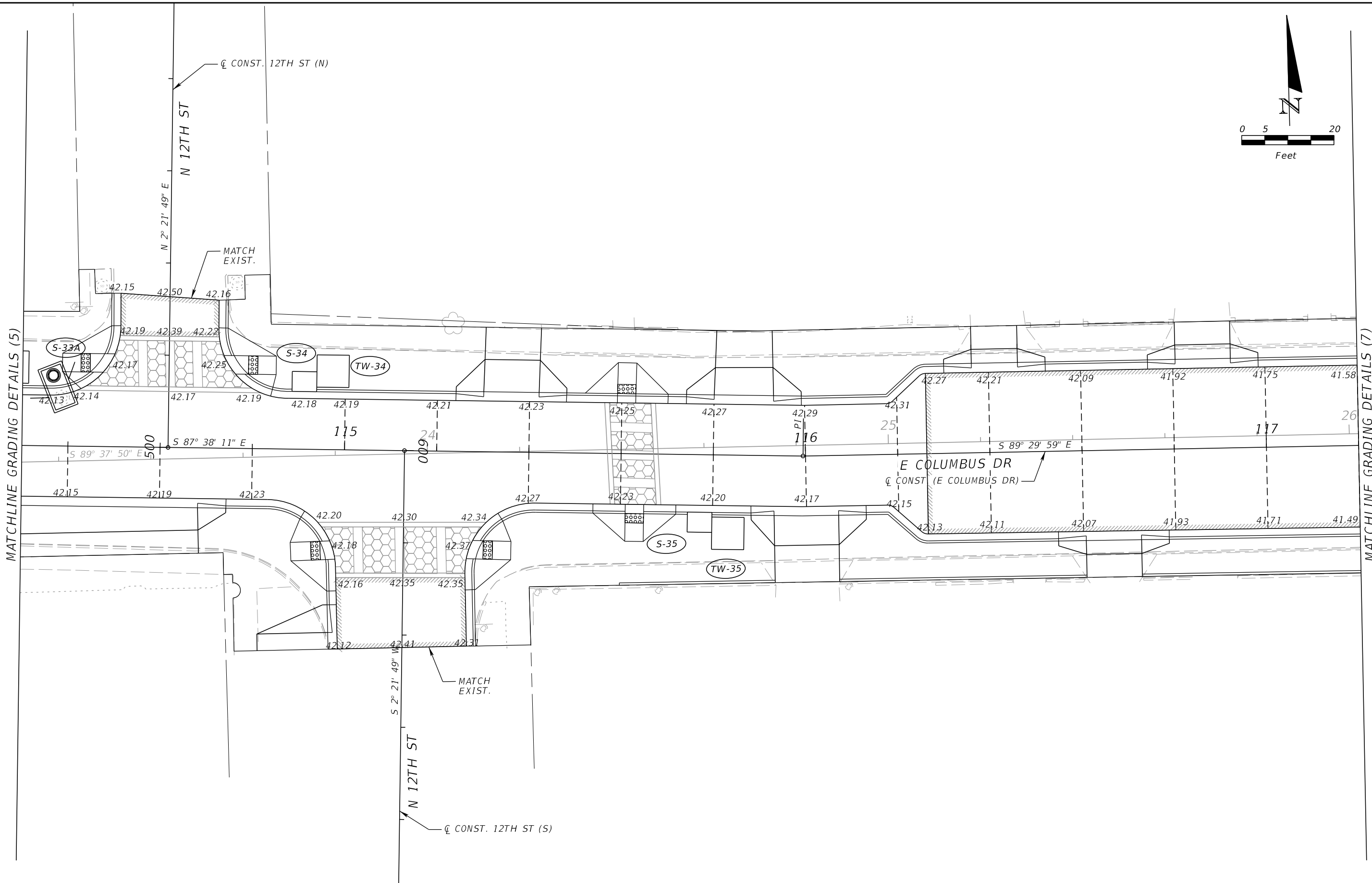
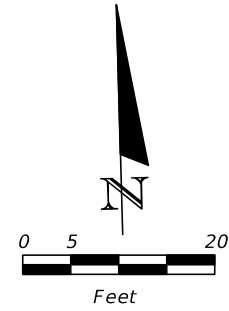


MATCHLINE GRADING DETAILS (4)

MATCHLINE GRADING DETAILS (6)

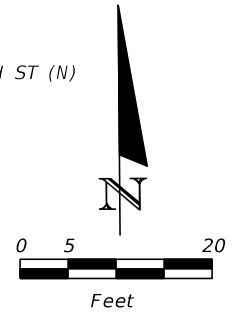
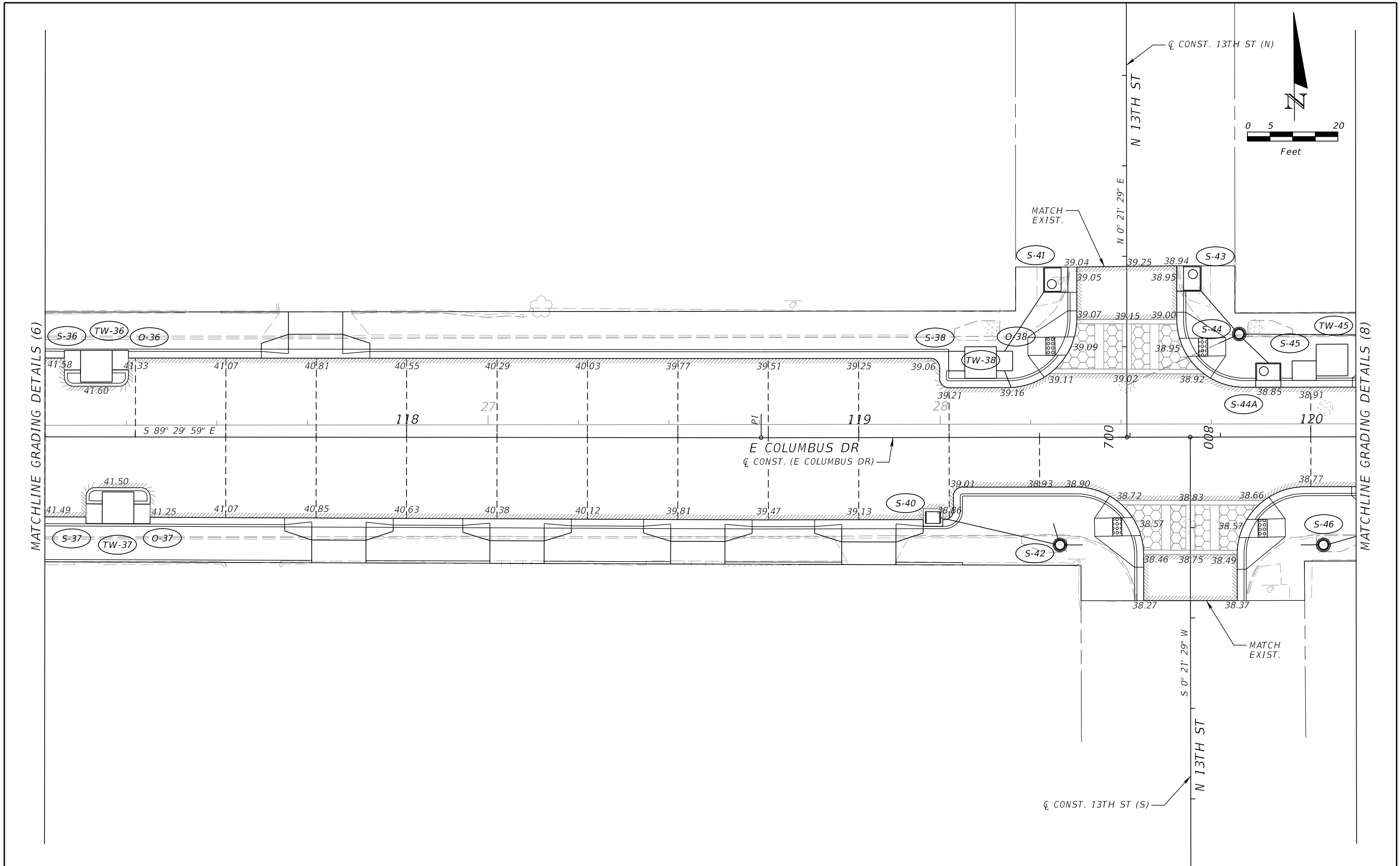


REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (5)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		59



REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 60
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

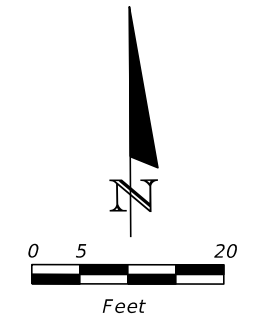
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



MATCHLINE GRADING DETAILS (6)

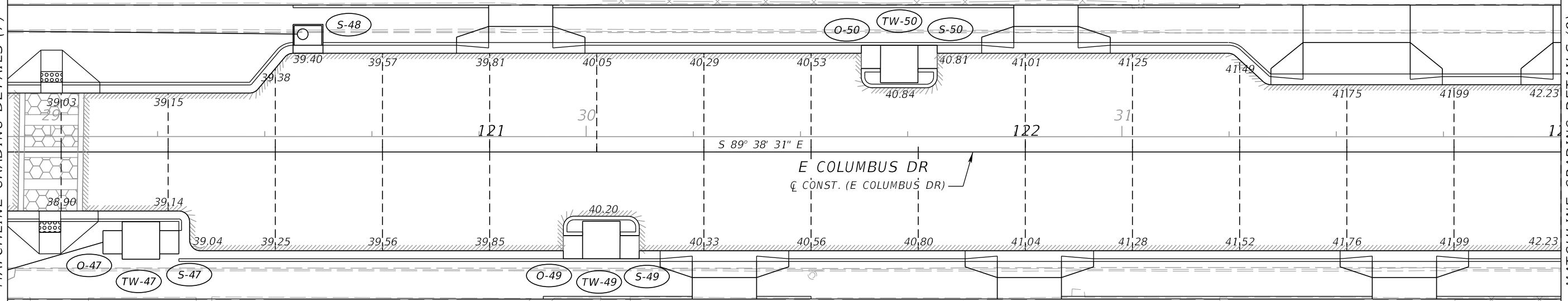
MATCHLINE GRADING DETAILS (8)

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (7)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		61

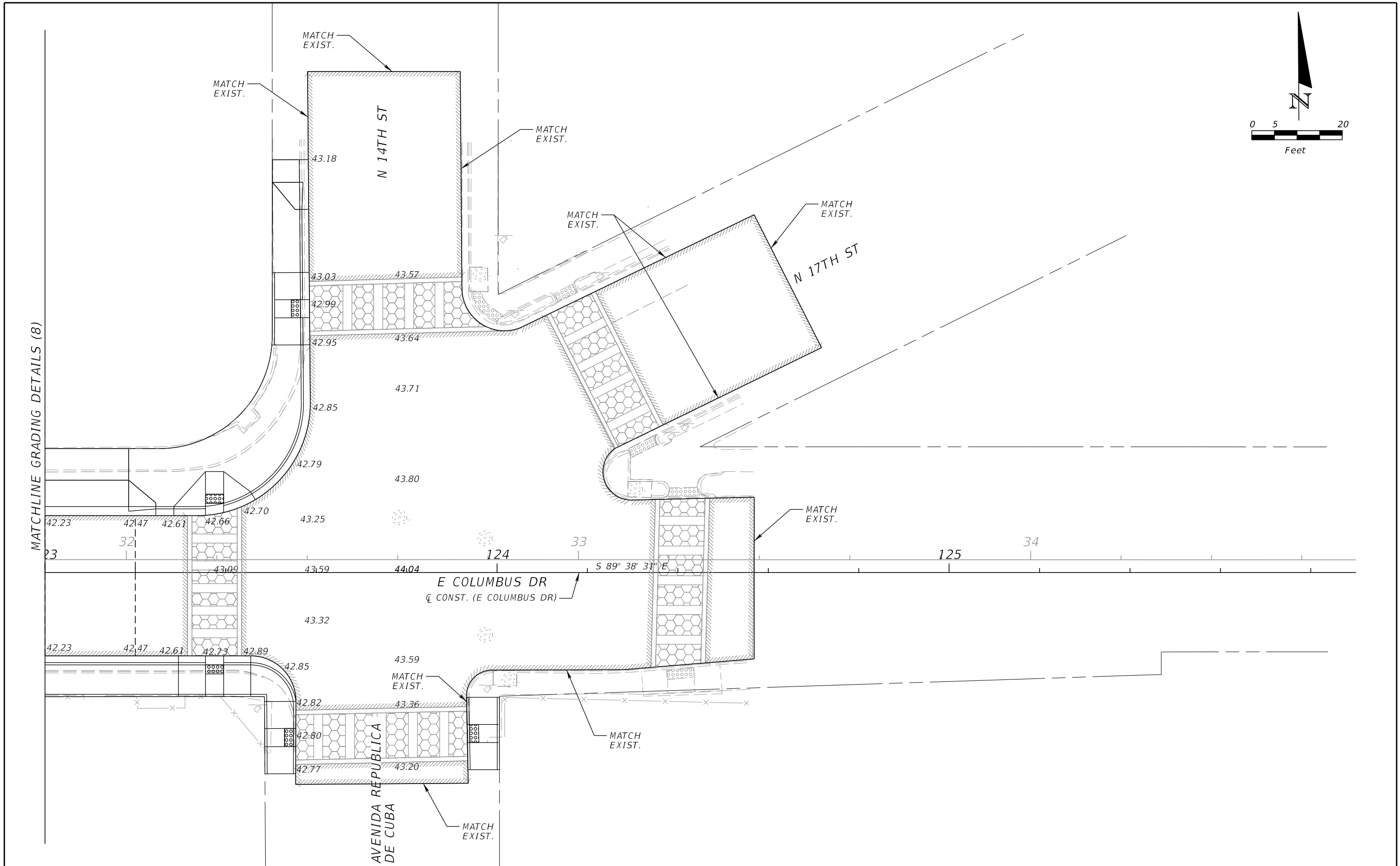
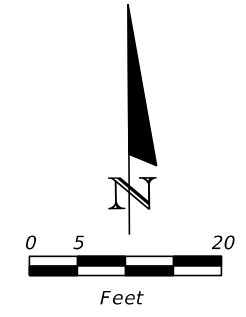


MATCHLINE GRADING DETAILS (7)

MATCHLINE GRADING DETAILS (9)



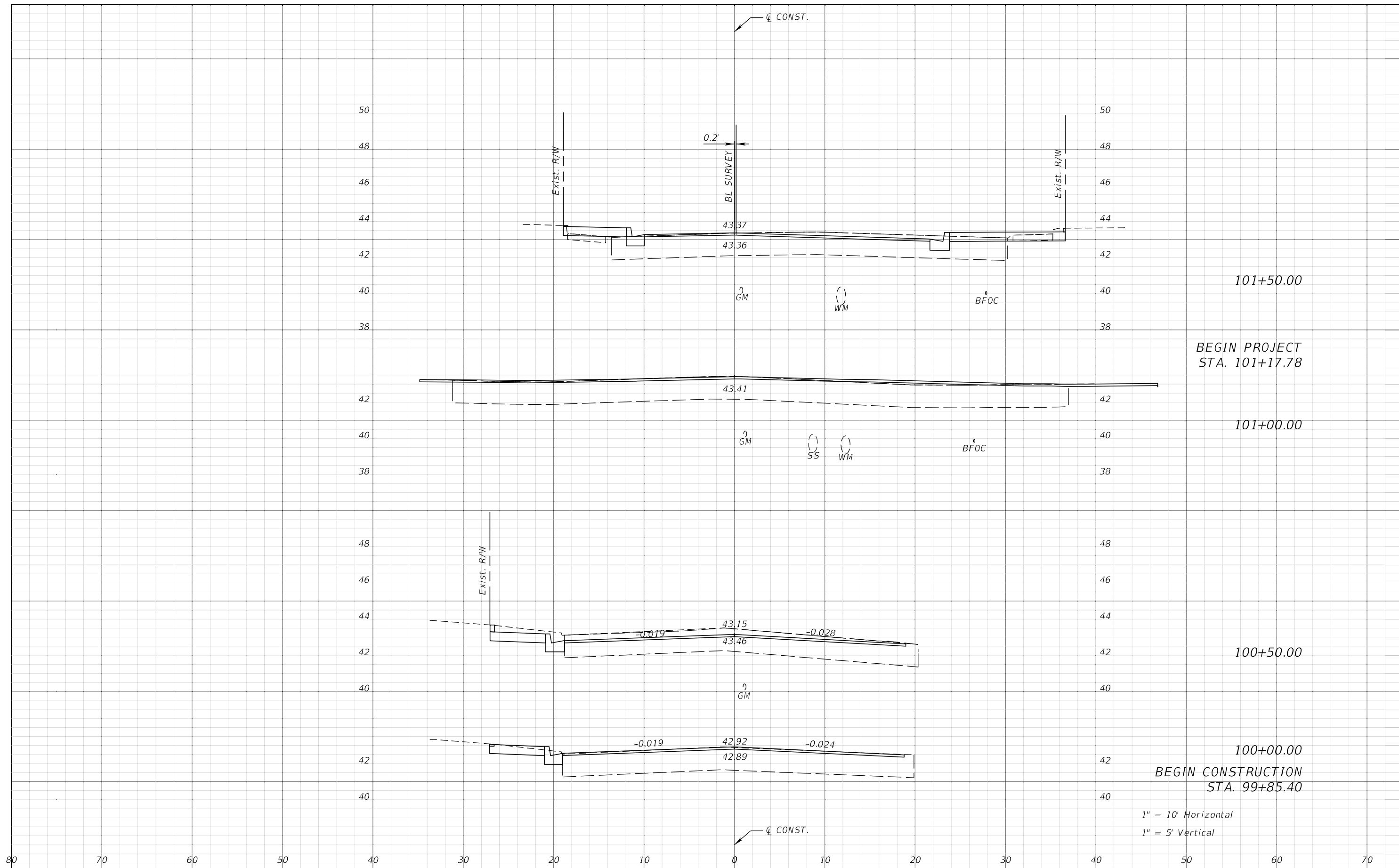
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 62
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01	GRADING DETAILS (8)	



MATCHLINE GRADING DETAILS (8)

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GRADING DETAILS (9) SHEET NO. 63
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

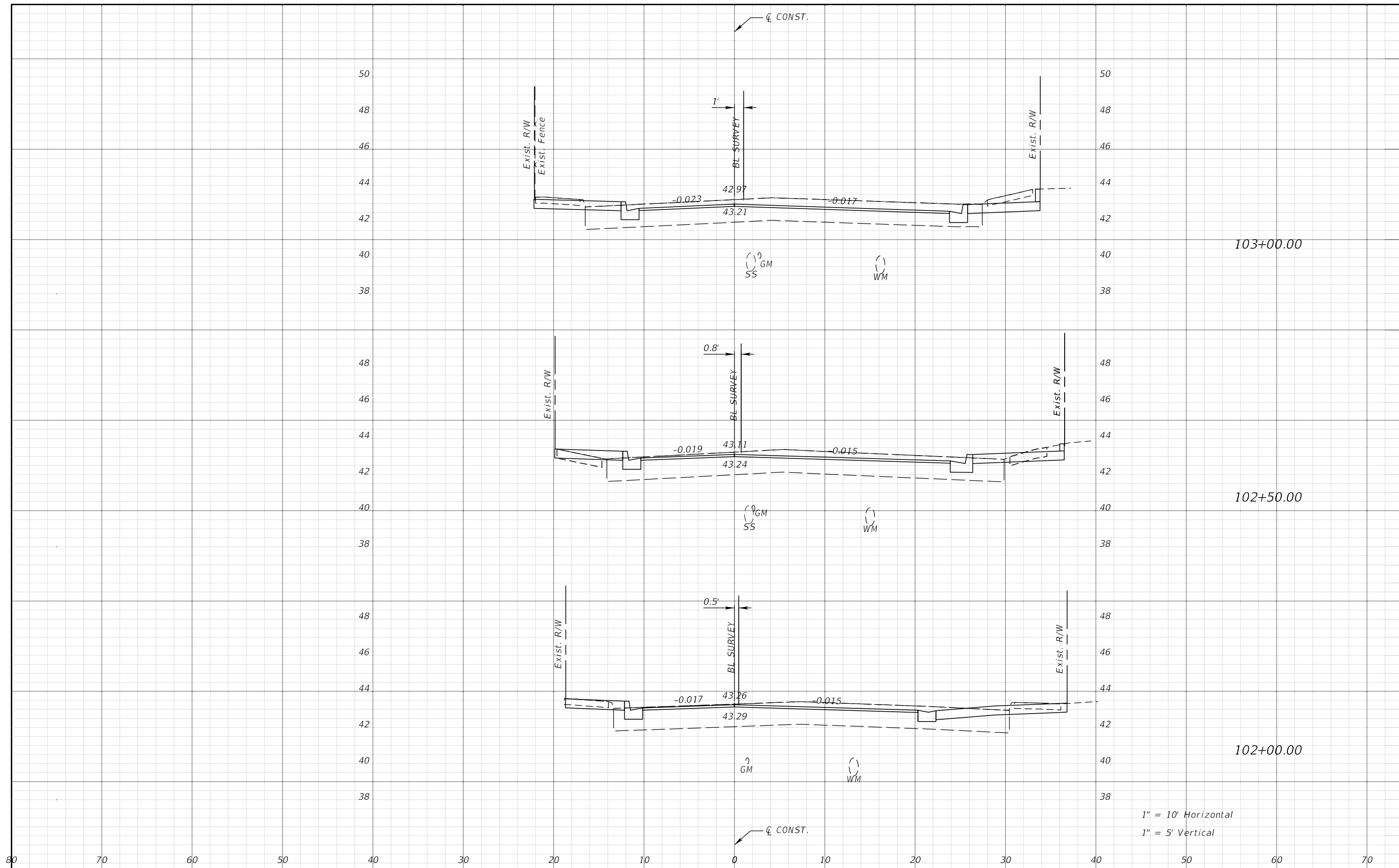
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

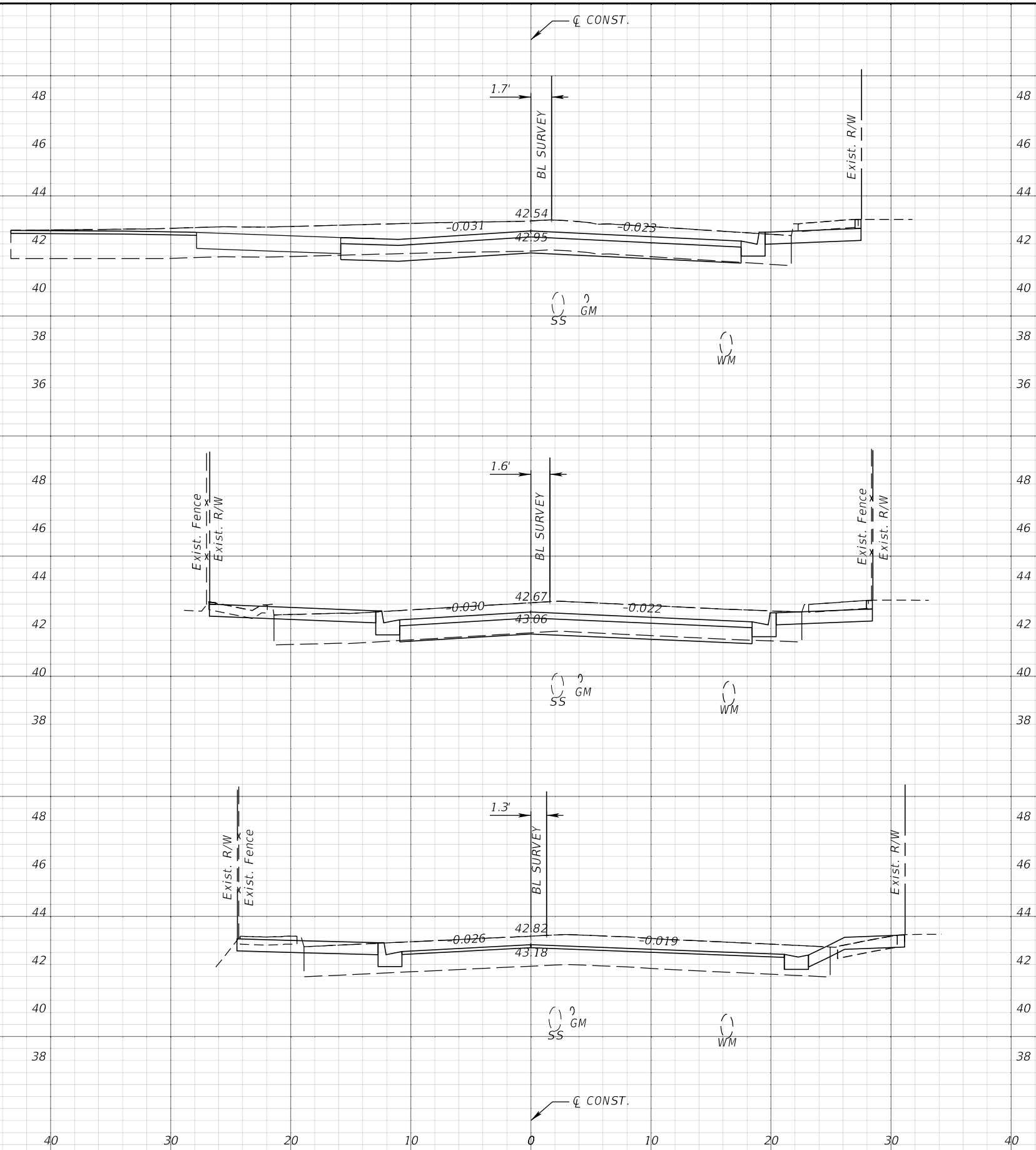
SHEET NO.
64

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

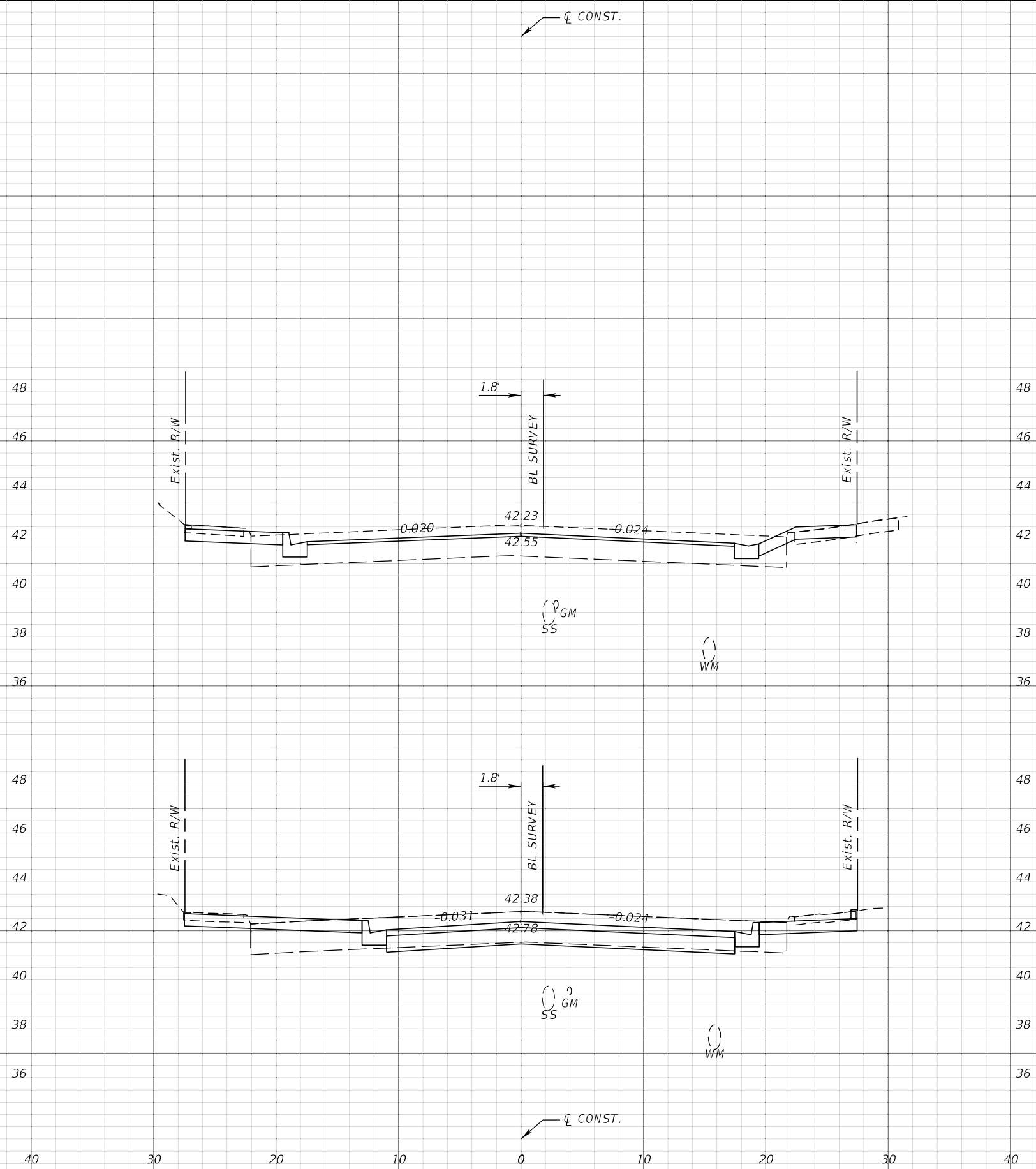
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 65
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 66
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

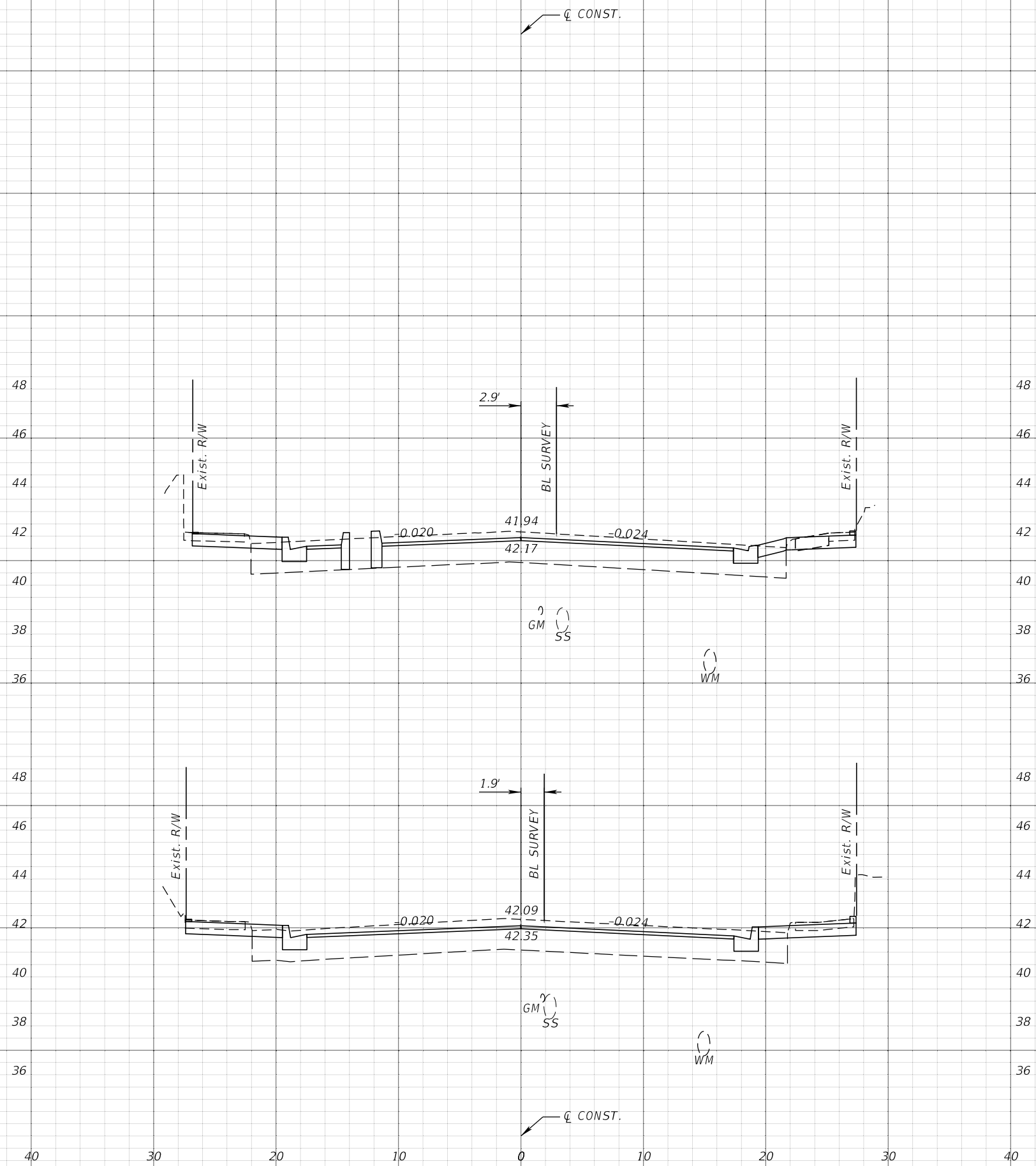
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 67
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

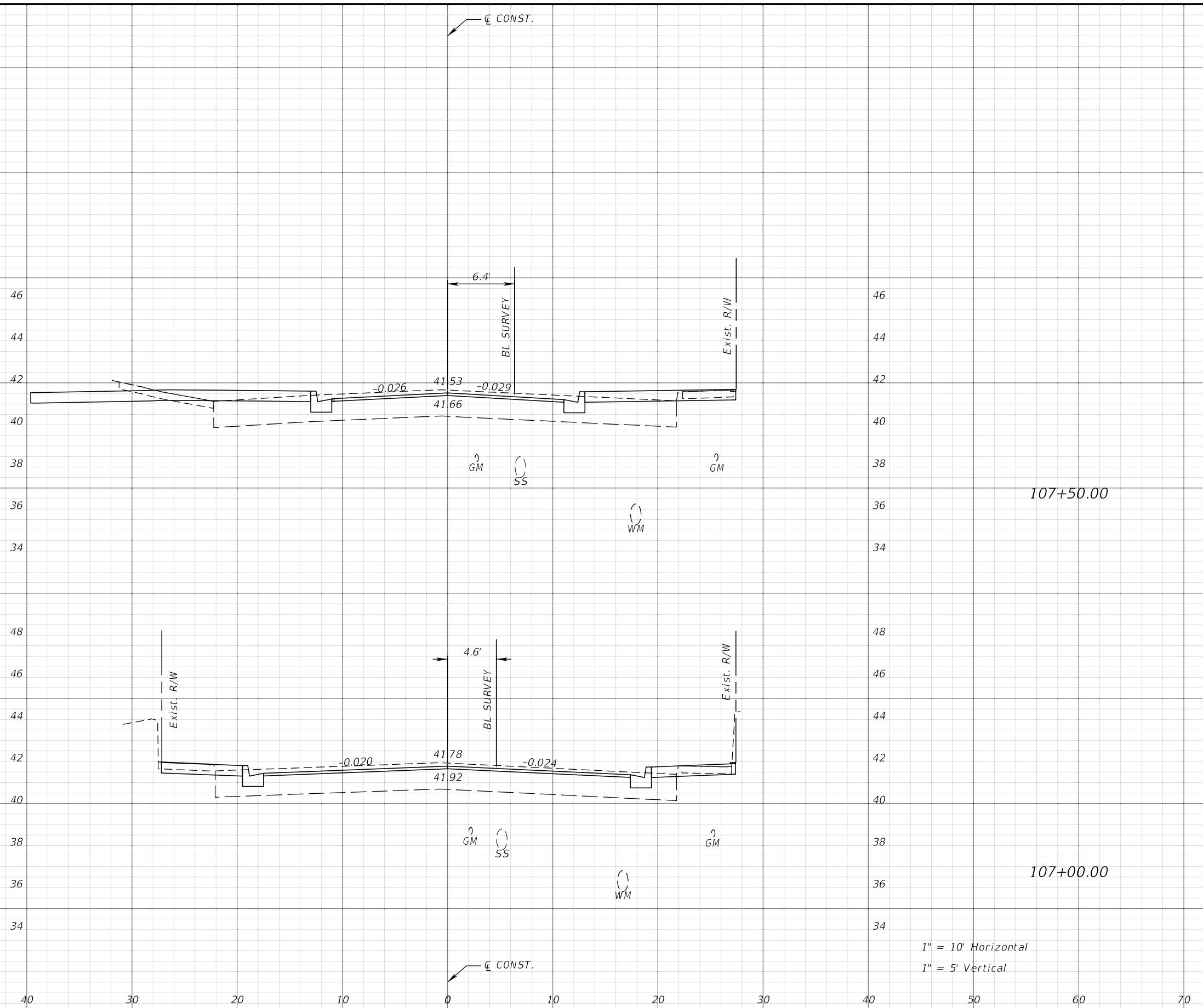
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 68
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

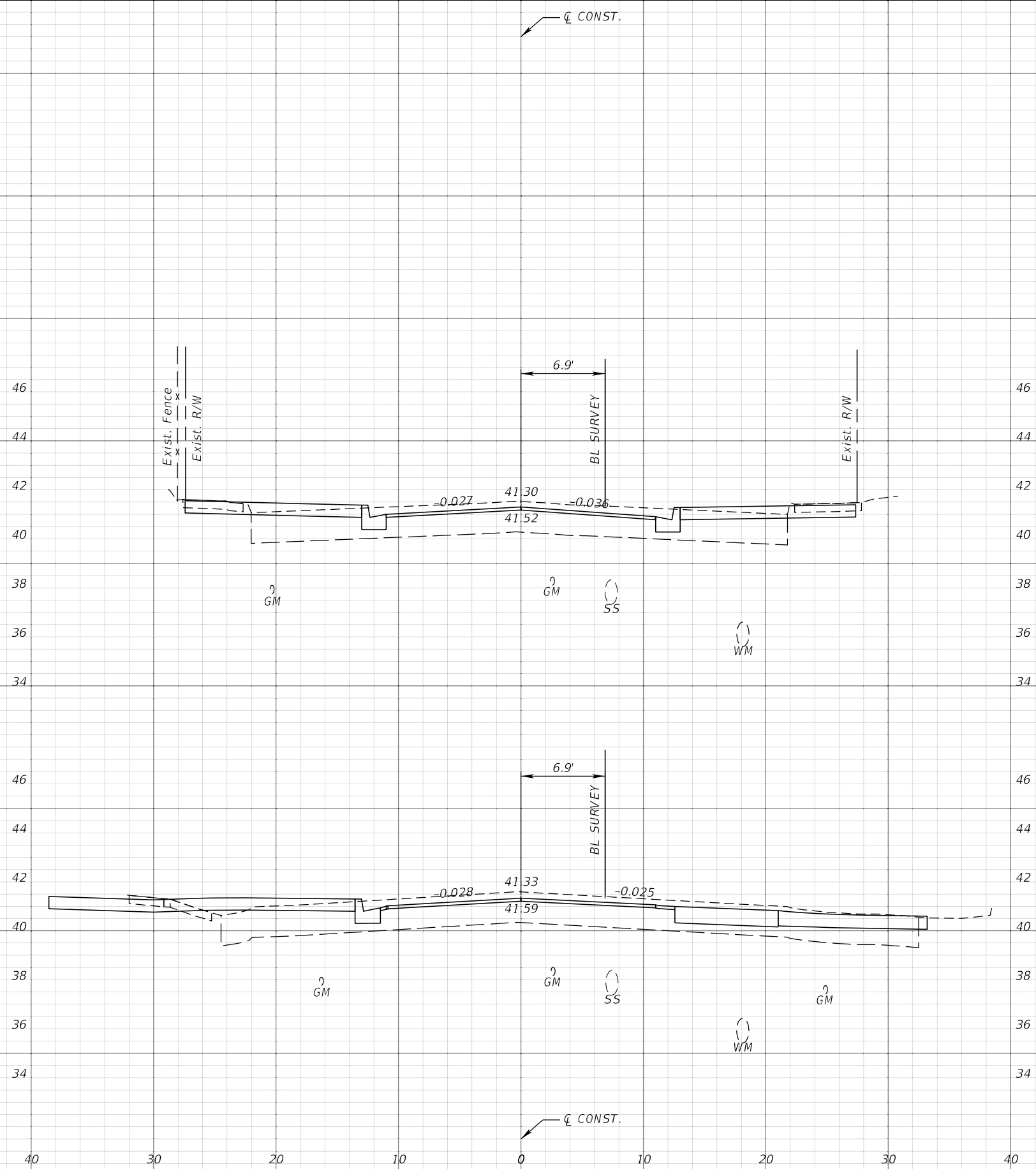
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

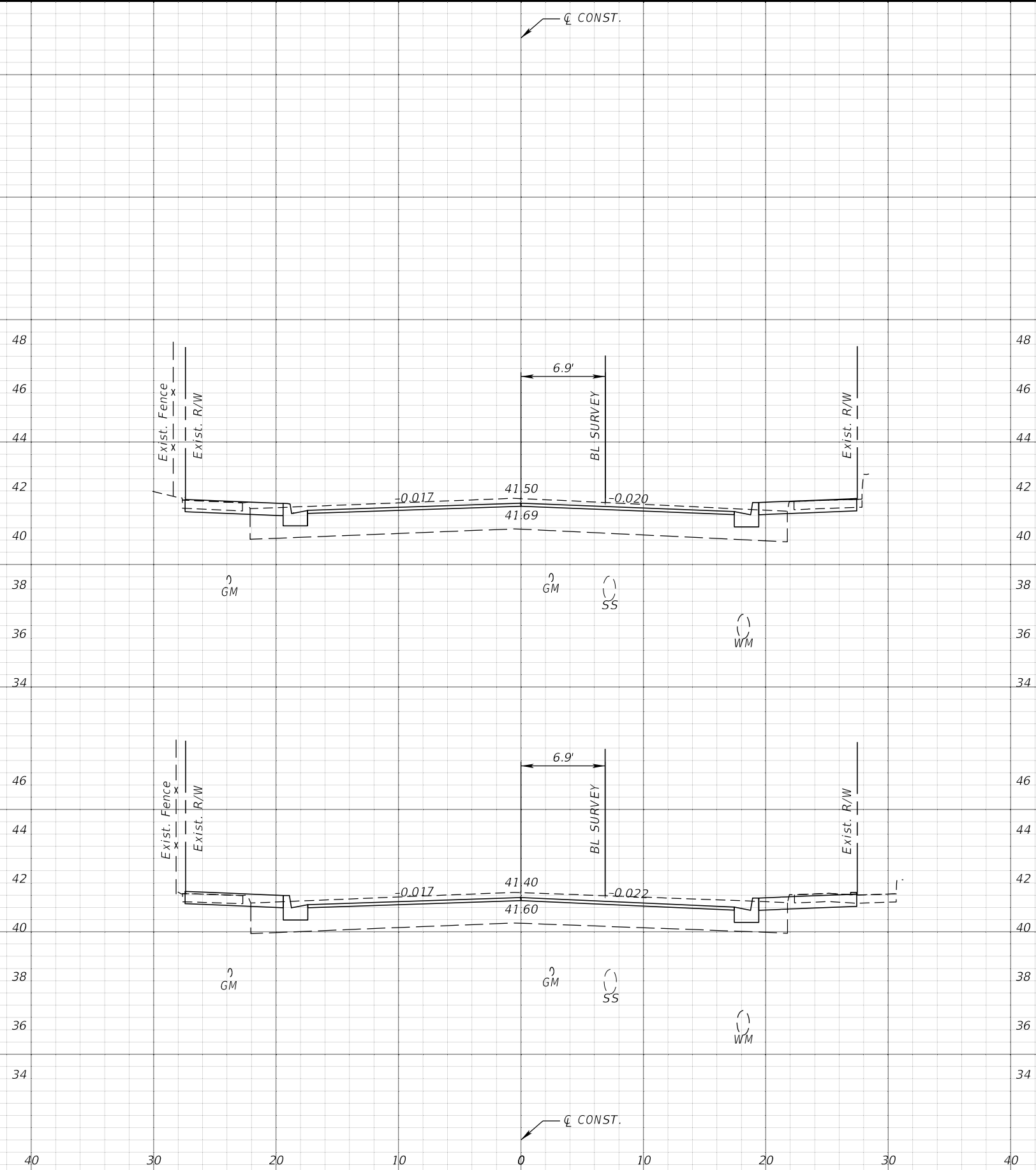
SHEET NO.
69



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 70
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

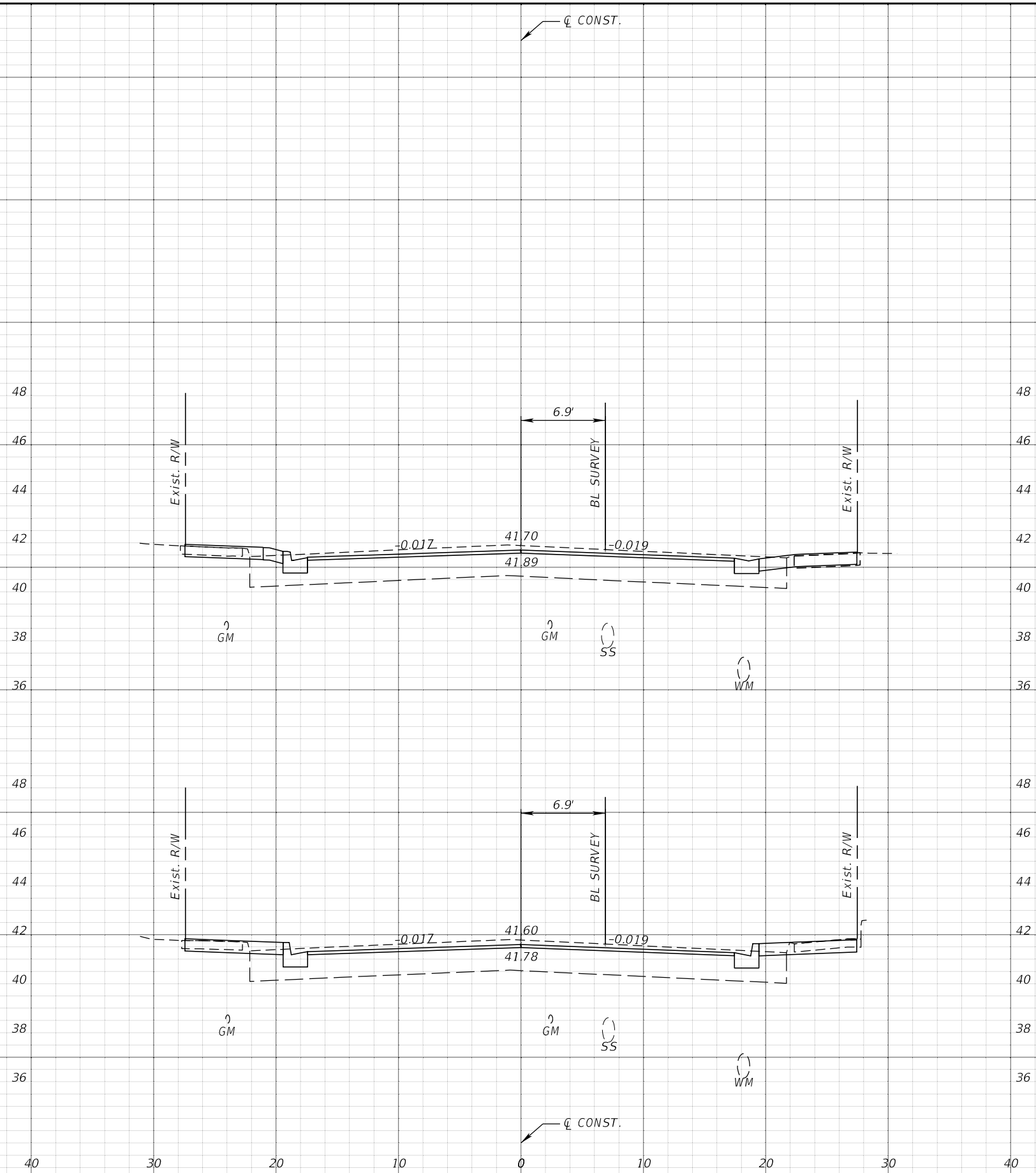
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

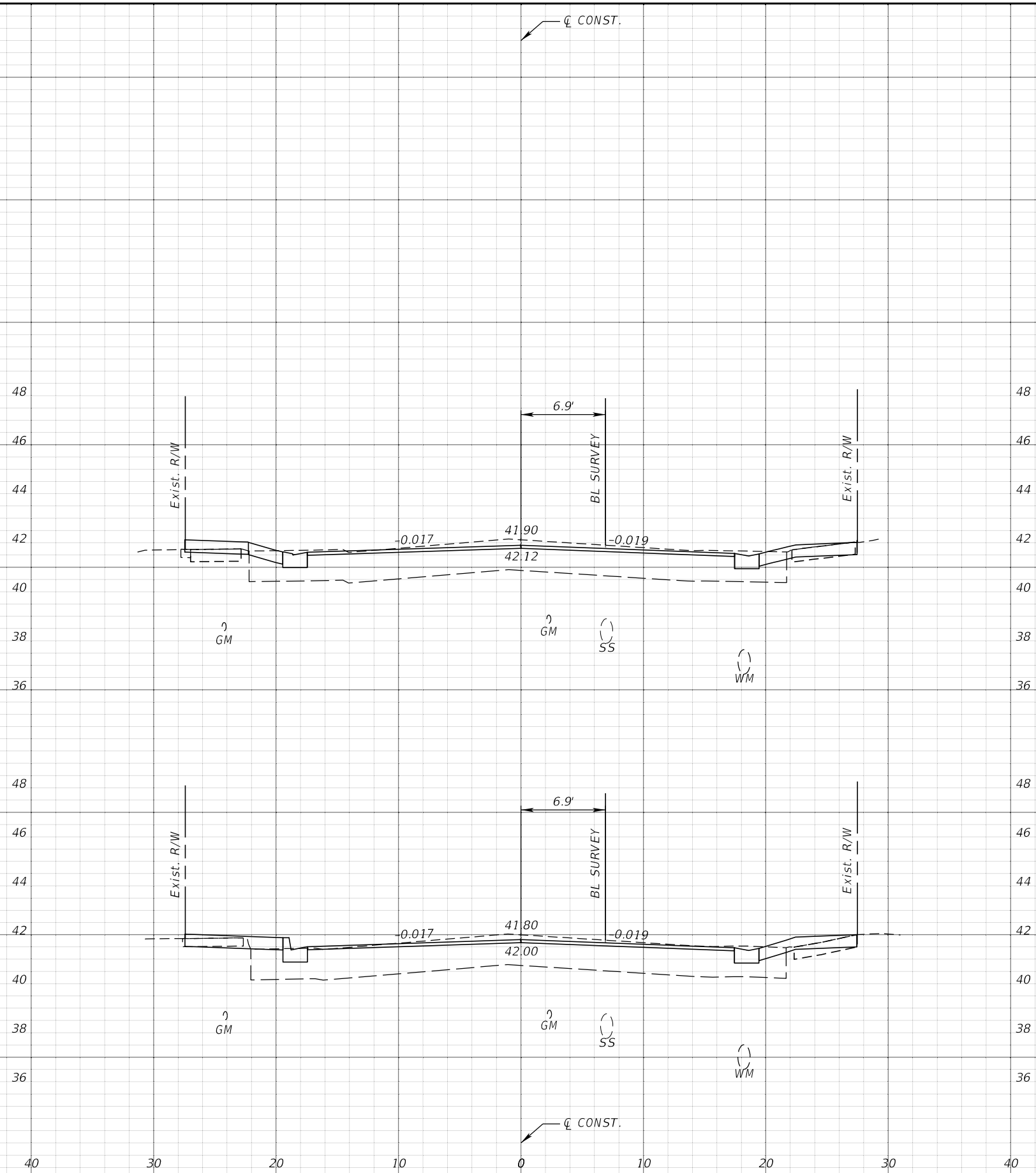
SHEET NO.
71



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 72
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

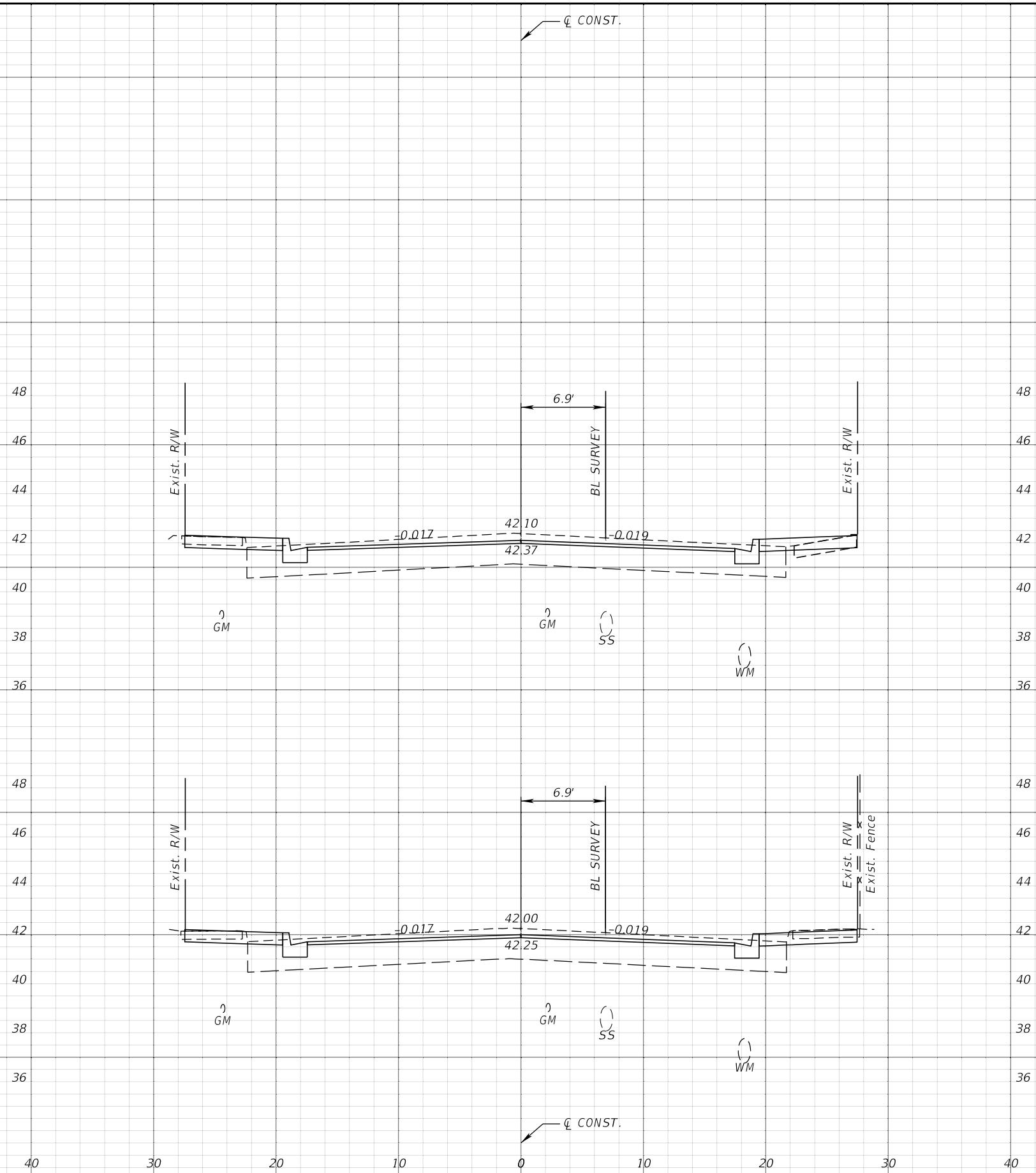
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
73



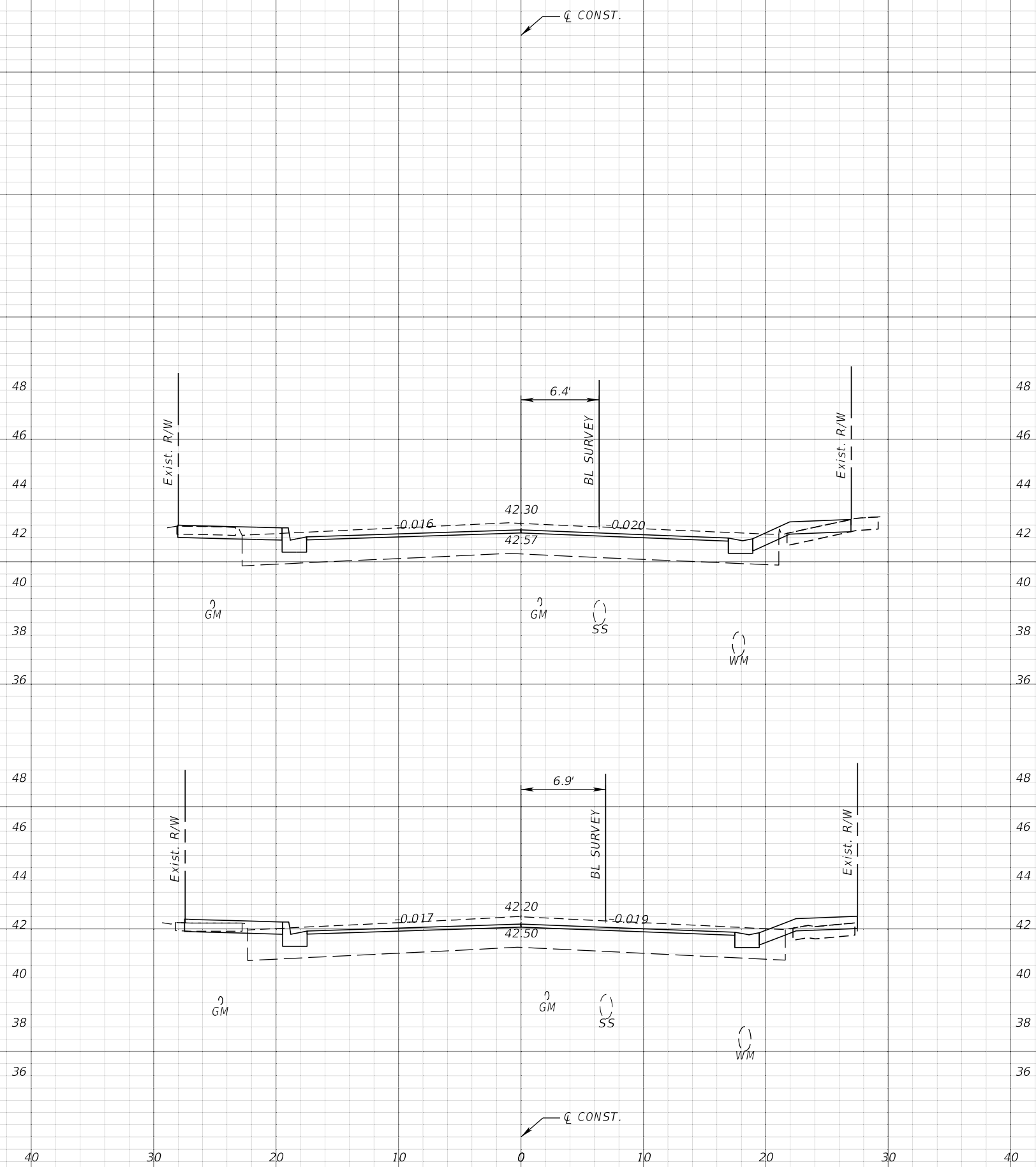
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

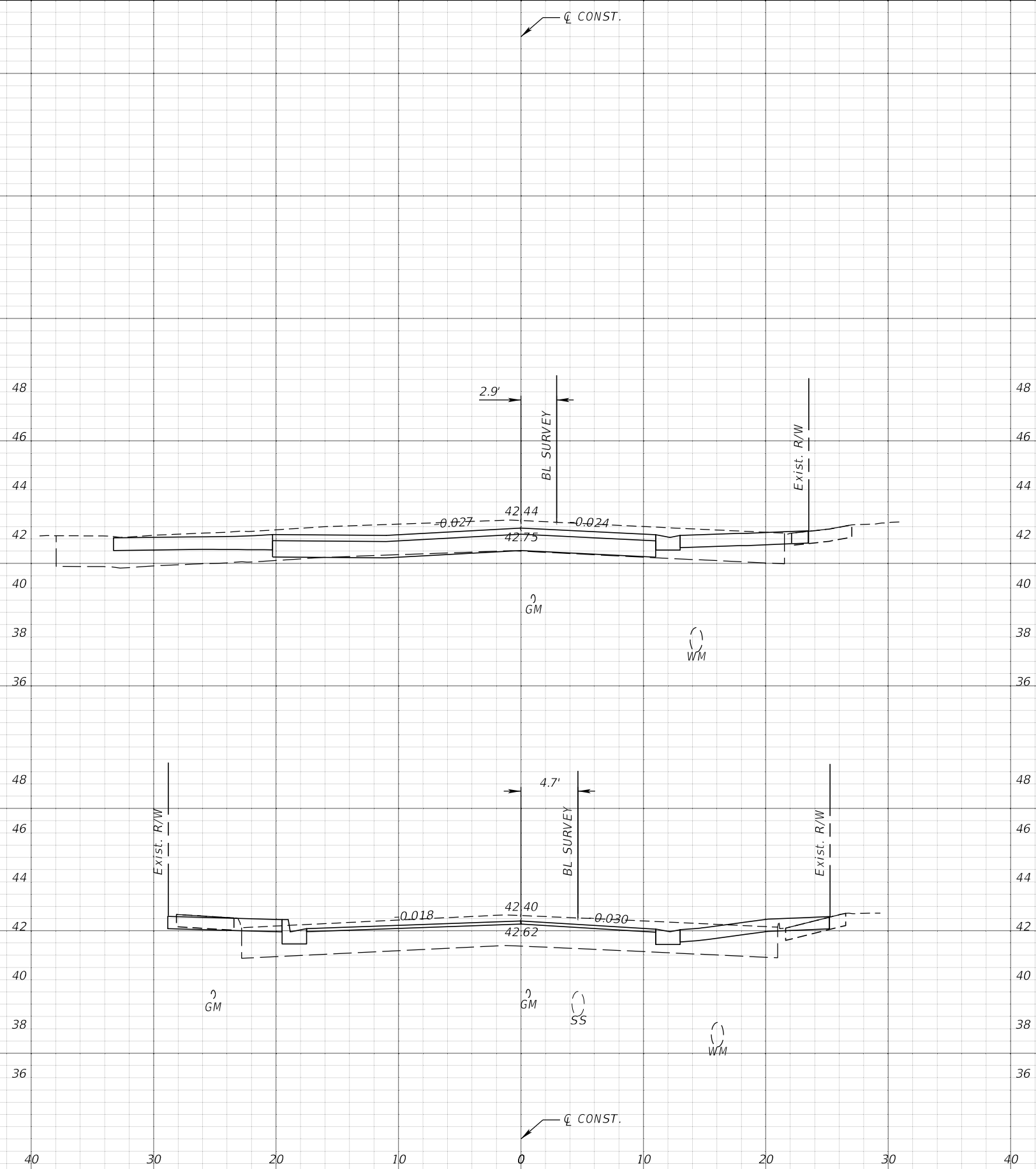
SHEET NO.
74



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 75
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

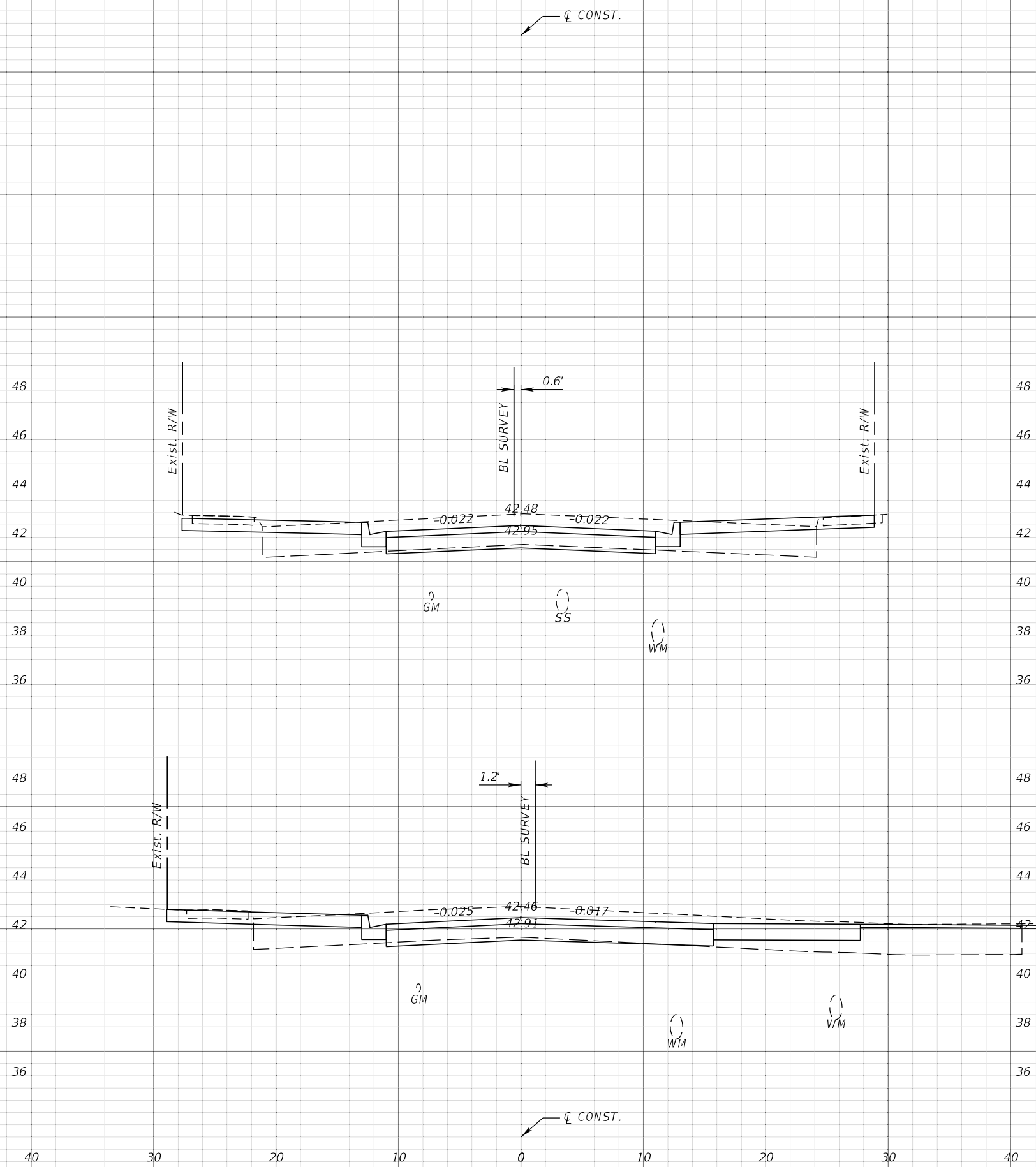
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
76



1" = 10' Horizontal
1" = 5' Vertical

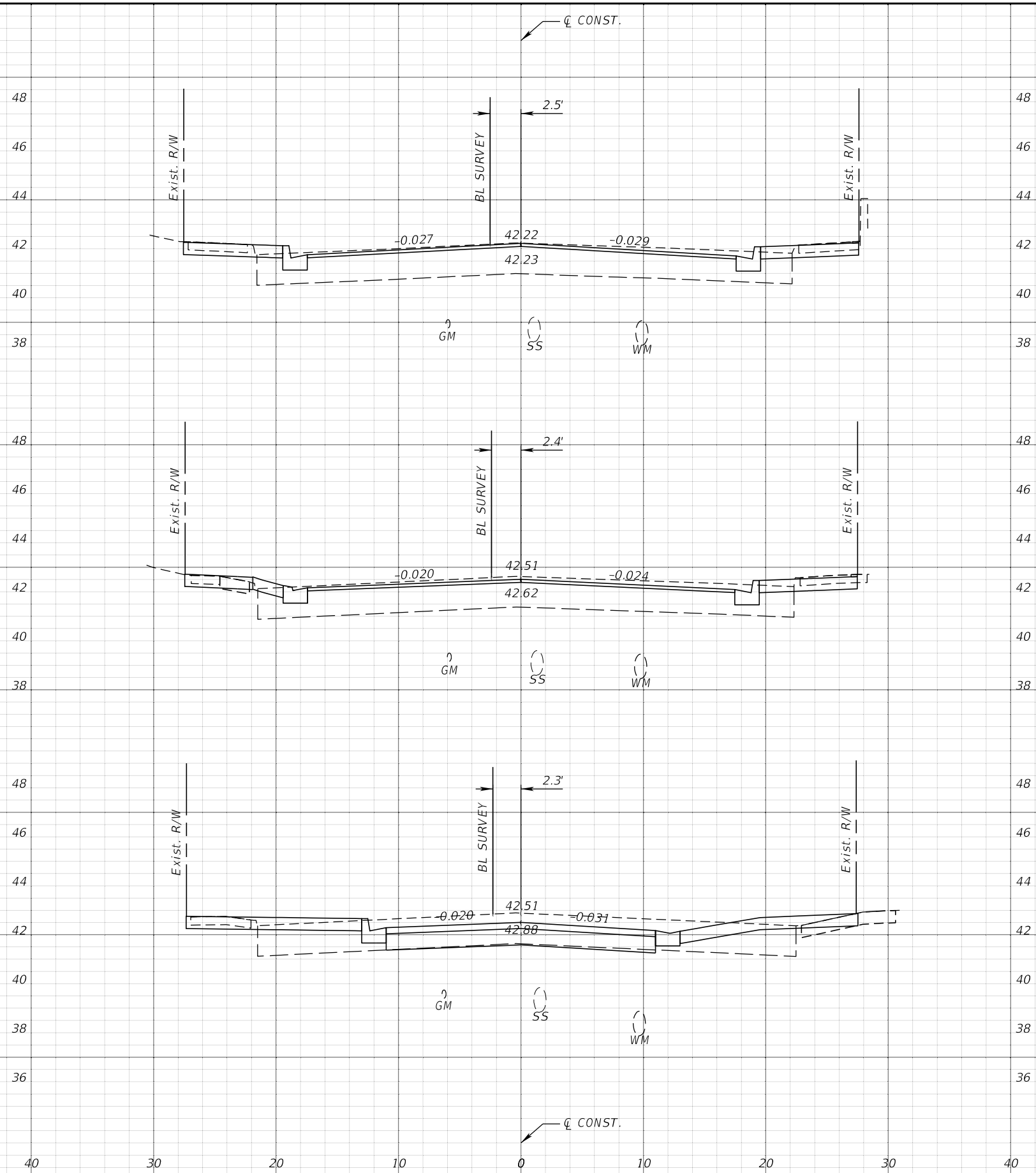
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
77



1" = 10' Horizontal
1" = 5' Vertical

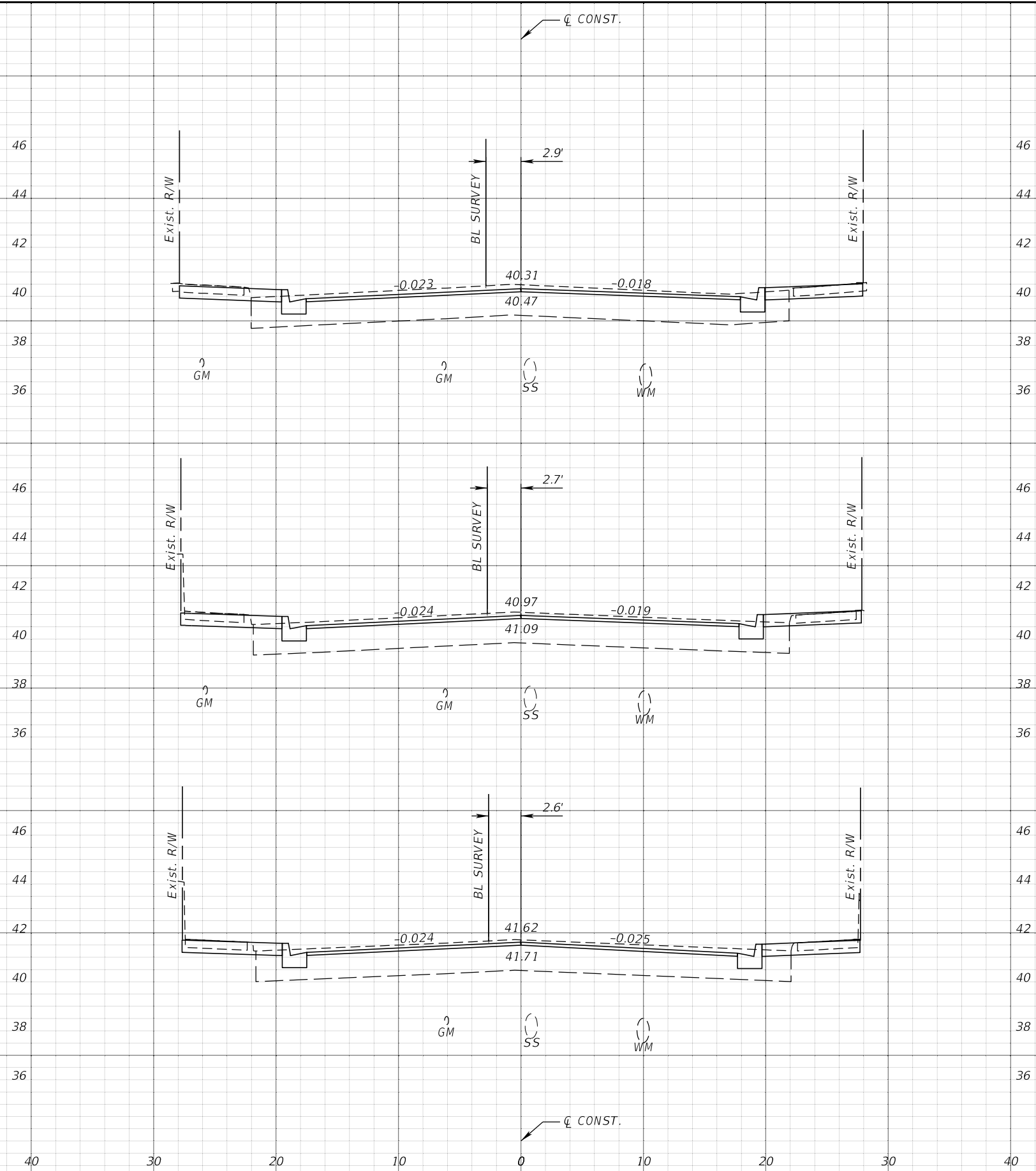
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
78



118+50.00

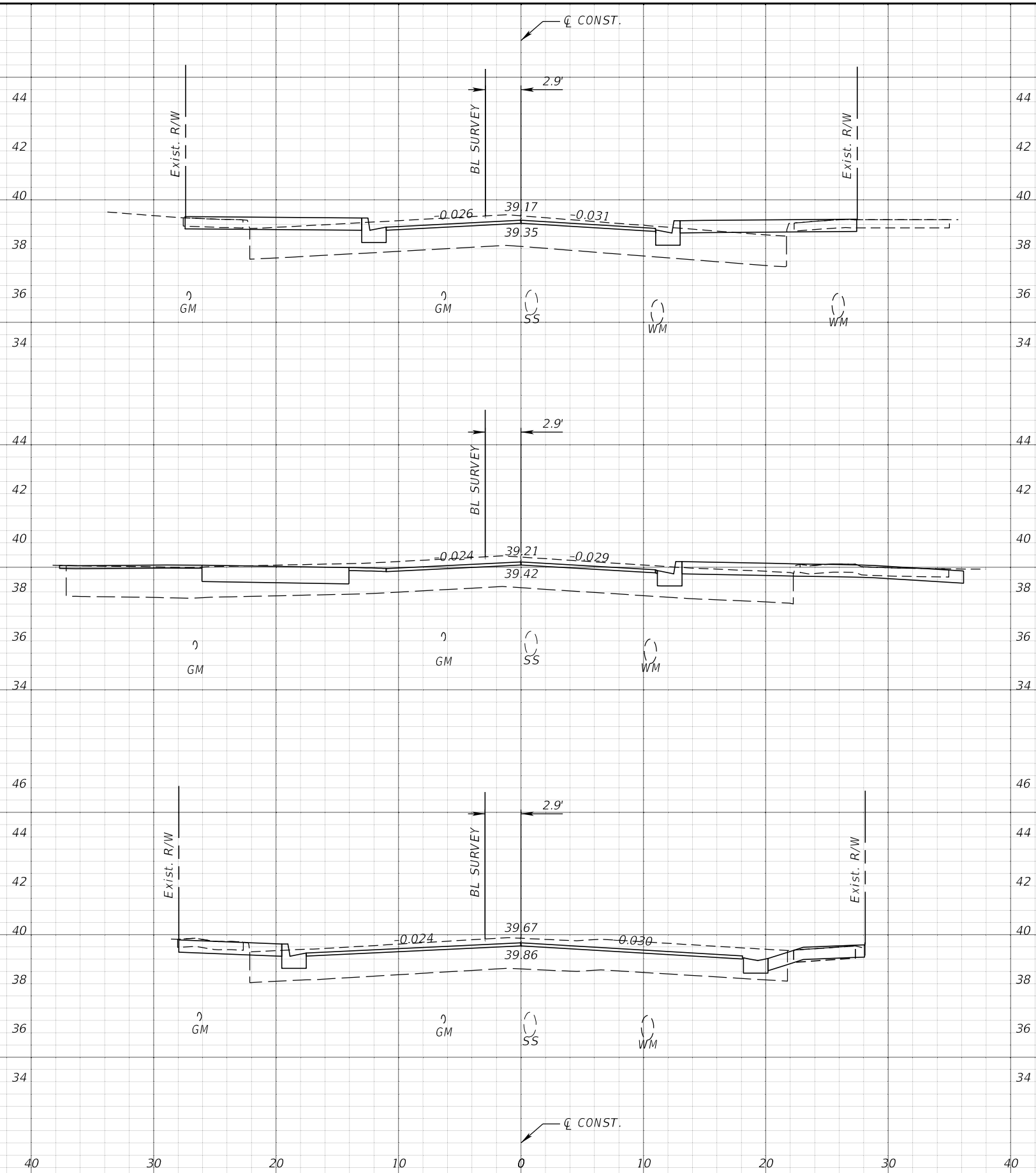
118+00.00

117+50.00

1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 79
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

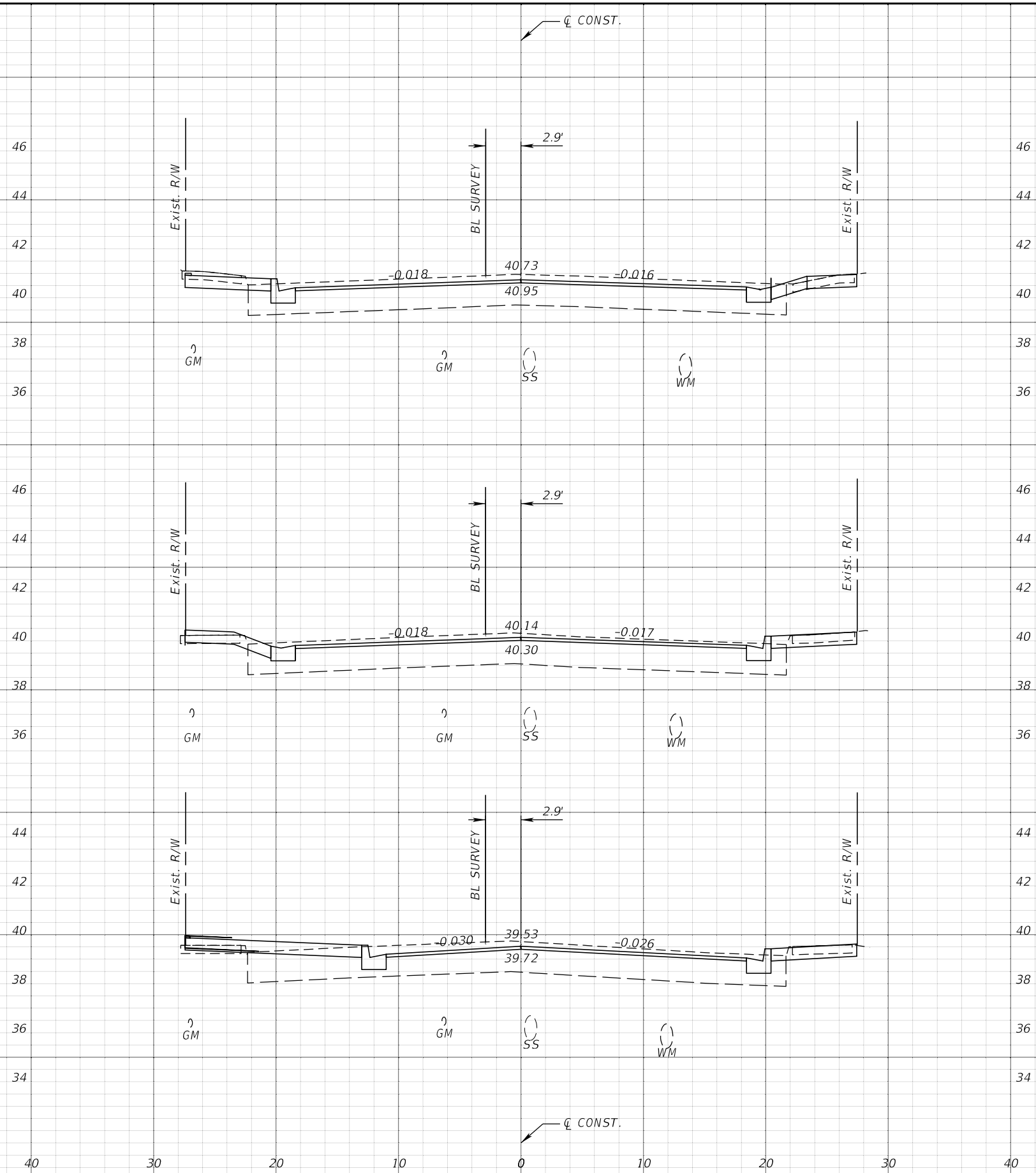
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
80



1" = 10' Horizontal
1" = 5' Vertical

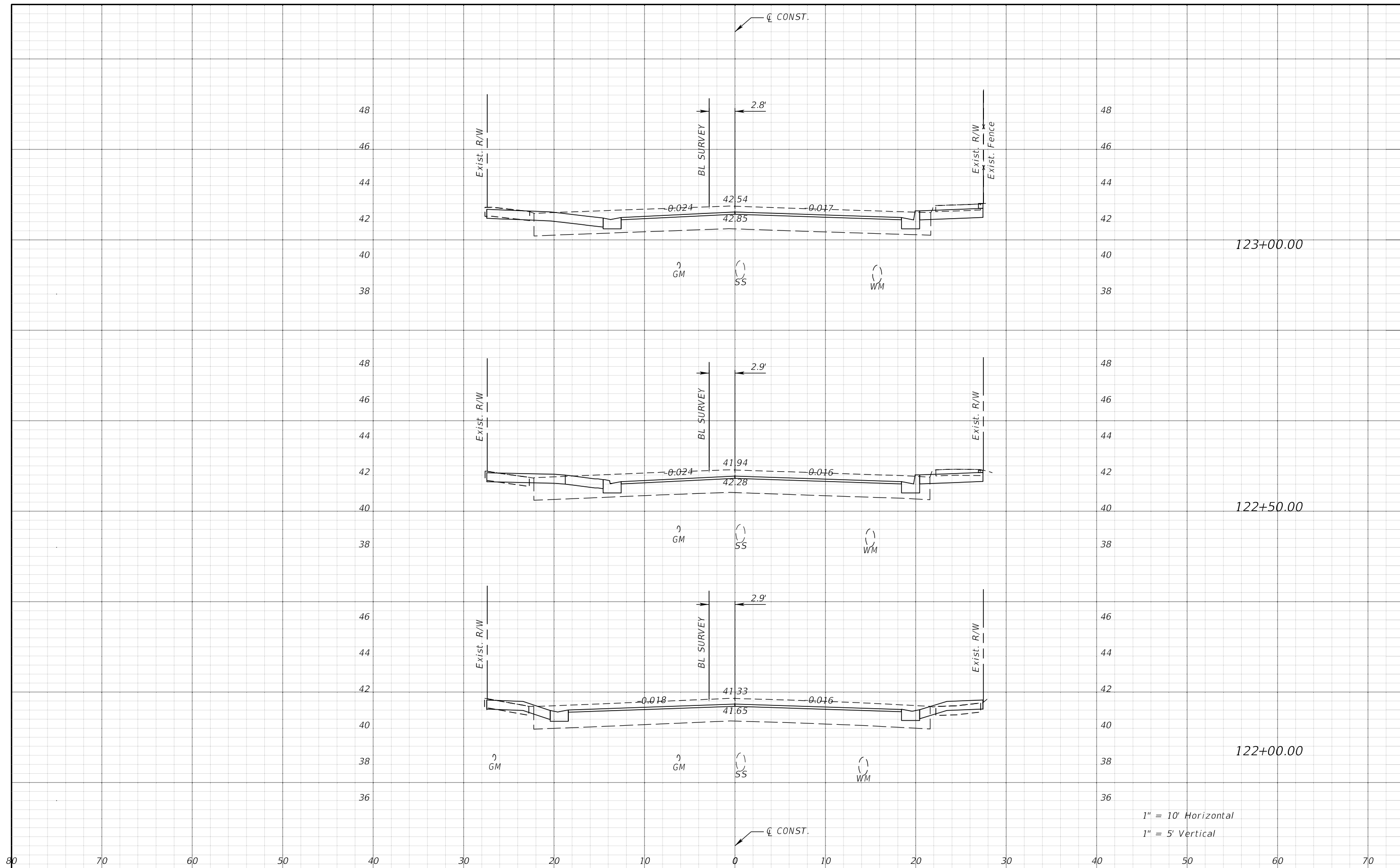
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
81



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

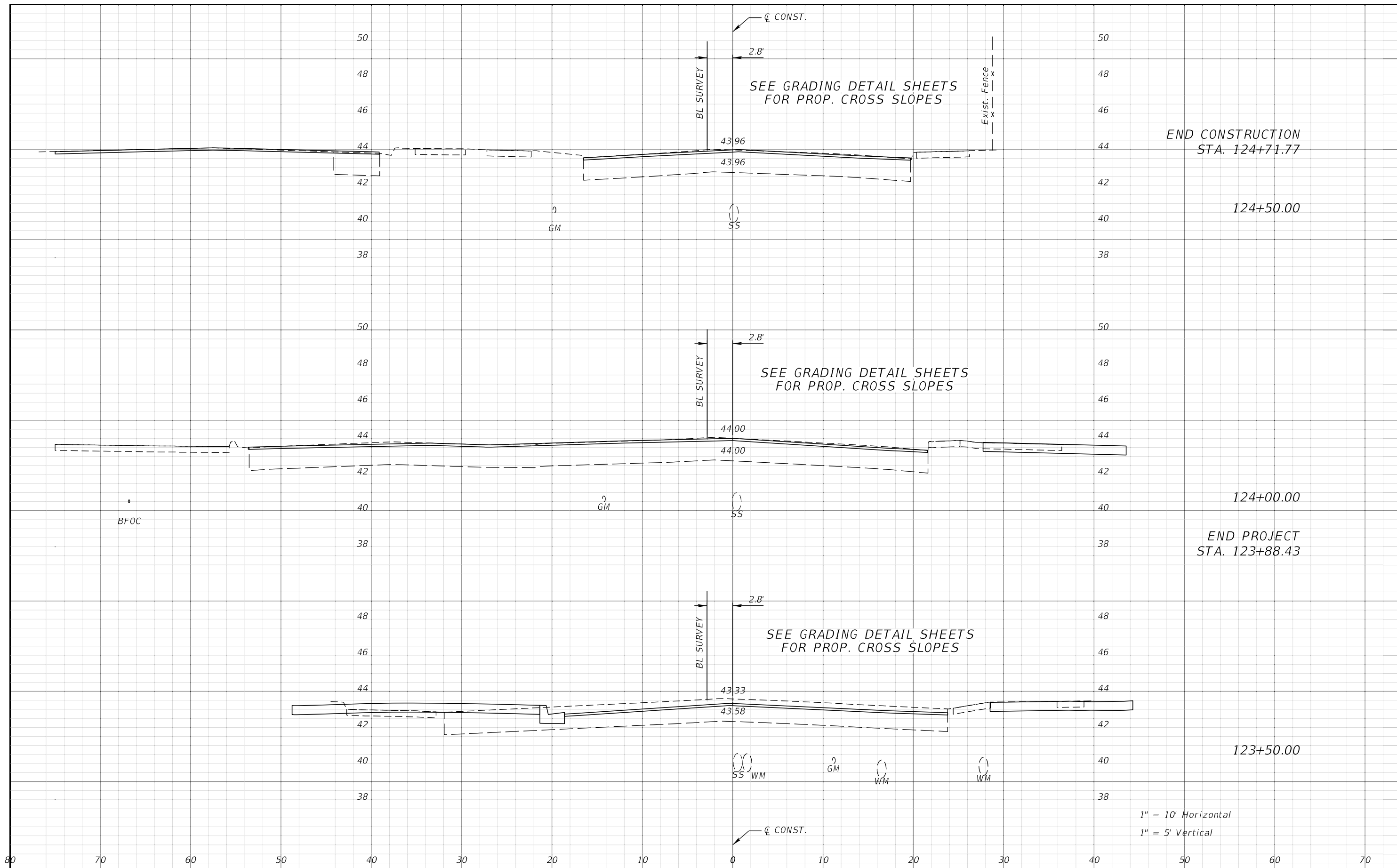
JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

CROSS SECTIONS

SHEET NO.
82

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



END CONSTRUCTION
STA. 124+71.77

124+50.00

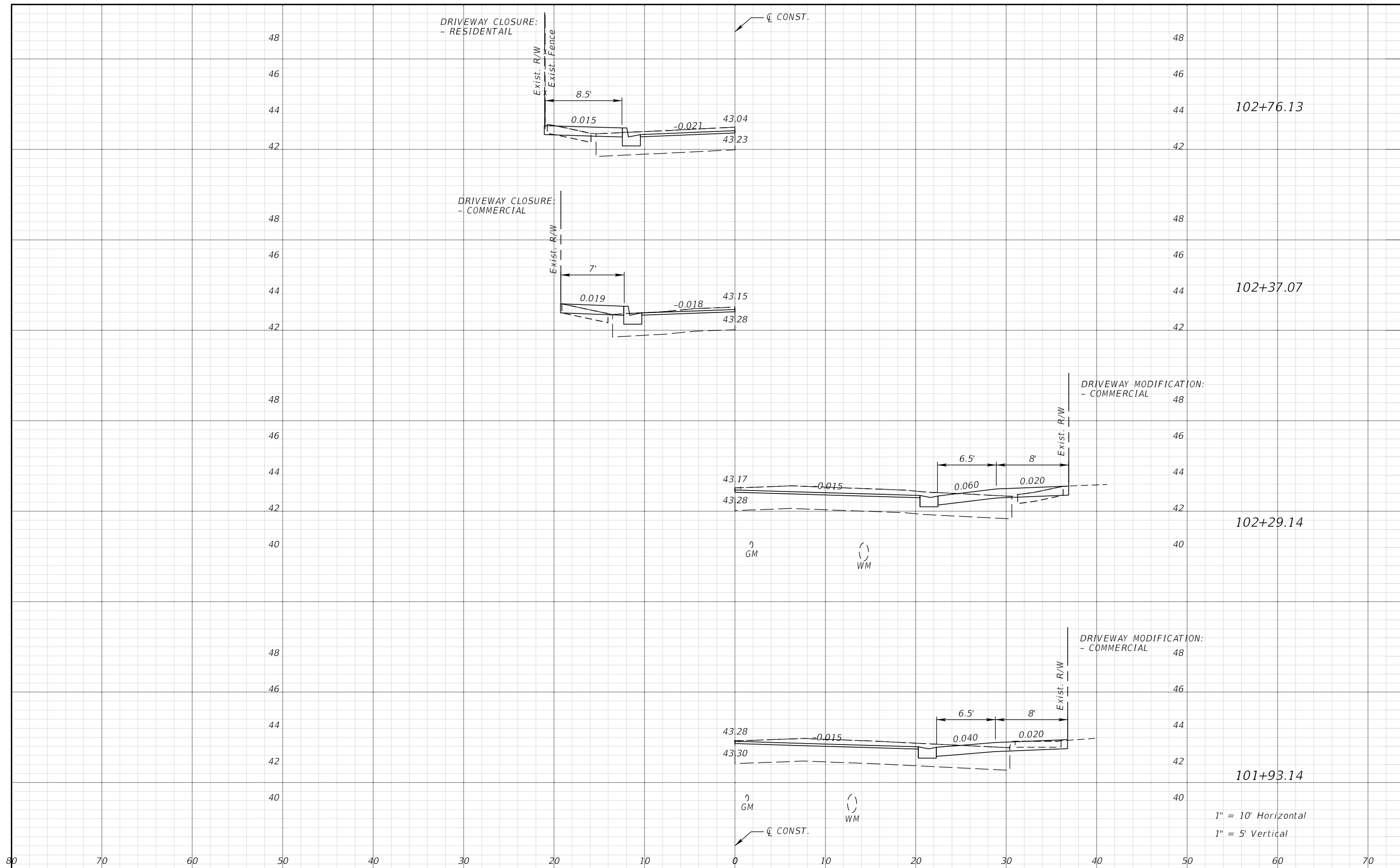
END PROJECT
STA. 123+88.43

124+00.00

123+50.00

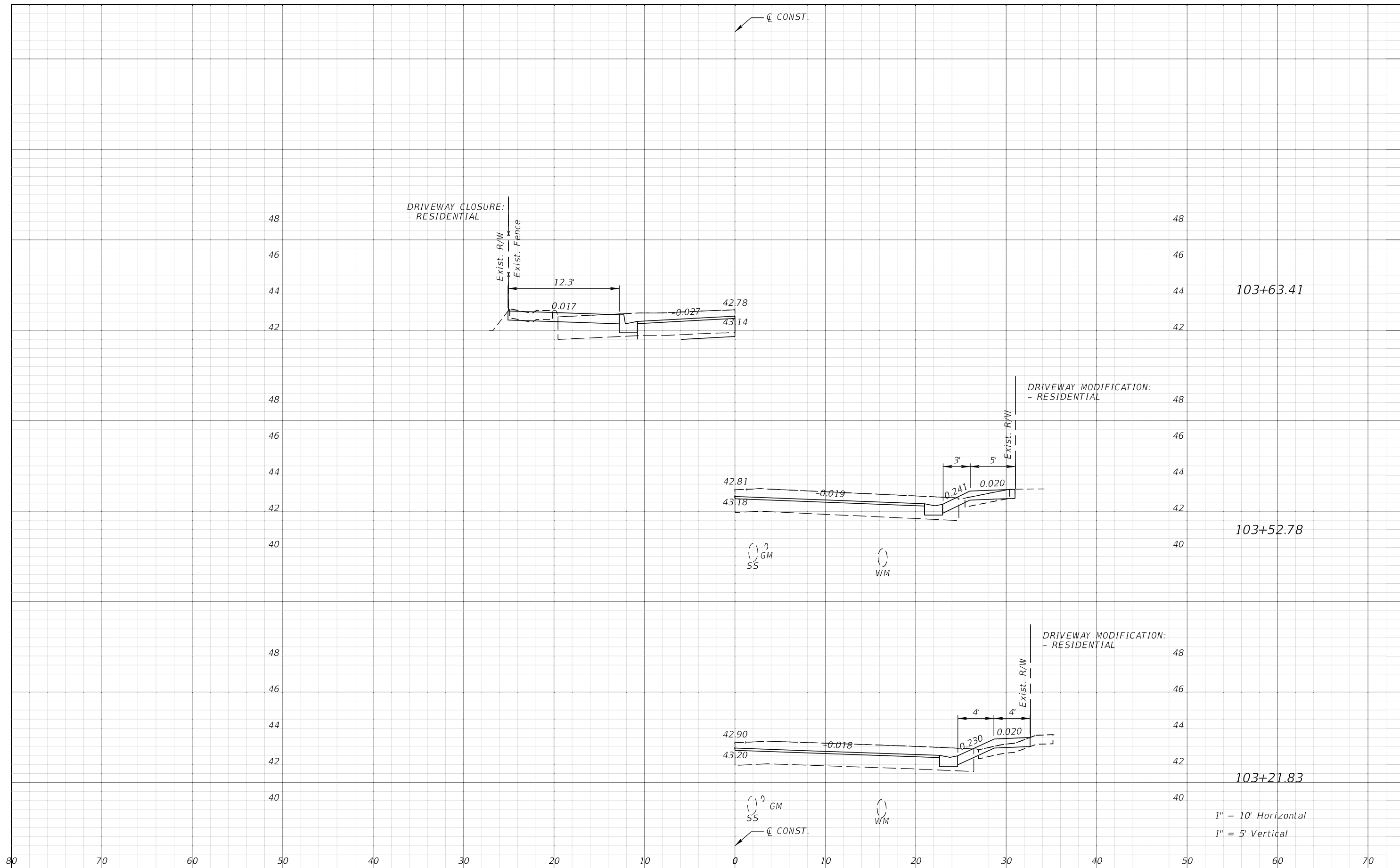
1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			CROSS SECTIONS SHEET NO. 83
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	



REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 84
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



103+63.41

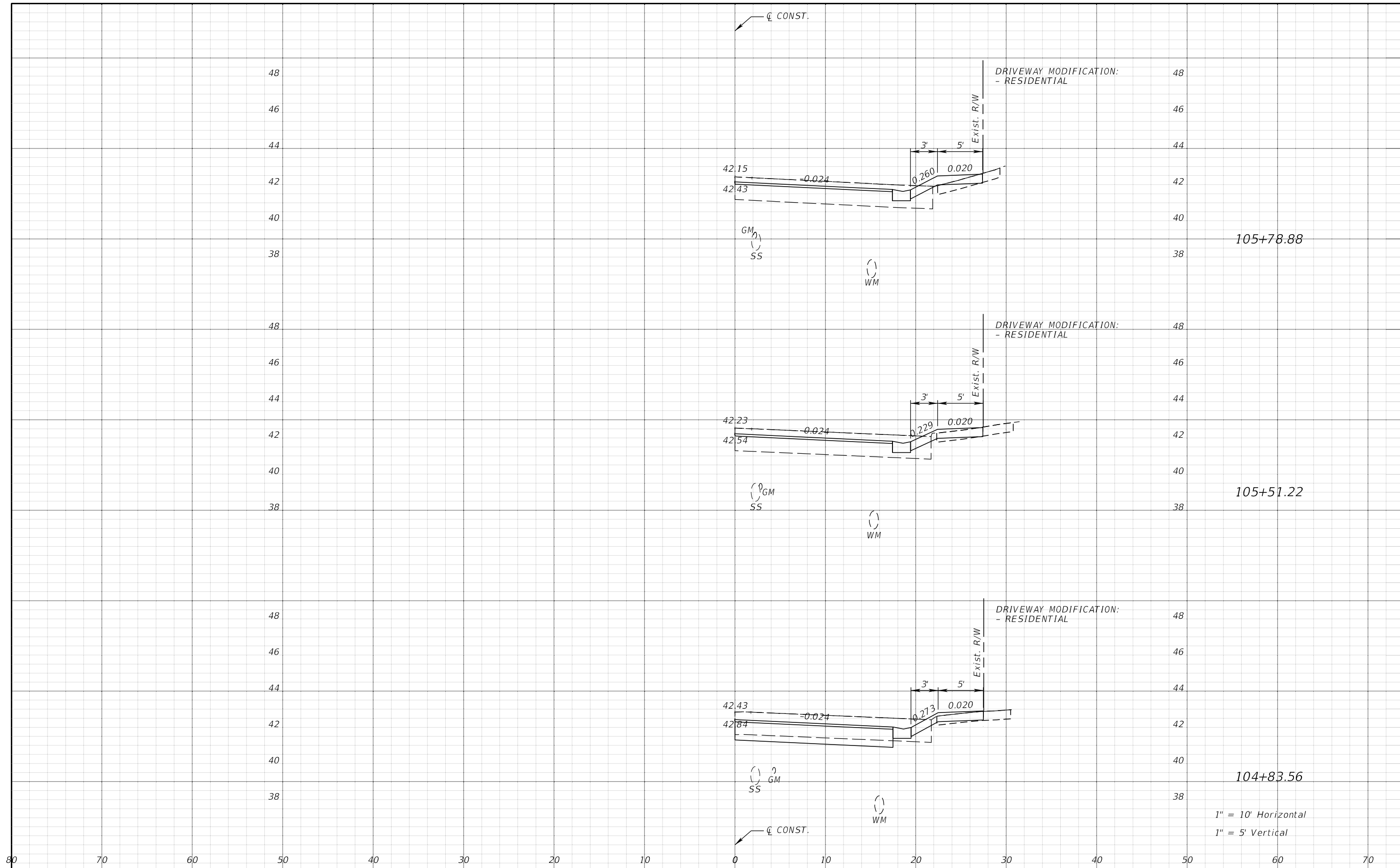
103+52.78

103+21.83

1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 85
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		

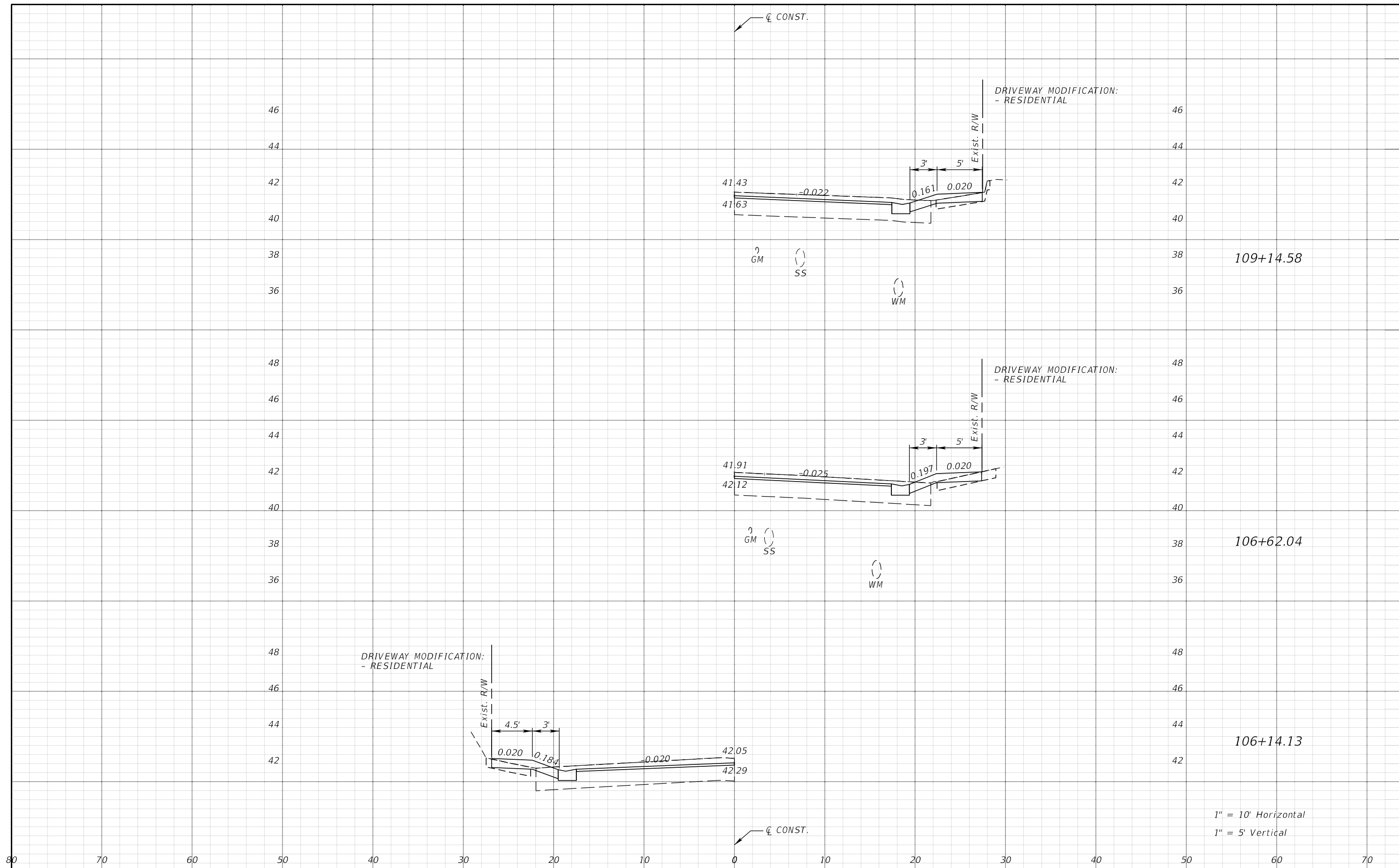
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 86
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

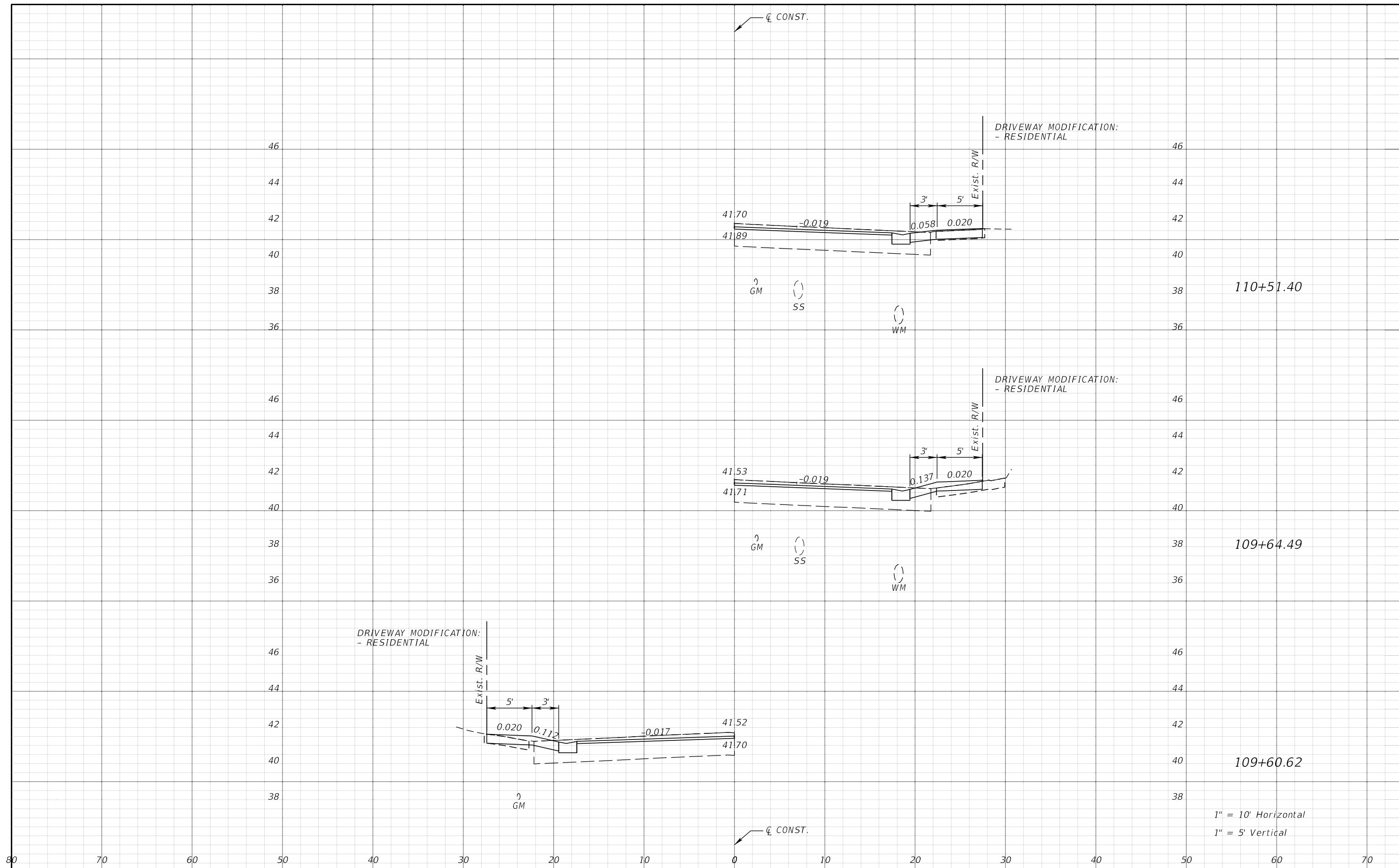
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01	87

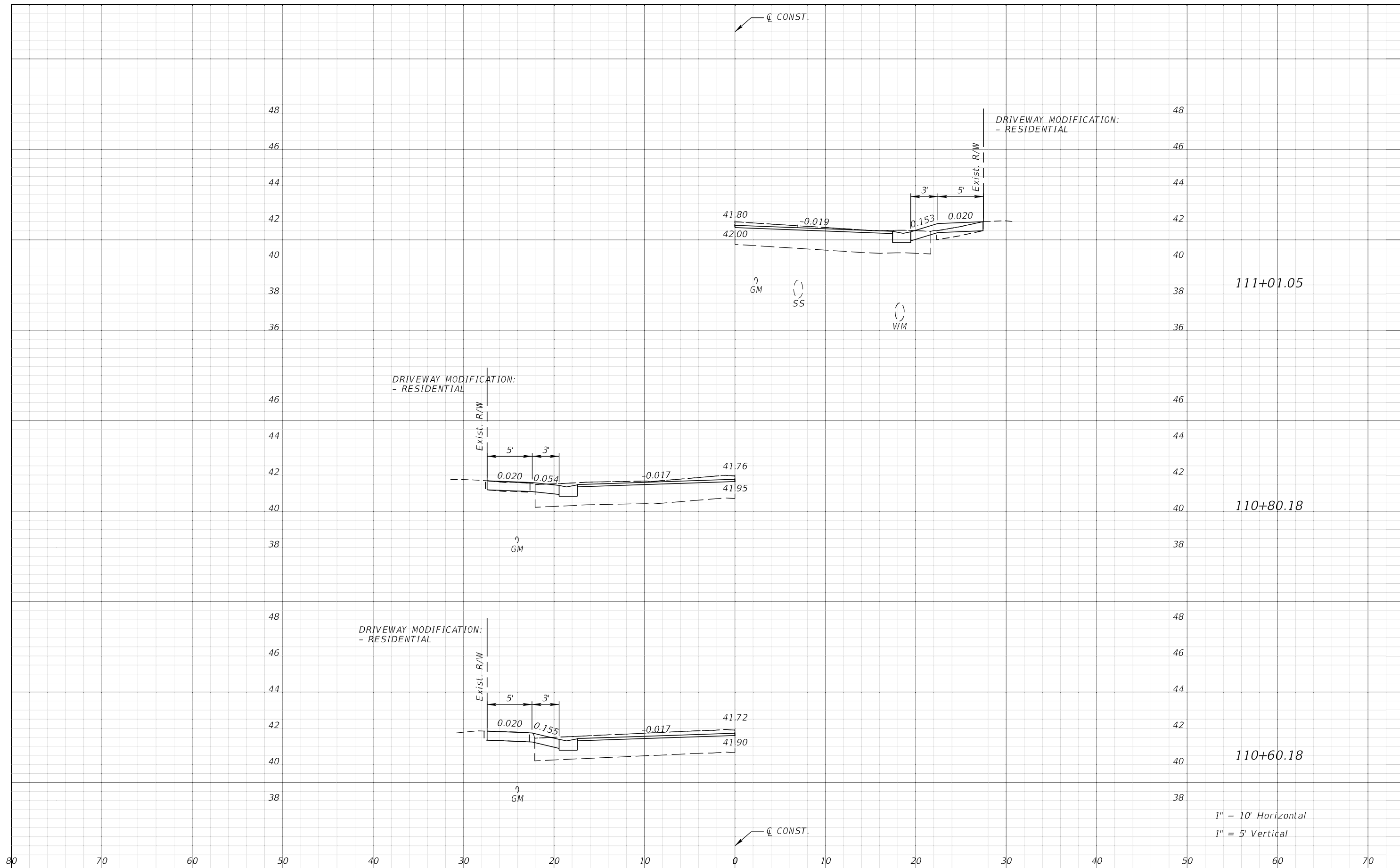
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS	SHEET NO. 88
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			



111+01.05

110+80.18

110+60.18

1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01	89

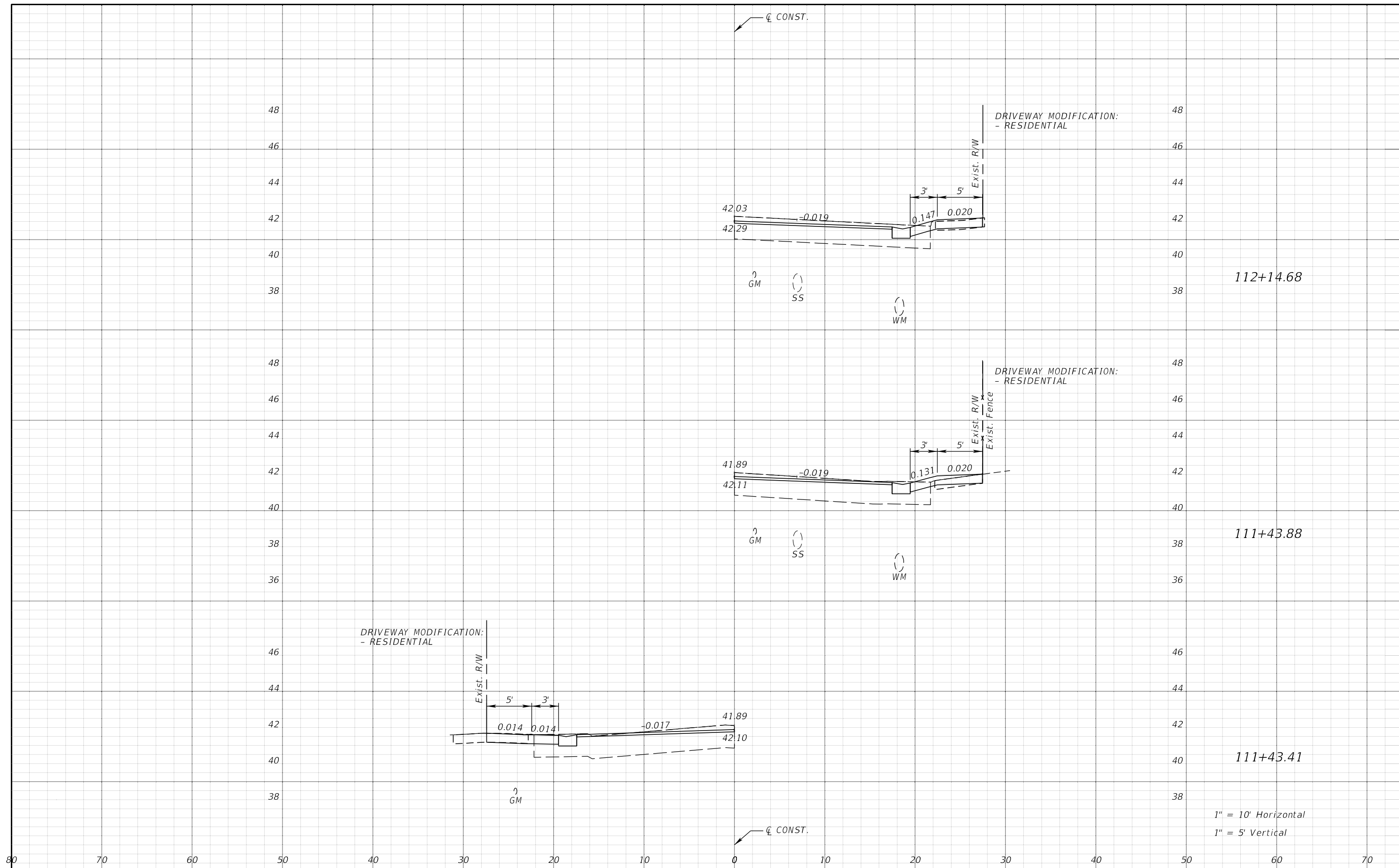
JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

3/11/2020 3:52:01 PM Rdxsrd_shg

L:\67026000 E Columbus Drive City of Tampa\43663915801\roadway\RDXSrd01_DWY.dgn

GebarinM

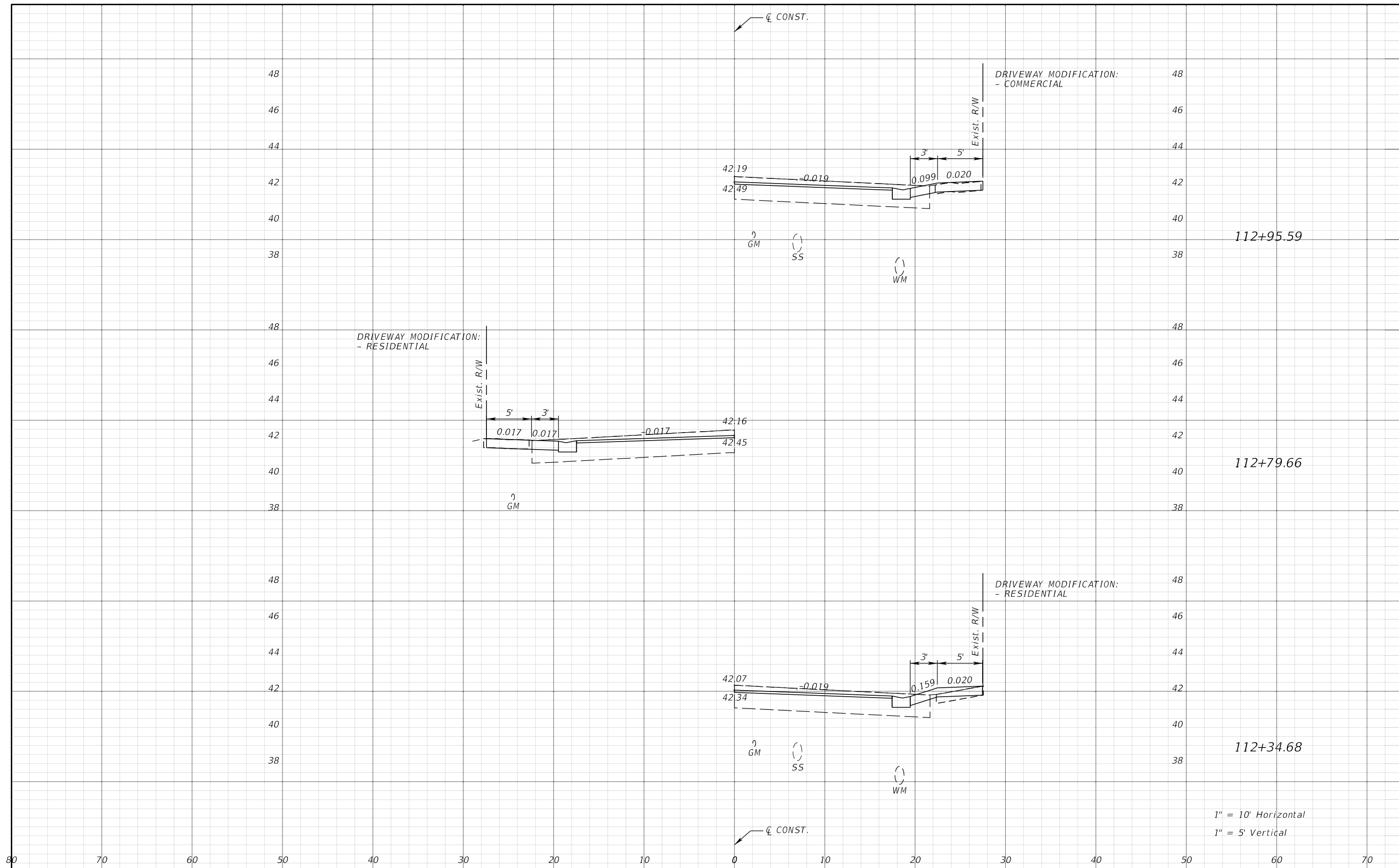
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 90
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

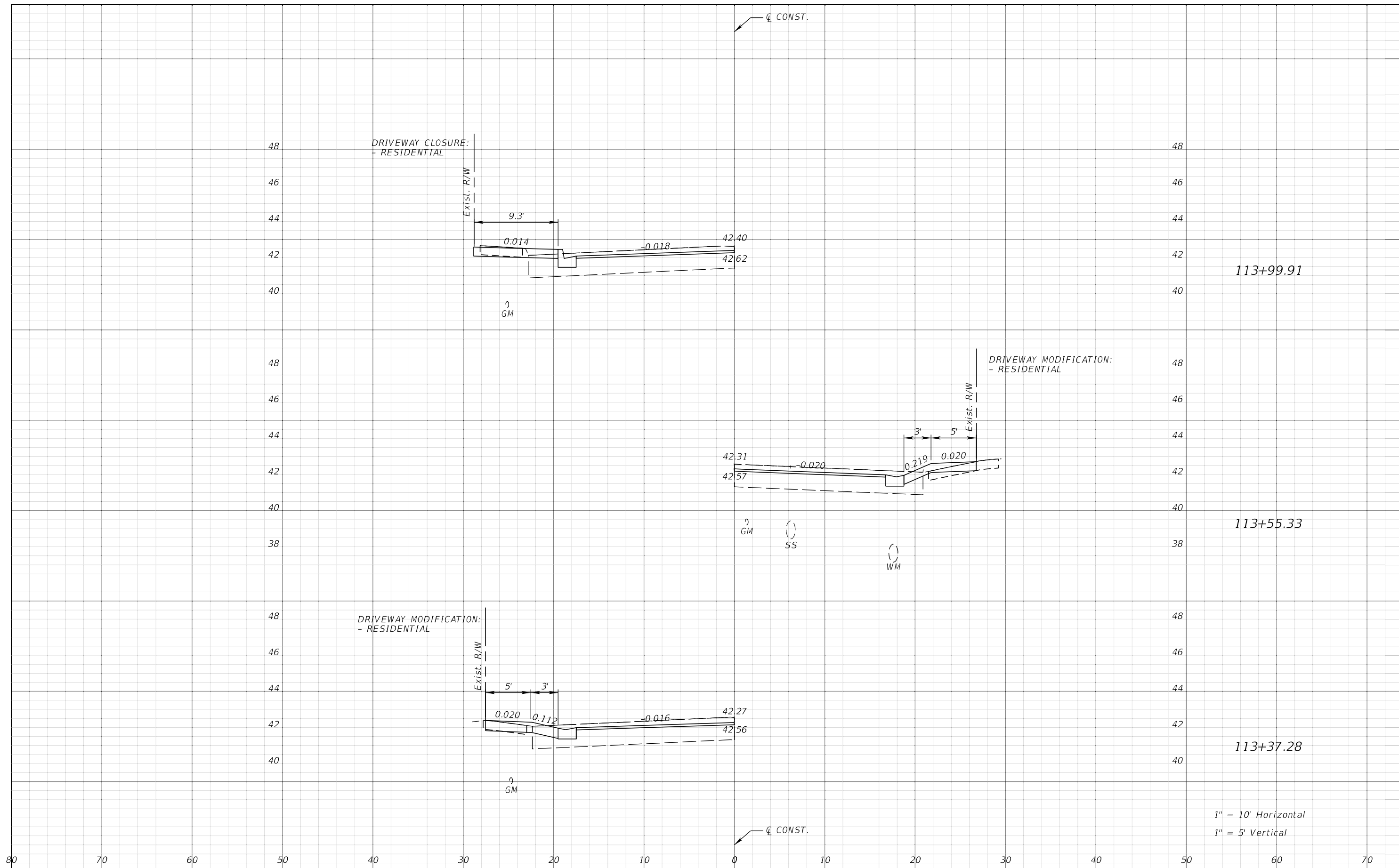
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

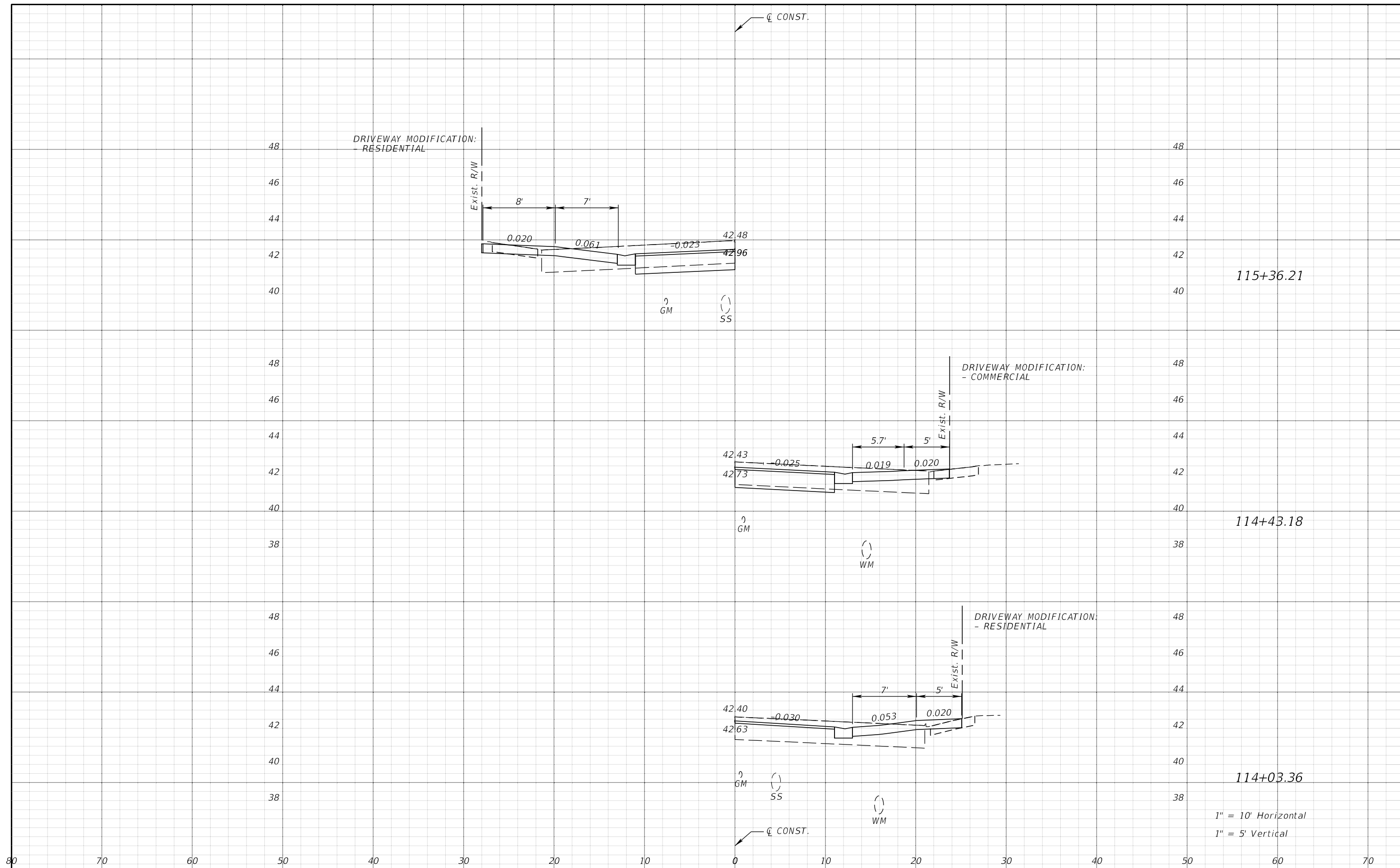
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 91
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

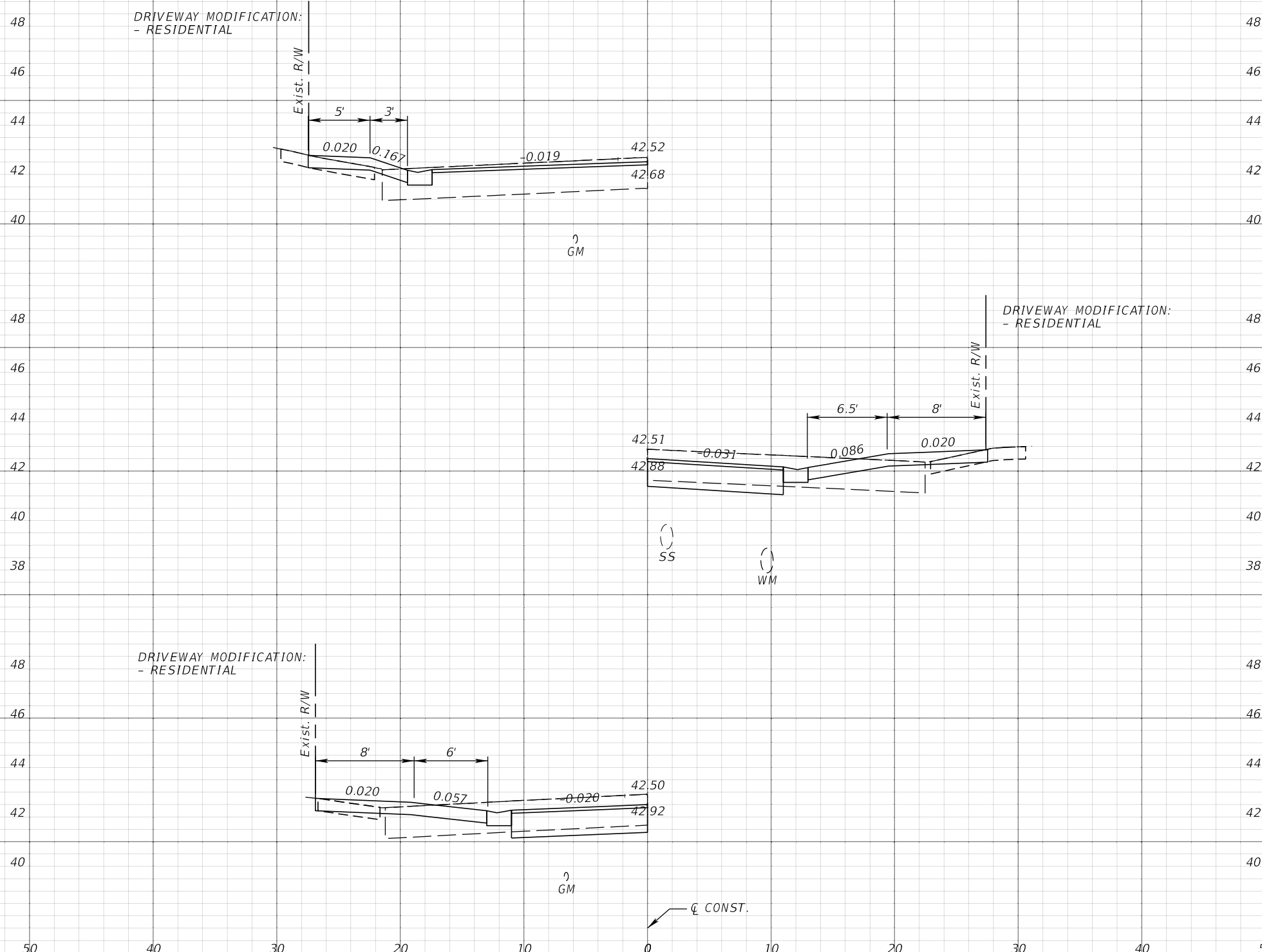
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 92
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01		



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 93
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



116+41.33

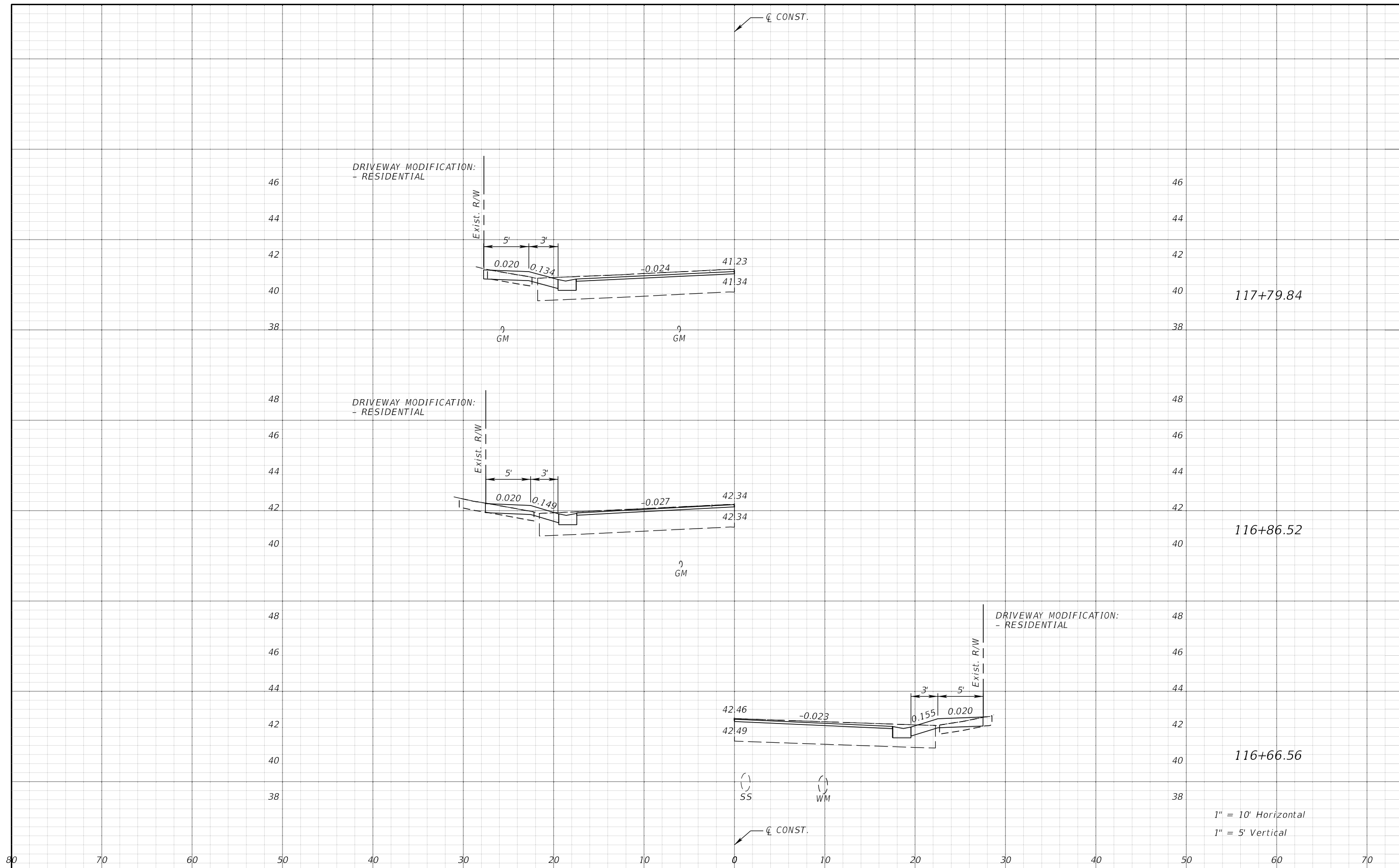
115+99.93

115+86.44

1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 94
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



117+79.84

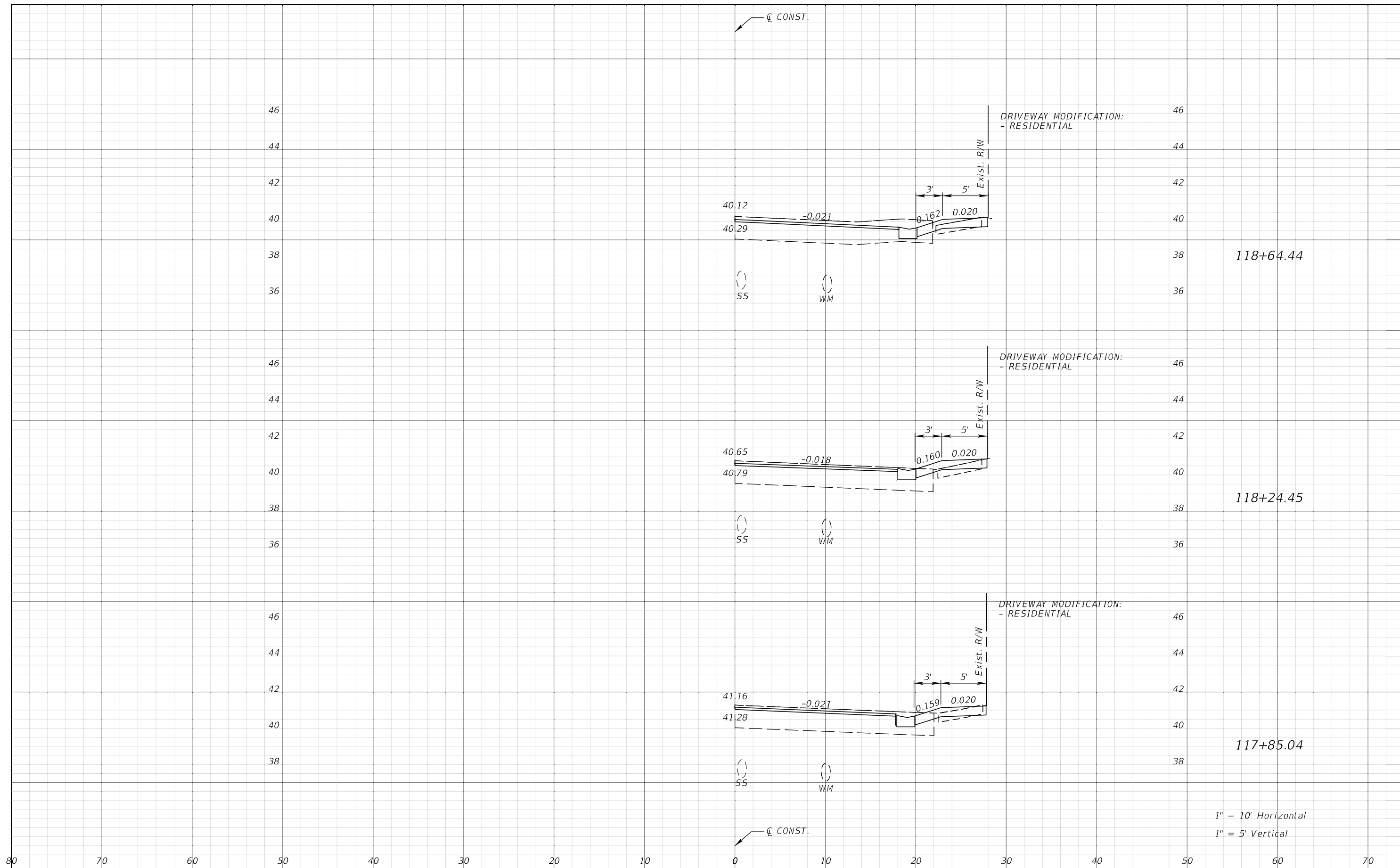
116+86.52

116+66.56

1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS	SHEET NO. 95
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



118+64.44

118+24.45

117+85.04

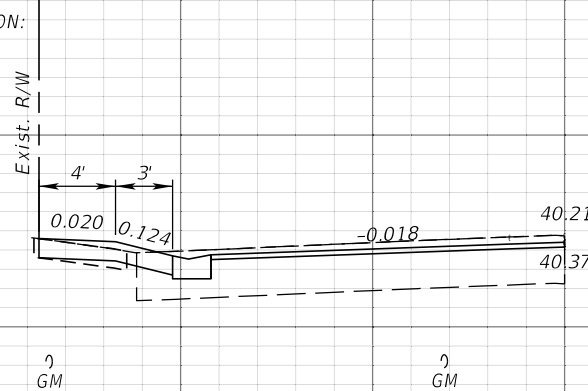
1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS	SHEET NO. 96
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

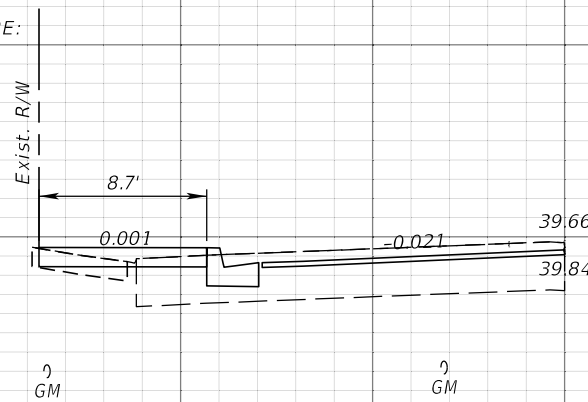
46
44
42
40
38
44
42
40
38
36
44
42
40
38
36

DRIVEWAY MODIFICATION:
- RESIDENTIAL



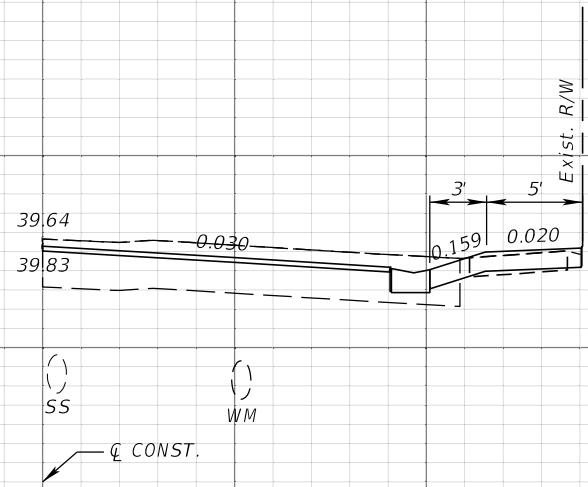
121+05.80

DRIVEWAY CLOSURE:
- RESIDENTIAL



120+60.58

DRIVEWAY MODIFICATION:
- RESIDENTIAL



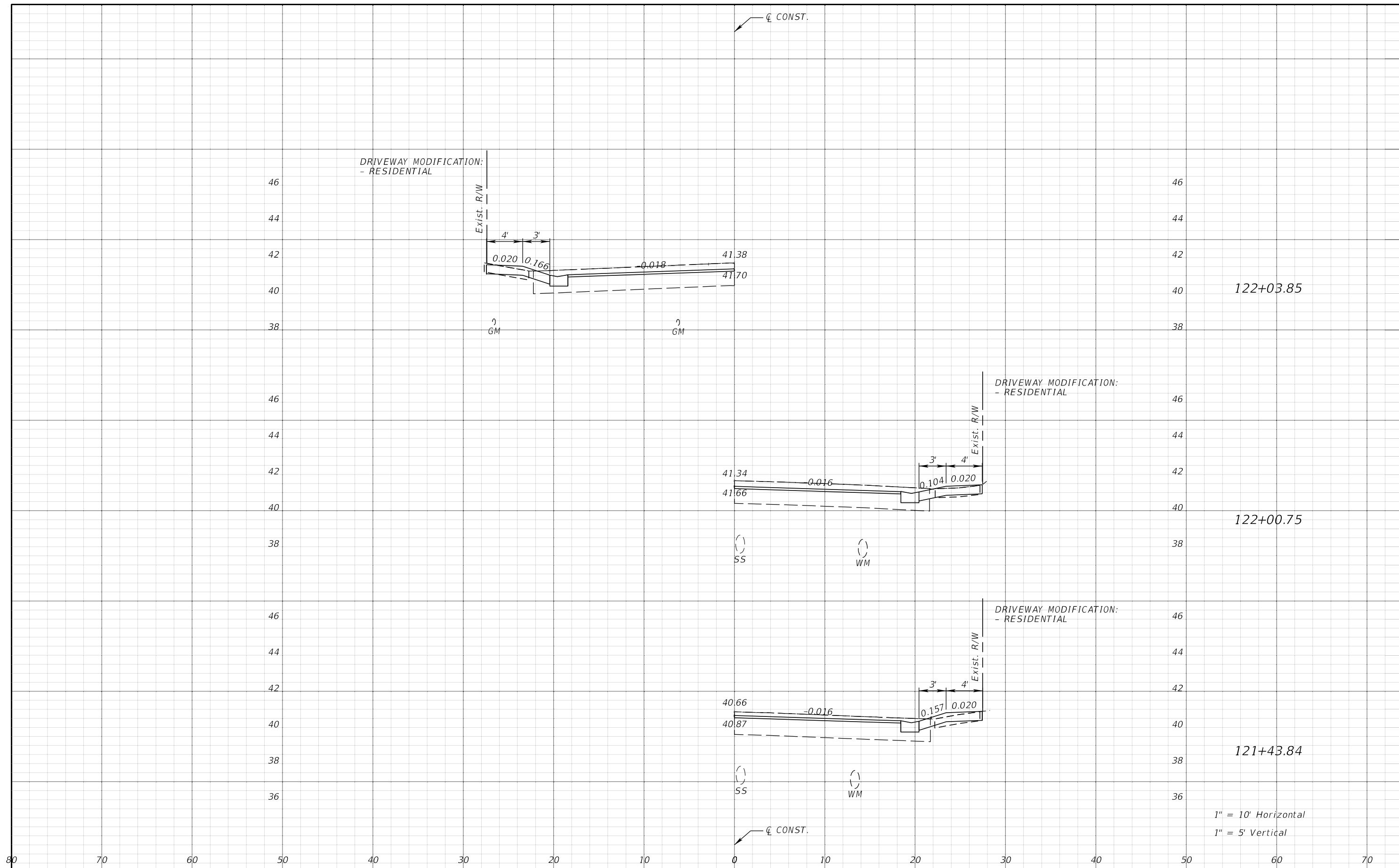
119+02.21

1" = 10' Horizontal
1" = 5' Vertical

80 70 60 50 40 30 20 10 0 10 20 30 40 50 60 70

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS	SHEET NO. 97
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

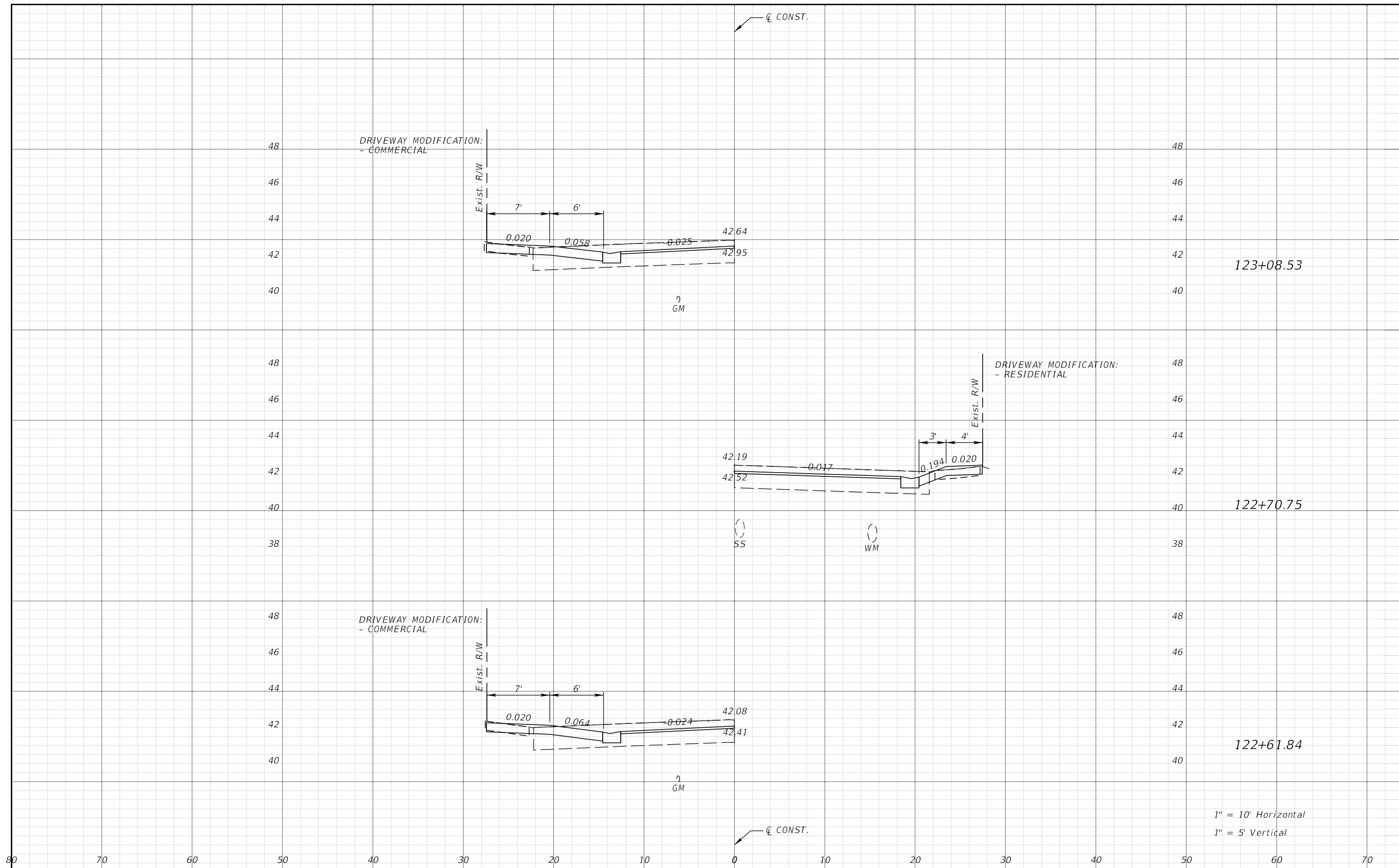
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS SHEET NO. 98
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			DRIVEWAY HALF-SECTIONS	SHEET NO. 99
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

TEMPORARY TRAFFIC CONTROL PLAN - NOTES

GENERAL

- FOR GENERAL TRAFFIC CONTROL ZONE REQUIREMENTS AND ADDITIONAL INFORMATION, REFER TO STANDARD PLANS INDEX, 102-600 SERIES. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH INDEX NO. 102-600 SERIES UNLESS OTHERWISE NOTED.
- THE EXACT LOCATION OF ALL SIGNS AND BARRICADES SHALL BE DETERMINED IN THE FIELD TO MEET THE STANDARD PLANS INDEX 102-600.
- TEMPORARY REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED WITH TEMPORARY STRIPING IN ACCORDANCE WITH INDEXES 102-600 AND 706-001.
- ALL EXISTING PAVEMENT MARKINGS OUTSIDE OF THE CONSTRUCTION LIMITS THAT ARE REMOVED FOR TRAFFIC CONTROL PURPOSES ARE TO BE REPLACED IN-KIND UPON COMPLETION OF THE TRAFFIC CONTROL PURPOSE WHICH CAUSED ITS REMOVAL.
- THROUGHOUT THE MILLING & RESURFACING OPERATIONS, USE A SELF-CONTAINED VACUUM TYPE MOBILE BROOM, OR EQUIVALENT, FOR CLEANUP OF MILLED DUST MATERIAL.
- ENSURE THAT STREET NAME SIGNS ARE VISIBLE TO FACILITATE EMERGENCY VEHICLE TRAFFIC.
- THERE WILL BE NO PAVEMENT MARKING ERADICATION PERMITTED AFTER THE FINAL ASPHALT COURSE IS PLACED. ANY EXISTING ROADWAYS THAT HAVE TEMPORARY STRIPING ERADICATED SHALL HAVE THE FULL WIDTH OF THE EXISTING TOP PAVEMENT COURSE MILLED AND RESURFACED PRIOR TO FINAL ACCEPTANCE.

PEDESTRIANS

- PEDESTRIAN FACILITIES SHALL BE MAINTAINED AND SHALL CONFORM TO ADA REQUIREMENTS.
- THROUGHOUT THE PROJECT LIMITS WHERE SIDEWALKS CURRENTLY EXIST, PEDESTRIAN TRAFFIC SHALL BE MAINTAINED ON AT LEAST ONE SIDE OF EACH ROADWAY ON THE PROJECT AT ALL TIMES, USING 102-660. THE SIDEWALK TRAVEL WAY SHALL BE A MINIMUM OF 4-FT WIDE, WITH A PAVED SURFACE, RAMPED AS PER INDEX 522-002. TEMPORARY ASPHALT MAY BE USED FOR THE PAVED SURFACE AND SHALL BE PAID FOR UNDER LUMP SUM MAINTENANCE OF TRAFFIC, PAY ITEM 102-1. ENSURE THAT A SAFE AND UNOBSTRUCTED ROUTE EXISTS FOR PEDESTRIANS, INCLUDING AT BUS STOP LOCATIONS. REFER TO STANDARD PLANS INDEX 102-660.
- ASPHALT MILLINGS ARE NOT ALLOWED FOR TEMPORARY SIDEWALK.

SIGNALS, SIGNING & MARKING

- ALL EXISTING WARNING, GUIDE, AND REGULATORY SIGNS SHALL BE MAINTAINED AT ALL TIMES. SIGNS SHALL BE RELOCATED, REMOVED OR COVERED FOR EACH PHASE'S TRAFFIC PATTERN.
- ALL EXISTING TRAFFIC SIGNALS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. IN CASES WHERE THE SIGNAL IS TO BE REMOVED IN THE FINAL PLANS, THE SIGNAL SHALL BE MAINTAINED UNTIL THE INTERSECTION IS IN ITS FINAL CONFIGURATION AS SHOWN IN THE TRAFFIC CONTROL PLANS.
- ALL EXISTING SIGNS TO REMAIN, UNLESS NOTED OTHERWISE.

LANE CLOSURES / DETOURS

- IN ACCORDANCE WITH FDOT SPECIFICATION 8-8.4, SPECIAL EVENT DAYS FOR THIS PROJECT INCLUDE:
 - ALL EVENTS AT THE AMALIE ARENA WITH AN ANTICIPATED CROWD OF 15,000 ATTENDEES OR HIGHER
 - ALL EVENTS IN DOWNTOWN TAMPA OR BAYSHORE BLVD (TAMPA) WITH AN ANTICIPATED CROWD OF 20,000 ATTENDEES OR HIGHER
 - ALL EVENTS IN YBOR CITY OR WITH AN ANTICIPATED CROWD OF 20,000 ATTENDEES OR HIGHER

NO DETOUR SHALL BE ACTIVE DURING ANY OF THESE LISTED EVENTS.
- PLACE A PCMS 7 DAYS IN ADVANCE OF ANY CLOSURES, TRAFFIC SHIFTS, OR DETOUR NOTIFYING THE PUBLIC OF THE UPCOMING EVENT.

MESSAGE 1: ROADWORK
COLUMBUS

MESSAGE 2: BEGIN
MM/DD

- COORDINATE ALL WORK, ALL LANE CLOSURES, AND ALL TEMPORARY TRAFFIC CONTROL WITH ANY OTHER PROJECTS IN THE VICINITY.
- THE DETOURS ILLUSTRATED IN THE DETOUR SHEETS SHOULD BE APPLIED IN ALL INSTANCES.
- ACCESSABILITY TO LOCAL TRAFFIC TO BE MAINTAINED AT ALL TIMES.
- TRAFFIC SHIFT SET UPS AND BREAK DOWNS, ROADWAY STRIPING AND MARKING SHALL BE DONE DURING THE NIGHT HOURS OF 9 PM TO 6 AM.
- NO LANE CLOSURES ALLOWED ON NEBRASKA AVENUE FROM 6 AM TO 9:30 PM.

TTCP GENERAL NOTES

PHASE 1 - MILL ALONG E COLUMBUS DR FROM N NEBRASKA AVE TO N 14TH ST

THE INTENT OF THIS PHASE IS TO SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE EXISTING EASTBOUND LANE. THIS WILL ALLOW FOR MILLING OF THE WESTBOUND LANE. AFTERWARDS SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE NEWLY MILLED WESTBOUND LANE. THIS WILL ALLOW FOR MILLING OF THE EASTBOUND LANE. REPEAT THIS PROCESS UNTIL EXISTING ASPHALT HAS BEEN MILLED 1.5" BELOW FINAL SURFACE GRADE. PLACE TEMPORARY PAVEMENT IN AREAS OF EXPOSED EXISTING BASE.

- INSTALL TRAFFIC CONTROL DEVICES AND SIGNING IN ACCORDANCE WITH STANDARD PLAN INDICES 102-603 AND 102-605.
- MILL EXISTING OVERLAYED ASPHALT AT 1.5" INCREMENTS UNTIL EXISTING PAVEMENT IS 1.5" BELOW FINAL SURFACE GRADE.

CONCURRENT WORK:

- INSTALL EROSION CONTROL DEVICES.

PHASE 2 - RECONSTRUCTION ALONG E COLUMBUS DR FROM N NEBRASKA AVE TO N 14TH ST

THE INTENT OF THIS PHASE IS TO SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE EXISTING EASTBOUND LANE. THIS WILL ALLOW FOR RECONSTRUCTION OF THE WESTBOUND LANE. AFTERWARDS SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE NEWLY RECONSTRUCTED WESTBOUND LANE. THIS WILL ALLOW FOR RECONSTRUCTION OF THE EASTBOUND LANE. IN AREAS WHERE PROPOSED CURB AND SIDEWALK WILL BE INSTALLED, USE TEMPORARY PAVEMENT UNTIL PHASE 3 IS COMPLETED.

- INSTALL TRAFFIC CONTROL DEVICES AND SIGNING IN ACCORDANCE WITH STANDARD PLAN INDICES 102-603 AND 102-605.
- INSTALL LOW PROFILE BARRIERS PER STANDARD PLAN INDEX 102-120.

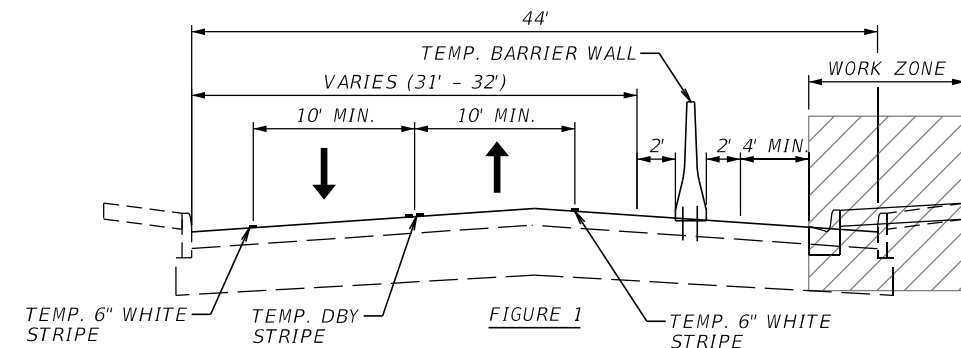
PHASE 3 - SIDEWALK CONSTRUCTION ALONG E COLUMBUS DR FROM N NEBRASKA AVE TO N 14TH ST

THE INTENT OF THIS PHASE IS TO SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE NEWLY MILLED EASTBOUND LANE. THIS WILL ALLOW FOR THE INSTALLATION OF TEMPORARY BARRIER WALLS (SEE FIGURE 1 BELOW) TO ACCOMMODATE PEDESTRIAN ACCESS DURING THE CONSTRUCTION OF NEW SIDEWALK AND CURB AND GUTTER. AFTERWARDS SHIFT THE EASTBOUND AND WESTBOUND TRAFFIC TO THE EASTBOUND LANE. THIS WILL ALLOW FOR THE CONSTRUCTION OF NEW SIDEWALK AND CURB AND GUTTER ALONG THE NORTH SIDE OF THE ROADWAY. MAINTAIN PEDESTRIAN ACCESS AND HART BUS STOP LOCATIONS AT ALL TIMES.

- INSTALL TRAFFIC CONTROL DEVICES AND SIGNING IN ACCORDANCE WITH STANDARD PLAN INDICES 102-603 AND 102-605.
- CONSTRUCT CURB & GUTTER, SIGNALIZATION, SIGNING, AND DRAINAGE IMPROVEMENTS WITHIN WORK ZONE.

CONCURRENT WORK:

- SIGN CONSTRUCTION.



PHASE 4 - RESURFACE ALONG E COLUMBUS DRIVE FROM NEBRASKA AVE TO N 14TH ST

THE INTENT OF THIS PHASE IS TO SHIFT EASTBOUND AND WESTBOUND TRAFFIC TO THE EXISTING EASTBOUND LANE. THIS WILL ALLOW FOR FINAL RESURFACING OF THE WESTBOUND LANE. AFTERWARDS SHIFT NORTHBOUND AND SOUTHBOUND TRAFFIC TO THE NEWLY RESURFACED WESTBOUND LANE. THIS WILL ALLOW FOR FINAL RESURFACING OF THE EASTBOUND LANE.

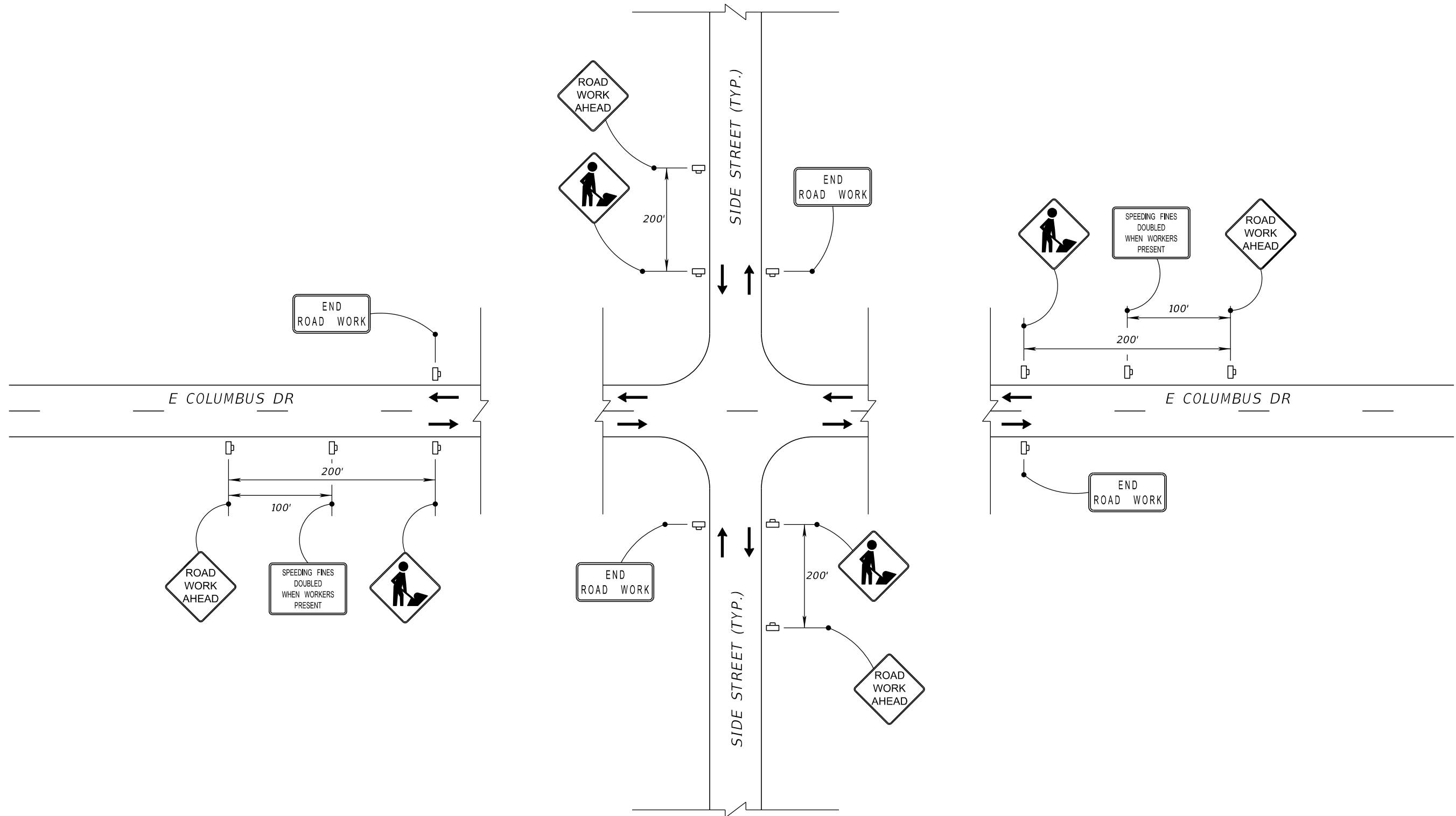
- INSTALL TRAFFIC CONTROL DEVICES, CONFIGURE ONE-LANE TWO-WAY SETUP, AND SIGNING IN ACCORDANCE WITH STANDARD PLAN INDEX 102-603 AND 102-605.
- RESURFACE TO PROPOSED PROFILE GRADE LINE AND CROSS SLOPES.
- INSTALL PAINTED PAVEMENT MARKINGS AS SHOWN IN THE SIGNING AND PAVEMENT MARKING PLANS.

CONCURRENT WORK:

- CONSTRUCT CONCRETE PATTERNED CROSSWALKS.

TTCP PHASING NOTES

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			TEMPORARY TRAFFIC CONTROL PLANS (1)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		100
					1001221	HILLSBOROUGH	436639-1-58-01		



N 46TH ST ADVANCE WARNING LAYOUT DETAIL
N.T.S.

LEGEND	
	LANE IDENTIFICATION AND DIRECTION OF TRAFFIC
	WORK ZONE SIGN

**ADVANCE WARNING
DETAIL LAYOUT**

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

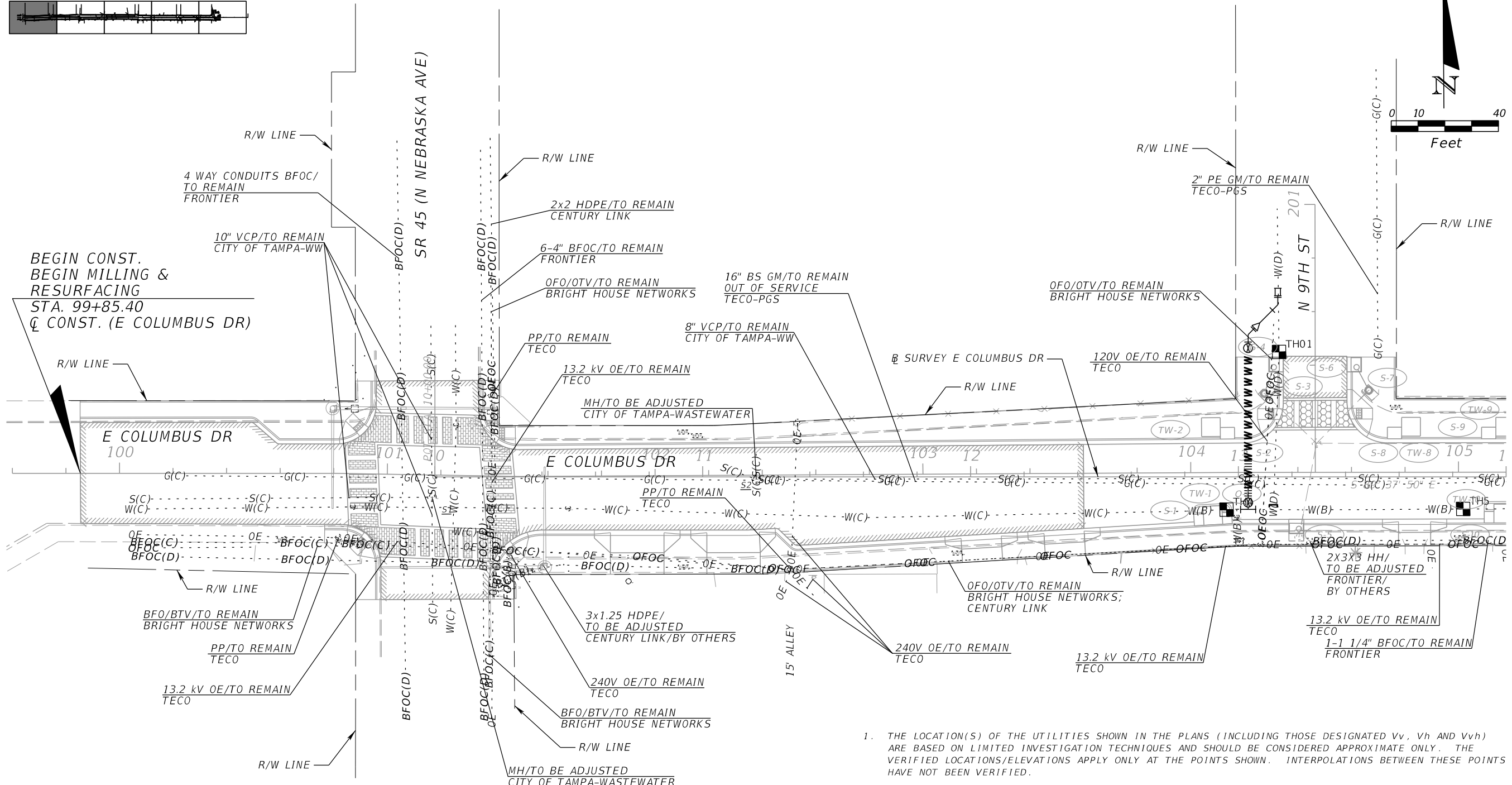
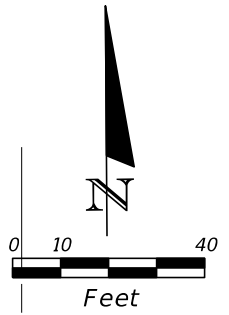
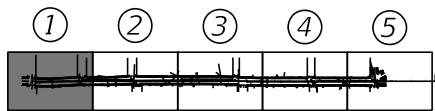
CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

**TEMPORARY TRAFFIC
CONTROL PLANS (2)**

SHEET NO.
101

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

NOTE: SEE THE UWHCA COMPONENT PLAN SET FOR ALL CITY OF TAMPA - WATER EXISTING AND PROPOSED UTILITY DISPOSITIONS.



- THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS (INCLUDING THOSE DESIGNATED Vv, Vh AND Vvh) ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE POINTS SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
- UTILITY AGENCY OWNERS COMPANY CONTACT TELEPHONE NUMBERS EMAIL ADDRESS
 BRIGHT HOUSE NETWORKS PAUL PERRINI 813-918-5295 PAUL.PERRINI@CHARTER.COM
 CENTURY LINK XAN RYPKEMA 720-888-1089 XAN.RYPKEMA@CENTURYLINK.COM
 CITY OF TAMPA-TRAFFIC DON GILL 813-393-8499 DON.GILL@TAMPAGOV.NET
 CITY OF TAMPA-WASTEWATER RICHARD RIVERA 813-274-8957 RICHARD.RIVERA@TAMPAGOV.NET
 CITY OF TAMPA WATER RYNALDO DESHAUTEURS 813-724-7221 WATERUTILITYCOORDINATION@TAMPAGOV.NET
 FRONTIER COMMUNICATIONS RANDALL JAMES 813-892-9692 RANDALL.JAMES@FTR.COM
 HART DANIEL RODRIGUEZ 813-384-6438 RODRIGUEZD@GOHART.ORG
 TECO-ENERGY HEATHER LOVETT 813-275-3433 CSADMIN@TECOENERGY.COM
 TECO-PEOPLES GAS JAMES HAMILTON 813-275-3732 JKHAMILTON@TECOENERGY.COM
 UNITI FIBER DAVID WOODS 813-539-1180 DAVID.WOODS@UNITI.COM
- PHOTOMETRICS MEETING THE LIGHTING CRITERIA ARE BASED ON A LED LUMINAIRE MADE BY NAVION WHICH HAS 113 WATTS, 4-FOOT BRACKET ARM AND MOUNTED AT 25 FEET UNLESS NOTED OTHERWISE. THE MODEL NUMBER IS: NVN-AF-02-LED-U-SL2 WITH INDIVIDUAL PHOTOCCELL AND IS POWERED THROUGH AERIAL CONDUCTORS.

SUMMARY OF VERIFIED UTILITIES

TH#	UTILITY DESCRIPTION (Owner, Type)	SIZE	MATERIALS	E and/or C			DEPTH OF COVER	COMMENTS
				STATION	OFFSET	LT/RT		
TH01	CITY OF TAMPA-WATER MAIN	2"	CIP	104+33	45'	LT	2.04'	
TH02	TECO PEOPLES GAS-GM	6"	PE	107+97	37'	LT	7.00'	
TH03	UNKNOWN			107+90	28'	RT	12.00'	PROBED 12'-NO UTILITIES FOUND-20" CI RETIRED NOT FOUND
TH04	CITY OF TAMPA-WATER MAIN	12"	STEEL	104+13	14'	RT	4.30'	
TH05	CITY OF TAMPA-WATER MAIN	12"	STEEL	105+02	14'	RT	4.24'	
TH06	CITY OF TAMPA-WATER MAIN	12"	STEEL	106+23	14'	RT	4.20'	
TH07	CITY OF TAMPA-WATER MAIN	12"	STEEL	107+50	18'	RT	4.95'	
TH08	CITY OF TAMPA-WATER MAIN	12"	STEEL	111+08	19'	RT	3.92'	
TH09	CITY OF TAMPA-WATER MAIN	12"	STEEL	115+91	10'	RT	3.85'	

REVISIONS

DATE	DESCRIPTION	DATE	DESCRIPTION

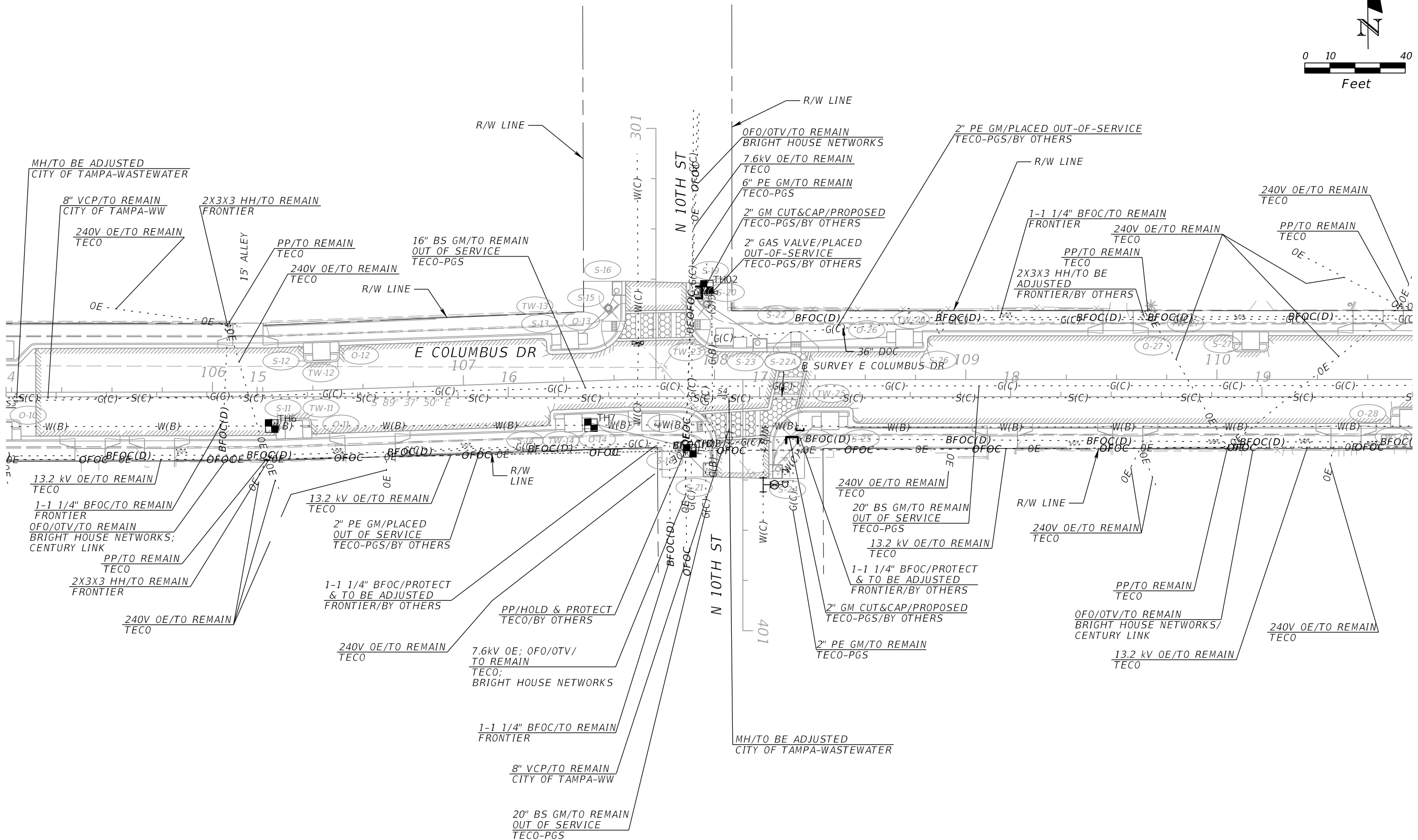
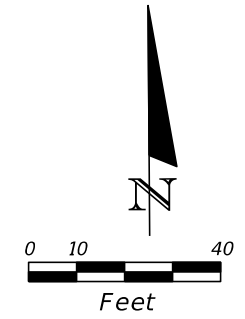
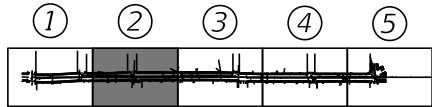
JEFFREY SIEWERT, P.E.
 P.E. LICENSE NUMBER 39196
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

UTILITY ADJUSTMENTS (1)

SHEET NO.
102

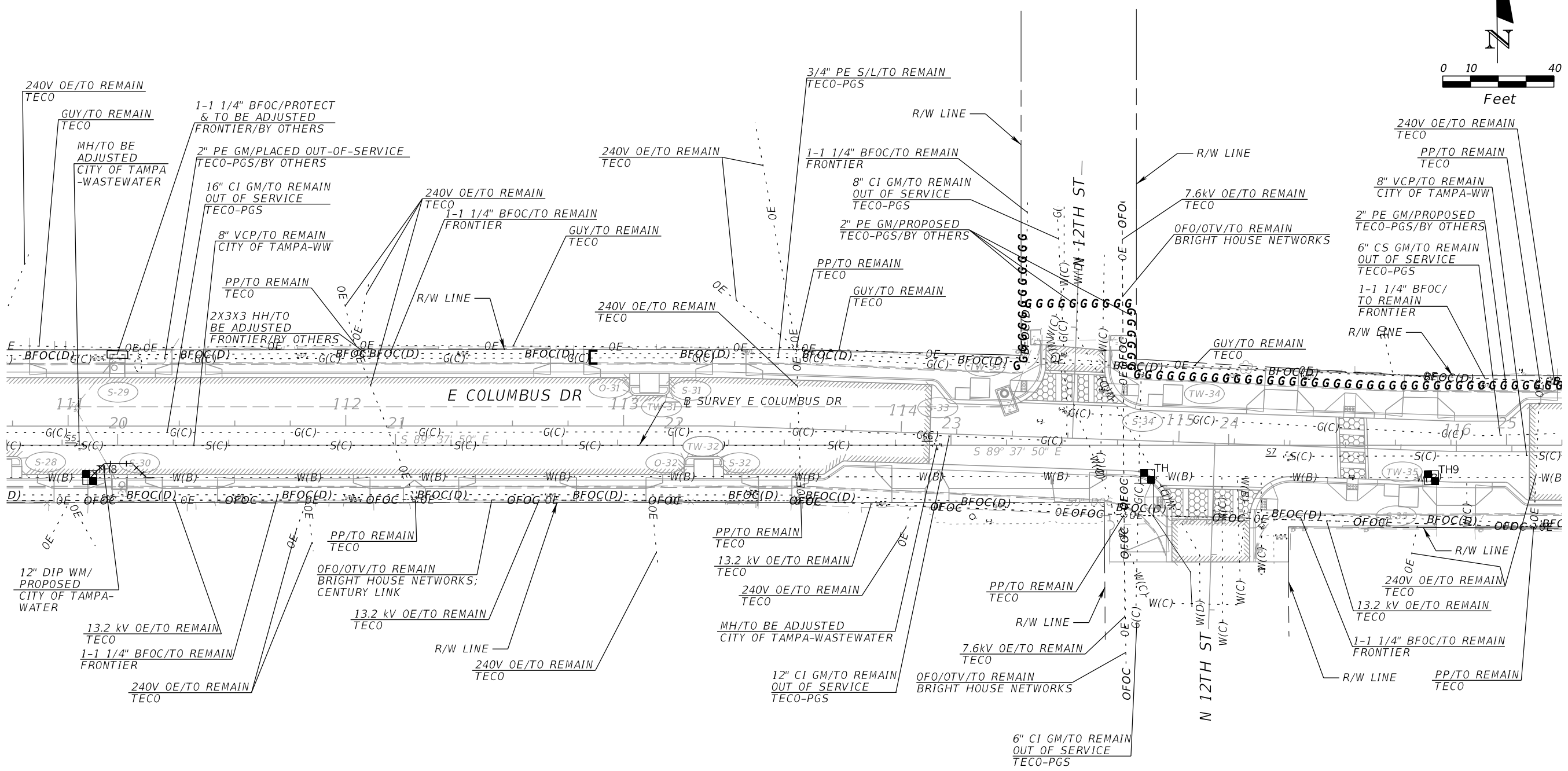
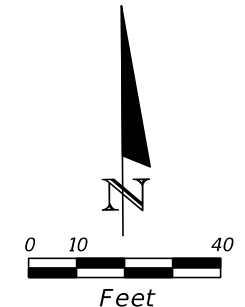
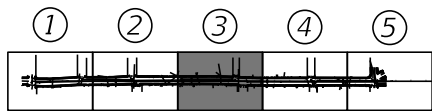
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



NOTE: SEE THE UWHCA COMPONENT PLAN SET FOR ALL CITY OF TAMPA - WATER EXISTING AND PROPOSED UTILITY DISPOSITIONS.

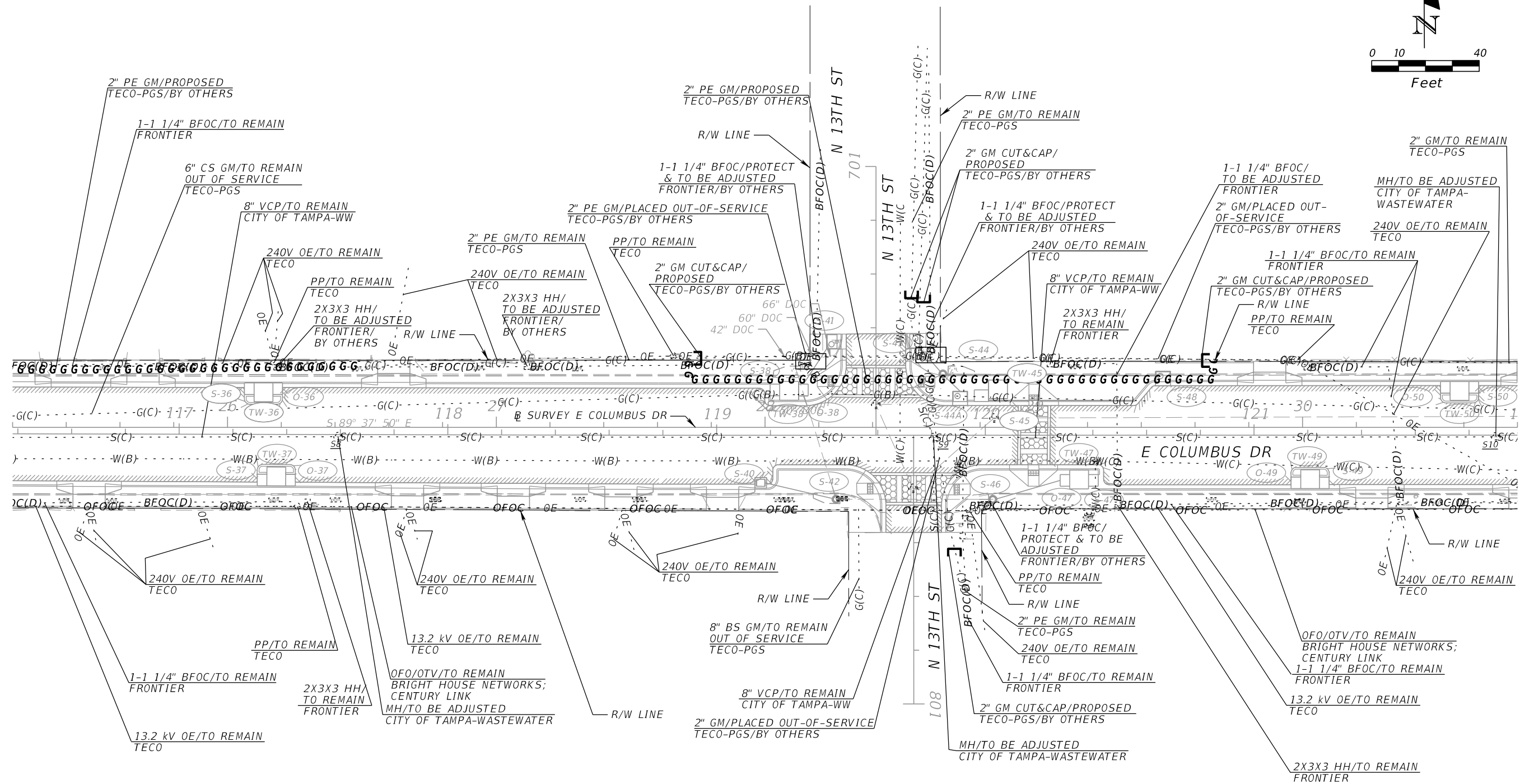
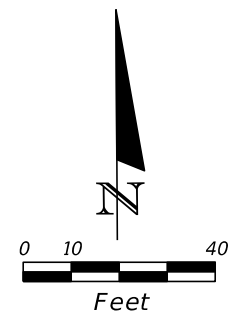
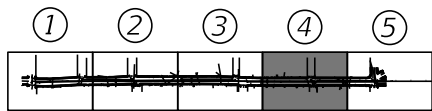
REVISIONS		REVISIONS		JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 103
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



NOTE: SEE THE UWHCA COMPONENT PLAN SET FOR ALL CITY OF TAMPA - WATER EXISTING AND PROPOSED UTILITY DISPOSITIONS.

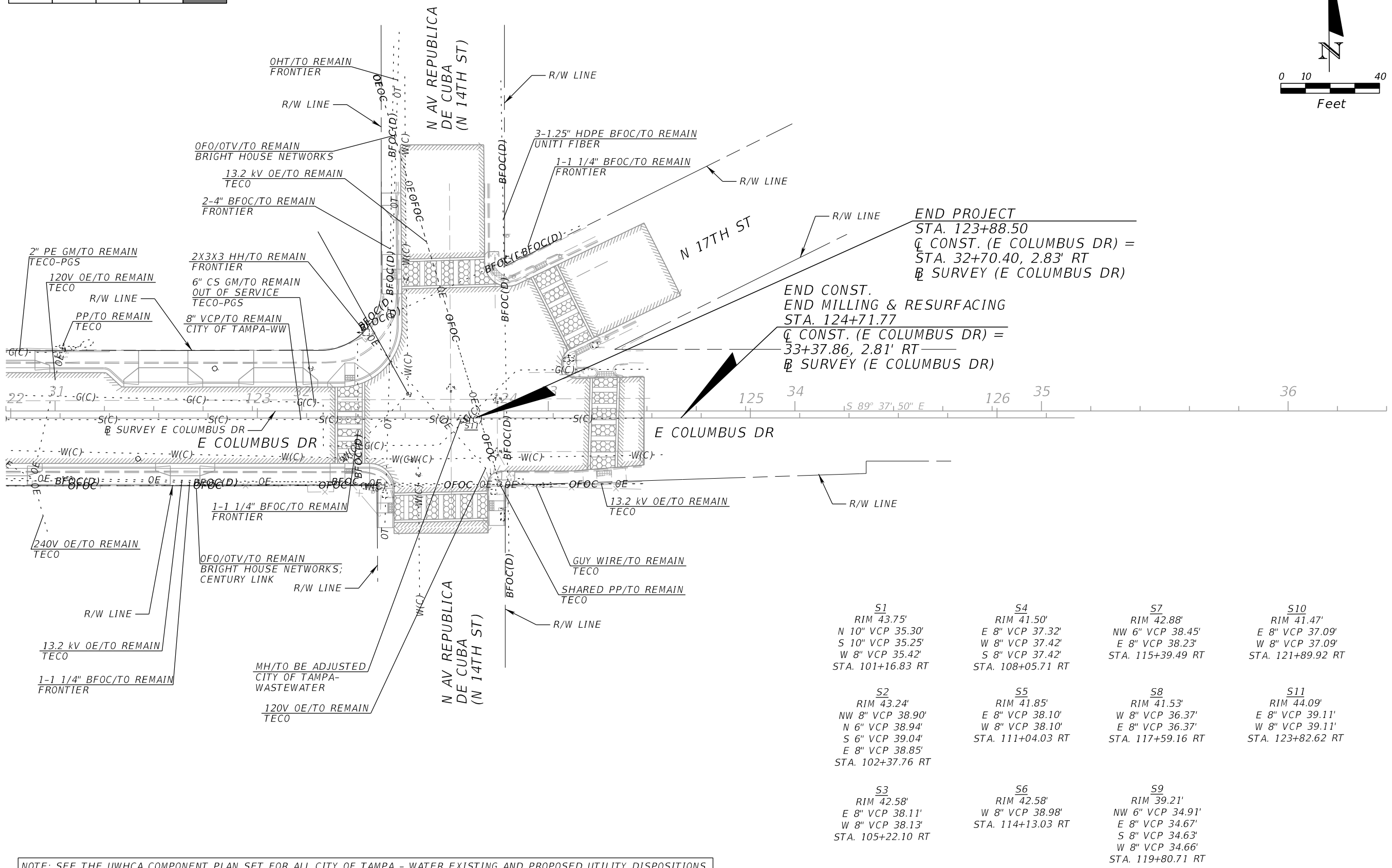
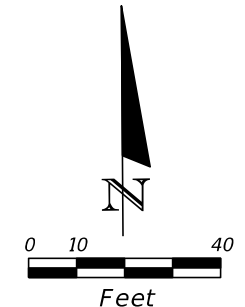
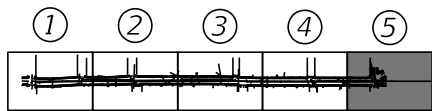
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 104
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	



NOTE: SEE THE UWHCA COMPONENT PLAN SET FOR ALL CITY OF TAMPA - WATER EXISTING AND PROPOSED UTILITY DISPOSITIONS.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. 105
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



NOTE: SEE THE UWHCA COMPONENT PLAN SET FOR ALL CITY OF TAMPA - WATER EXISTING AND PROPOSED UTILITY DISPOSITIONS.

<table border="1"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>				REVISIONS		DATE	DESCRIPTION			JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT <table border="1"> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </table>	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	SHEET NO. 106
REVISIONS																		
DATE	DESCRIPTION																	
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																
1001221	HILLSBOROUGH	436639-1-58-01																

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

INDEX OF SUMMARY OF QUANTITY SHEETS

SHEET NO.	SHEET NO.
SQ-1	SUMMARY OF LUMP SUM ITEMS SUMMARY OF TEMPORARY TRAFFIC CONTROL PLANS SUMMARY OF TEMPORARY SIGNALIZATION & DETECTION
SQ-2 - SQ-4	SUMMARY OF EROSION AND SEDIMENT CONTROL DEVICES
SQ-5	SUMMARY OF CLEARING AND GRUBBING & REMOVAL ITEMS SUMMARY OF EARTHWORK
SQ-6 - SQ-7	SUMMARY OF PAVEMENT
SQ-8	SUMMARY OF UTILITY ADJUSTMENTS
SQ-9	SUMMARY OF CURB & GUTTER AND/OR TRAFFIC SEPARATORS
SQ-10 - SQ-13	SUMMARY OF SIDEWALK & DETECTABLE WARNINGS

PAY ITEM NOTES

SHEET NO.	
0430-174-115	COST OF 35 CY OF FLOWABLE FILL BETWEEN CITY OF TAMPA WATERMAIN AND PROPOSED DRAINAGE STRUCTURES TO BE INCIDENTAL TO THE COST OF APPLICABLE DRAINAGE STRUCTURES.
0526-1-2	NOTIFY CITY OF TAMPA IN ADVANCE OF ANY POTENTIAL SHORTAGE OF HISTORIC BRICKS.

SUMMARY OF LUMP SUM ITEMS					
PAY ITEM NO.	PAY ITEM DESCRIPTION	QUANTITY		DESIGN NOTES	CONSTRUCTION REMARKS
		P	F		
0101 1	MOBILIZATION	1			
4.07	REMEDIATION	1			

SUMMARY OF TEMPORARY TRAFFIC CONTROL PLAN ITEMS												
PAY ITEM NO.	PAY ITEM DESCRIPTION	UNIT	PHASE I			PHASE II			TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
			DURATION	QUANTITY	TOTAL	DURATION	QUANTITY	TOTAL	P	F		
			DAYS	P	P	DAYS	P	P				
0102 1	MAINTENANCE OF TRAFFIC	LS		1			1		1		530 CONSTRUCTION DAYS	

SUMMARY OF TEMPORARY TRAFFIC CONTROL PLAN ITEMS														
PAY ITEM NO.	PAY ITEM DESCRIPTION	UNIT	PHASE III			PHASE IV			TOTAL		GRAND TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
			DURATION	QUANTITY	TOTAL	DURATION	QUANTITY	TOTAL	P	F	P	F		
			DAYS	P	P	DAYS	P	P						
0102 1	MAINTENANCE OF TRAFFIC	LS		1			1		1			530 CONSTRUCTION DAYS		

SUMMARY OF TEMPORARY SIGNALIZATION & DETECTION																
PHASE	DURATION	0102104						0102107 1						DESIGN NOTES	CONSTRUCTION REMARKS	
		TEMPORARY SIGNALS & MAINTENANCE OF INTERSECTION - EACH DAY														
		EXISTING						TEMPORARY								
		DAYS	#	P	F	#	P	F	#	P	F	#	P			F
1 THRU 4	530	2	1060				2	1060				2	1060			
SUB-TOTAL		1060						1060					1060			
TOTAL								2120					2120			

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF QUANTITIES	SHEET NO. SQ-1
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF EROSION AND SEDIMENT CONTROL DEVICES

LOCATION STA. TO STA.	SIDE	SEDIMENT BARRIER		INLET PROTECTION SYSTEM		DESIGN NOTES	CONSTRUCTION REMARKS
		0104 10 3		0104 18			
		LF		EA			
		P	F	P	F		
N/A		100				TO BE USED IF REQ.	
104+02.95	RT			1			
104+08.16	RT			1			
104+13.51	RT			1			
104+13.78	LT			1			
104+07.60	LT			1			
104+27.55	LT			1		EXIST. INLET	
104+39.38	RT			1			
104+40.39	RT			1		EXIST. INLET	
104+66.51	LT			1		EXIST. INLET	
104+76.08	LT			1			
104+82.16	LT			1			
105+11.26	LT			1			
105+17.42	LT			1			
105+11.38	RT			1			
105+16.67	RT			1			
105+21.96	RT			1			
106+26.57	RT			1			
106+31.86	RT			1			
106+37.16	RT			1			
106+38.59	LT			1			
106+43.89	LT			1			
106+49.18	LT			1			
107+37.55	LT			1			
107+42.84	LT			1			
107+48.14	LT			1			
107+58.70	LT			1		EXIST. INLET	
107+37.89	RT			1			
107+43.18	RT			1			
107+48.47	RT			1			
107+68.28	RT			1			
107+74.45	RT			1			
107+77.46	RT			1			
107+96.80	LT			1		EXIST. INLET	
107+97.15	RT			1		EXIST. INLET	
108+14.06	LT			1			
108+18.06	LT			1			
108+10.10	LT			1			
108+03.94	LT			1			
108+25.09	RT			1		EXIST. INLET	
108+51.20	RT			1			
108+45.91	RT			1			
108+40.62	RT			1			
108+80.94	LT			1			
108+75.64	LT			1			
108+70.35	LT			1			
SUB-TOTAL:		100		45			
TOTAL:		100		114			

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

THOMAS J. WARD, P.E.
P.E. LICENSE NUMBER 52144
BES, INC.
11007 N. 56TH ST., SUITE 208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF QUANTITIES	
SHEET NO. SQ-2	

SUMMARY OF EROSION AND SEDIMENT CONTROL DEVICES

LOCATION STA. TO STA.	SIDE	SEDIMENT BARRIER		INLET PROTECTION SYSTEM		DESIGN NOTES	CONSTRUCTION REMARKS
		0104 10 3		0104 18			
		LF		EA			
		P	F	P	F		
110+18.72	LT			1			
110+13.43	LT			1			
110+08.14	LT			1			
110+81.51	RT			1			
110+76.22	RT			1			
110+70.93	RT			1			
111+16.82	LT			1		EXIST. INLET	
111+17.68	LT			1			
111+18.49	RT			1			
111+19.64	RT			1		EXIST. INLET	
113+14.61	LT			1			
113+09.32	LT			1			
113+04.03	LT			1			
113+34.16	RT			1			
113+28.87	RT			1			
113+23.58	RT			1			
114+21.64	LT			1			
114+97.29	LT			1			
114+36.66	LT			1			
114+46.96	LT			1		EXIST. INLET	
114+76.09	LT			1		EXIST. INLET	
114+91.12	RT			1			
114+97.29	RT			1			
115+77.20	LT			1			
115+83.37	LT			1			
117+26.06	LT			1			
117+31.35	LT			1			
117+36.64	LT			1			
117+30.90	RT			1			
117+36.19	RT			1			
117+41.48	RT			1			
119+21.70	LT			1			
119+27.07	LT			1			
119+29.63	LT			1		EXIST. INLET	
119+32.29	LT			1			
119+29.63	LT			1			
119+16.41	RT			1			
119+44.50	RT			1		EXIST. INLET	
119+44.50	RT			1			
119+87.65	LT			1		EXIST. INLET	
119+87.95	LT			1			
119+90.62	LT			1			
120+40.21	LT			1			
120+04.74	LT			1			
120+02.77	RT			1		EXIST. INLET	
120+02.84	RT			1			
120+40.21	RT			1			
SUB-TOTAL:				47			

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

THOMAS J. WARD, P.E.
P.E. LICENSE NUMBER 52144
BES, INC.
11007 N. 56TH ST., SUITE 208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF AUTHORIZATION 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF QUANTITIES		SHEET NO.
		SQ-3

SUMMARY OF EROSION AND SEDIMENT CONTROL DEVICES							
LOCATION	SIDE	SEDIMENT BARRIER		INLET PROTECTION SYSTEM		DESIGN NOTES	CONSTRUCTION REMARKS
STA. TO STA.		0104 10 3		0104 18			
		LF		EA			
	P	F	P	F			
120+34.92	RT			1			
120+29.63	RT			1			
120+50.07	LT			1			
121+26.13	RT			1			
121+20.84	RT			1			
121+15.55	RT			1			
121+81.75	LT			1			
121+76.46	LT			1			
121+71.17	LT			1			
123+96.35	LT			1		EXIST. INLET	
124+02.75	RT			1		EXIST. INLET	
200+29.48	LT			1			
200+30.60	RT			1			
200+40.22	RT			1			
200+40.27	LT			1			
300+28.43	LT			1			
300+30.05	RT			1			
300+36.35	LT			1			
400+35.96	RT			1			
400+36.66	LT			1			
700+34.87	LT			1			
700+35.07	RT			1			
SUB-TOTAL:				22			

REVISIONS				THOMAS J. WARD, P.E. P.E. LICENSE NUMBER 52144 BES, INC. 11007 N. 56TH ST., SUITE 208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF QUANTITIES SHEET NO. SQ-4
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

SUMMARY OF CLEARING AND GRUBBING & REMOVAL ITEMS

PAY ITEM NO.	PAY ITEM DESCRIPTION	LOCATION		SIDE	UNITS	QUANTITY		TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
		STA.	TO STA.			P	F	P	F		
0110 1 1	CLEARING AND GRUBBING	100+49.41	TO 100+95.44	LT	AC	0.007		0.824			
		101+35.83	TO 104+34.63	LT		0.045					
		100+76.57	TO 100+90.57	RT		0.002					
		104+30.55	TO 104+62.32	LT		0.007					
		107+61.07	TO 107+92.64	LT		0.007					
		107+92.94	TO 108+38.42	RT		0.014					
		114+41.87	TO 114+81.71	LT		0.007					
		114+94.39	TO 115+30.75	RT		0.008					
		120+00.05	TO 120+12.37	RT		0.006					
		119+56.93	TO 119+89.61	RT		0.007					
		119+42.29	TO 119+76.44	LT		0.007					
		123+55.44	TO 123+93.53	RT		0.010					
		123+31.53	TO 123+43.53	RT		0.009					
		123+58.47	TO 124+00.35	LT		0.010					
		124+10.93	TO 124+36.72	LT		0.009					
		124+34.06	TO 124+47.02	RT		0.010					
		107+88.71	TO 114+51.14	LT		0.099					
		104+58.41	TO 107+64.59	LT		0.057					
		114+72.36	TO 119+48.28	LT		0.077					
		119+83.69	TO 123+55.53	RT		0.041					
108+21.62	TO 114+99.00	RT		0.097							
101+38.58	TO 108+00.86	RT		0.097							
115+26.47	TO 119+63.00	RT		0.071							
119+70.40	TO 123+58.70	LT		0.071							
115+56.29	TO 115+68.78	RT		0.006							
101+16.92	TO 101+16.92	RT		0.043							
0110 4 10	REMOVAL OF EXISTING CONCRETE	99+85.28	TO 100+95.31	LT	SY	101.1		2950			
		114+74.08	TO 119+45.71	LT		305.5					
		101+38.69	TO 107+99.50	RT		449.2					
		100+76.57	TO 100+98.40	RT		29.1					
		123+93.27	TO 124+01.05	RT		13.6					
		101+33.18	TO 104+33.12	LT		195.4					
		104+59.91	TO 107+64.11	LT		193.2					
		107+92.13	TO 114+49.04	LT		395.3					
		119+85.69	TO 123+55.47	RT		256.1					
		115+28.82	TO 119+61.52	RT		283.5					
108+23.11	TO 114+97.00	RT		456.3							
119+71.36	TO 123+58.56	LT		271.5							

SUMMARY OF EARTHWORK

PAY ITEM NO.	PAY ITEM DESCRIPTION	CY		DESIGN NOTES	CONSTRUCTION REMARKS
		P	F		
0120 1	REGULAR EXCAVATION	500.5			

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF QUANTITIES	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		SQ-5

SUMMARY OF PAVEMENT

PAY ITEM NO.	PAY ITEM DESCRIPTION	LOCATION	SIDE	UNIT	QUANTITY		TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
		STA. TO STA.			P	F	P	F		
285709	OPTIONAL BASE, BASE GROUP 09	103+60.00 to 105+29.67	LT/RT	SY	550.0		1090			
		114+10.35 to 115+57.76	LT/RT		391.3					
		115+67.32 to 116+26.34	LT/RT		148.5					
0327 70 7	MILLING EXIST ASPH PAVT, 4" AVG DEPTH	99+85.30 to 103+60.00	LT/RT	SY	1614.8		8541			
		104+34.61 to 104+58.41	LT		40.9					
		105+29.67 to 108+26.40	LT/RT		1014.3					
		107+64.59 to 107+88.71	LT		30.1					
		108+00.77 to 108+21.89	RT		35.5					
		108+33.17 to 114+10.35	LT/RT		2111.2					
		114+51.03 to 114+72.52	LT		20.3					
		114+98.46 to 115+27.01	RT		47.3					
		116+26.25 to 120+12.30	LT/RT		1382.1					
		119+48.28 to 119+70.40	LT		28.9					
		119+63.00 to 119+83.69	RT		23.3					
		120+23.98 to 123+31.53	LT/RT		1135.2					
		123+43.53 to 124+35.01	LT/RT		680.7					
		123+55.43 to 123+93.62	RT		19.8					
		123+58.07 to 123+92.23	LT		172.4					
		124+21.74 to 124+71.77	LT		143.0					
		124+46.09 to 124+56.89	LT/RT		41.4					
0334 1 53	SUPERPAVE ASPHALTIC CONCRETE, TRAFFIC C, PG 76-22	103+60.00 to 105+29.67	LT/RT	TN	45.38		89.9			
		114+10.35 to 115+57.76	LT/RT		32.29					
		115+67.32 to 116+26.34	LT/RT		12.25					
0337 7 83	ASPHALT CONCRETE FRICTION COURSE, TRAFFIC C, FC-12.5, PG 76-22	99+85.30 to 103+60.00	LT/RT	TN	133.22		794.4			
		103+60.00 to 105+29.67	LT/RT		45.38					
		104+34.61 to 104+58.41	LT		3.38					
		105+29.67 to 108+26.40	LT/RT		83.67					
		107+64.59 to 107+88.71	LT		2.49					
		108+00.77 to 108+21.89	RT		2.92					
		108+33.17 to 114+10.35	LT/RT		174.17					
		114+10.35 to 115+57.76	LT/RT		32.29					
		114+51.03 to 114+72.52	LT		1.67					
		114+98.46 to 115+27.01	RT		3.90					
		115+67.32 to 116+26.34	LT/RT		12.25					
		116+26.35 to 120+12.30	LT/RT		113.99					
		119+48.28 to 119+70.40	LT		2.39					
		119+63.00 to 119+83.69	RT		1.93					
		120+23.98 to 123+31.53	LT/RT		93.65					
		123+43.53 to 124+35.01	LT/RT		56.07					
		123+55.43 to 123+93.62	RT		1.63					
		123+58.07 to 123+92.23	LT		14.22					
		124+21.74 to 124+71.77	LT		11.80					
		124+46.09 to 124+56.89	LT/RT		3.42					
0350 3 5	PLAIN CEMENT CONCRETE PAVEMENT, 8"	104+30.55 to 104+62.32	LT	SY	34.6		566		STAMPED HEXAGONAL PATTERN	
		107+61.48 to 107+92.30	LT		35.0					
		107+93.95 to 108+38.42	LT/RT		65.7					
		114+43.57 to 114+81.71	LT		35.4					
		114+94.39 to 115+30.25	RT		38.2					
		115+56.30 to 115+68.78	LT/RT		26.9					
		119+42.29 to 119+76.44	LT		34.2					

REVISIONS DATE DESCRIPTION DATE DESCRIPTION				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT CITY PROJECT NO. COUNTY FINANCIAL PROJECT ID 1001221 HILLSBOROUGH 436639-1-58-01			SHEET NO. SQ-6
--	--	--	--	---	---	--	--	-------------------

SUMMARY OF QUANTITIES

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF PAVEMENT

PAY ITEM NO.	PAY ITEM DESCRIPTION	LOCATION	SIDE	UNIT	QUANTITY		TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
		STA. TO STA.			P	F	P	F		
0350 3 5	PLAIN CEMENT CONCRETE PAVEMENT, 8" (CONT'D)	119+56.93 to 119+89.61	RT	SY	32.4				STAMPED HEXAGONAL PATTERN	
		120+11.98 to 120+24.30	LT/RT		29.3					
		123+31.53 to 123+43.53	LT/RT		42.1					
		123+55.44 to 123+93.53	RT		51.6					
		123+58.47 to 124+01.91	LT		47.5					
		124+10.93 to 124+36.72	LT		43.7					
		124+34.06 to 124+47.02	LT/RT		49.1					
0523 1	PATTERNED PAVEMENT, VEHICULAR AREAS	100+84.10 to 101+49.30	LT/RT	SY	209.4		209		BRICK PATTERNED PAVT.	

<p align="center">REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				DATE	DESCRIPTION	DATE	DESCRIPTION					JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	<p align="center">CITY OF TAMPA TRANSPORTATION DEPARTMENT</p> <table border="1"> <thead> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> </thead> <tbody> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </tbody> </table>			CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	<p>SUMMARY OF QUANTITIES</p>	SHEET NO. SQ-7
DATE	DESCRIPTION	DATE	DESCRIPTION																				
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																					
1001221	HILLSBOROUGH	436639-1-58-01																					

SUMMARY OF UTILITY ADJUSTMENTS

PAY ITEM NO.	PAY ITEM DESCRIPTION	LOCATION STATION	SIDE	UNIT	QUANTITY		TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
					P	F	P	F		
0425 5 1	MANHOLE, ADJUST, UTILITIES	101+17	RT	EA	1		11			
		102+38	RT		1					
		105+22	RT		1					
		108+06	RT		1					
		111+04	RT		1					
		114+13	RT		1					
		115+39	RT		1					
		117+59	RT		1					
		119+81	RT		1					
		120+90	RT		1					
		123+83	RT		1					
0425 6	VALVE BOX, ADJUST	100+87	RT	EA	1		17			
		101+25	LT		1					
		101+37	RT		1					
		101+67	RT		1					
		107+70	LT		1					
		108+19	RT		1					
		114+72	LT		1					
		114+81	RT		1					CONTAMINATION MONITORING WELL (WITHIN SWK.)
		115+63	RT		1					
		119+68	LT		1					
		119+90	RT		1					
		122+52	RT		1					CONTAMINATION MONITORING WELL (WITHIN ROAD)
		122+83	LT		1					CONTAMINATION MONITORING WELL (WITHIN ROAD)
		123+22	LT		1					CONTAMINATION MONITORING WELL (WITHIN ROAD)
123+60	LT		1							
123+62	RT		1							
123+65	RT		1							

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF QUANTITIES	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		SQ-8
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF CURB & GUTTER AND/OR TRAFFIC SEPARATORS

PAY ITEM NO.	PAY ITEM DESCRIPTION	LOCATION STA. TO STA.	SIDE	UNIT	NET LENGTH		TOTAL		DESIGN NOTES	CONSTRUCTION REMARKS
					P	F	P	F		
					0520 1 10	CONCRETE CURB & GUTTER, TYPE F	99+85.29 TO 100+93.94	LT		
		100+76.59 TO 100+96.90	RT		40.3					
		101+34.68 TO 104+11.12	LT		293.9					
		101+40.08 TO 104+01.27	RT		281.1					
		104+15.42 TO 104+36.60	RT		21.1					
		104+16.45 TO 104+33.12	LT		35.9					
		104+42.19 TO 105+09.59	RT		67.4					
		104+59.91 TO 104+73.41	LT		32.6					
		104+78.74 TO 105+08.59	LT		29.8					
		105+13.92 TO 107+35.18	LT		223.2					
		105+23.75 TO 106+24.78	RT		101.7					
		106+38.95 TO 107+36.10	RT		97.2					
		107+35.14 TO 107+64.11	LT		46.1					
		107+35.46 TO 107+65.61	RT		31.7					
		107+70.95 TO 107+99.36	RT		43.3					
		107+90.21 TO 108+07.44	LT		31.9					
		108+20.85 TO 108+83.24	LT		64.3					
		108+23.11 TO 108+53.62	RT		48.0					
		108+52.99 TO 110+69.14	RT		216.3					
		108+82.72 TO 110+06.34	LT		123.7					
		110+20.51 TO 111+14.89	LT		94.4					
		110+83.45 TO 111+15.70	RT		32.3					
		111+20.48 TO 113+02.24	LT		181.8					
		111+21.28 TO 113+21.79	RT		200.6					
		113+16.40 TO 114+19.10	LT		106.1					
		113+36.62 TO 114+98.02	RT		187.0					
		114+24.18 TO 114+49.64	LT		40.4					
		114+73.86 TO 114+88.45	LT		28.4					
		114+93.79 TO 117+24.26	LT		232.5					
		115+27.97 TO 115+74.53	RT		67.3					
		115+79.87 TO 117+29.10	RT		152.0					
		117+38.43 TO 119+17.85	LT		179.4					
		117+43.26 TO 119+14.23	RT		171.2					
		119+18.56 TO 119+61.50	RT		66.3					
		119+19.55 TO 119+46.78	LT		42.9					
		119+71.91 TO 119+87.82	LT		29.9					
		119+85.19 TO 120+42.57	RT		77.2					
		119+93.41 TO 120+63.30	LT		73.1					
		120+42.00 TO 121+13.75	RT		71.8					
		120+68.89 TO 121+69.38	LT		100.5					
		121+27.92 TO 123+55.53	RT		232.1					
		121+83.55 TO 123+57.20	LT		243.1					
0520 2 4	CONCRETE CURB, TYPE D	104+00.97 TO 104+15.19	RT	LF	26.2		353			
		105+09.58 TO 105+23.75	RT		26.9					
		106+24.78 TO 106+38.95	RT		26.8					
		106+36.80 TO 106+50.97	LT		26.8					
		110+06.35 TO 110+20.51	LT		26.8					
		110+69.14 TO 110+83.31	RT		26.8					
		113+02.24 TO 113+16.41	LT		26.8					
		113+21.79 TO 113+36.46	RT		26.8					
		117+24.27 TO 117+38.44	LT		26.8					
		117+29.11 TO 117+43.28	RT		26.8					
		121+13.76 TO 121+27.92	RT		26.8					
		121+69.38 TO 121+83.54	LT		26.8					
		123+55.43 TO 123+55.53	RT		16.0					
		123+93.77 TO 123+94.06	RT		16.0					

REVISIONS DATE DESCRIPTION DATE DESCRIPTION				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT CITY PROJECT NO. COUNTY FINANCIAL PROJECT ID 1001221 HILLSBOROUGH 436639-1-58-01			SHEET NO. SQ-9
--	--	--	--	---	---	--	--	-------------------

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF SIDEWALK & DETECTABLE WARNINGS

LOCATION STA. TO STA.	SIDE	CONC SIDEWALK 6" (SCORING PATTERN)		CONC SIDEWALK 6"		DETECTABLE WARNINGS		DESIGN NOTES	CONSTRUCTION REMARKS
		0522 2		0522 2		0527 2			
		SY		SY		SF			
P	F	P	F	P	F	P	F		
99+85.29 to 100+93.44	LT	95.6							
100+76.57 to 100+96.40	RT	24.7							
101+35.18 to 101+41.35	LT	6.9							
101+40.58 to 101+83.14	RT	60.4							
101+47.47 to 104+32.62	LT	308.9							
102+03.10 to 102+19.14	RT	20.7							
102+39.10 to 103+14.58	RT	65.9							
103+29.32 to 103+45.53	RT	10.7							
103+60.27 to 104+77.57	RT	92.8							
104+60.41 to 106+08.14	LT	165.4							
104+89.56 to 105+45.23	RT	43.6							
105+57.22 to 105+72.89	RT	10.4							
105+84.88 to 106+52.04	RT	53.9							
106+20.13 to 107+63.76	LT	131.3							
106+72.03 to 107+98.86	RT	143.7							
107+90.71 to 109+54.62	LT	186.5							
108+23.62 to 109+08.58	RT	86.7							
109+20.58 to 109+58.49	RT	30.1							
109+66.62 to 110+54.18	LT	74.9							
109+70.49 to 110+45.40	RT	62.5							
110+57.40 to 110+94.96	RT	29.4							
110+66.18 to 110+74.18	LT	5.8							
110+86.18 to 111+37.41	LT	40.7							
111+07.14 to 111+33.88	RT	17.6							
111+49.41 to 112+73.66	LT	107.6							
111+53.88 to 112+08.68	RT	43.1							
112+20.68 to 112+28.68	RT	5.8							
112+40.68 to 112+83.09	RT	32.7							
112+85.66 to 113+32.04	LT	38.6							
113+08.09 to 113+49.49	RT	31.1							
113+43.12 to 114+49.14	LT	117.5							
113+61.33 to 113+97.54	RT	37.5							
114+09.36 to 114+18.08	RT	8.0							
114+68.45 to 114+96.65	RT	52.4							
114+74.36 to 115+30.39	LT	73.1							
115+28.59 to 115+93.78	RT	97.9							
115+42.21 to 115+80.40	LT	46.0							
115+92.40 to 116+36.33	LT	54.3							
116+06.91 to 116+60.57	RT	51.0							
116+46.32 to 116+80.52	LT	27.9							
116+72.56 to 117+79.04	RT	85.3							
116+92.51 to 117+73.84	LT	71.0							
117+85.83 to 119+46.33	LT	154.9							
117+91.03 to 118+18.45	RT	19.9							
118+30.44 to 118+58.44	RT	20.2							
118+70.43 to 118+96.21	RT	18.5							
119+08.19 to 119+61.00	RT	74.6							
SUB-TOTAL:		3038.0							
TOTAL:		3643		1036		241			

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF QUANTITIES

SHEET NO.
SQ-10

SUMMARY OF SIDEWALK & DETECTABLE WARNINGS

LOCATION STA. TO STA.	SIDE	CONC SIDEWALK 6" (SCORING PATTERN)		CONC SIDEWALK 6"		DETECTABLE WARNINGS		DESIGN NOTES	CONSTRUCTION REMARKS
		0522 1		0522 2		0527 2			
		SY		SY		SF			
P	F	P	F	P	F	P	F		
119+72.41 to 120+99.80	LT	146.5							
119+85.69 to 121+37.84	RT	145.3							
121+11.80 to 121+97.85	LT	59.5							
121+49.84 to 121+94.75	RT	31.7							
122+06.75 to 122+64.75	RT	39.2							
122+09.85 to 122+51.84	LT	33.4							
122+71.84 to 122+98.53	LT	33.5							
122+76.75 to 123+29.53	RT	36.8							
123+18.53 to 123+56.70	LT	62.1							
123+45.53 to 123+54.91	RT	5.8							
123+50.30 to 123+56.46	LT	11.1							
100+81.87 to 100+93.40	LT			7.3					
100+85.38 to 100+95.91	RT			6.5					
101+35.82 to 101+47.63	LT			8.7					
101+41.48 to 101+52.66	RT			7.1					
101+77.17 to 102+09.18	RT			37.2					
102+13.17 to 102+44.88	RT			37.0					
103+08.19 to 103+35.20	RT			15.6					
103+39.14 to 103+66.16	RT			15.6					
104+25.00 to 104+32.61	LT			7.9					
104+60.41 to 104+67.93	LT			7.8					
104+71.56 to 104+95.56	RT			13.3					
105+39.24 to 105+63.20	RT			12.6					
105+66.88 to 105+90.88	RT			13.8					
106+02.13 to 106+26.81	LT			12.5					
106+46.04 to 106+78.04	RT			19.2					
107+55.67 to 107+63.64	LT			7.9					
107+88.92 to 107+98.86	RT			7.8					
107+90.71 to 107+98.25	LT			7.8					
108+23.35 to 108+41.35	LT			7.3					
108+24.01 to 108+33.43	RT			5.5					
109+02.58 to 109+25.42	RT			13.0					
109+48.62 to 109+72.62	LT			12.6					
109+53.23 to 109+76.49	RT			13.0					
110+39.40 to 110+63.40	RT			13.4					
110+48.18 to 110+70.21	LT			12.6					
110+70.21 to 110+92.18	LT			12.6					
110+88.96 to 111+13.14	RT			13.2					
111+27.88 to 111+59.88	RT			20.8					
111+31.41 to 111+55.41	LT			13.3					
112+02.68 to 112+24.69	RT			12.7					
112+24.68 to 112+46.68	RT			12.8					
112+67.66 to 112+91.66	LT			12.7					
112+77.09 to 113+14.09	RT			24.2					
113+26.04 to 113+49.43	LT			12.9					
113+43.24 to 113+67.22	RT			12.4					
113+91.09 to 114+13.98	RT			20.3					
114+13.98 to 114+74.43	RT			63.3					
SUB-TOTAL:		604.9		554.2					

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF QUANTITIES

SHEET NO.
SQ-11

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SUMMARY OF SIDEWALK & DETECTABLE WARNINGS

LOCATION STA. TO STA.	SIDE	CONC SIDEWALK 6" (SCORING PATTERN)		CONC SIDEWALK 6"		DETECTABLE WARNINGS		DESIGN NOTES	CONSTRUCTION REMARKS
		0522 1		0522 2		0527 2			
		SY		SY		SF			
P	F	P	F	P	F	P	F		
114+38.60 to 114+49.14	LT			7.4					
114+74.40 to 114+84.95	LT			7.6					
114+81.51 to 114+97.00	RT			11.3					
114+88.48 to 114+96.56	RT			8.0					
115+24.03 to 115+48.05	LT			24.0					
115+28.46 to 115+36.38	RT			7.6					
115+52.04 to 115+70.04	LT			8.2					
115+54.04 to 115+72.03	RT			7.5					
115+74.03 to 115+98.89	LT			23.2					
115+88.34 to 116+12.94	RT			25.9					
116+30.34 to 116+52.34	LT			12.0					
116+54.55 to 116+78.55	RT			12.6					
116+74.53 to 116+98.53	LT			13.6					
117+67.84 to 117+91.85	LT			14.7					
117+73.04 to 117+97.04	RT			13.0					
118+12.45 to 118+36.45	RT			13.0					
118+52.44 to 118+76.44	RT			13.0					
118+90.22 to 119+18.91	RT			13.8					
119+37.42 to 119+46.29	LT			7.1					
119+52.11 to 119+61.00	RT			7.7					
119+72.25 to 119+81.24	LT			7.0					
119+85.69 to 119+94.37	RT			7.7					
120+09.02 to 120+26.92	RT			7.3					
120+09.71 to 120+27.24	LT			7.2					
120+93.80 to 121+17.80	LT			12.0					
121+31.84 to 121+55.84	RT			12.0					
121+88.75 to 122+12.75	RT			12.0					
121+91.85 to 122+15.85	LT			12.0					
122+45.82 to 122+77.84	LT			33.1					
122+58.75 to 122+82.75	RT			12.0					
122+92.53 to 123+24.53	LT			33.1					
123+28.53 to 123+45.50	LT			8.7					
123+29.53 to 123+45.53	RT			12.3					
123+48.56 to 123+55.43	RT			11.7					
123+50.18 to 123+56.60	LT			11.1					
123+50.33 to 123+56.34	LT			5.6					
123+93.77 to 124+01.05	RT			12.7					
123+93.77 to 124+01.05	RT			12.7					
100+87.10 to 100+91.08	LT					7.4			
100+89.27 to 100+93.55	RT					8.0			
101+36.53 to 101+41.47	LT					9.0			
101+41.47 to 101+43.60	LT					10.6			
101+43.40 to 101+47.40	RT					7.4			
101+43.40 to 101+47.40	RT					7.4			
104+29.00 to 104+31.00	LT					8.0			
104+61.93 to 104+63.93	LT					8.0			
107+59.67 to 107+61.80	LT					8.0			
107+92.25 to 107+94.25	LT					8.0			
SUB-TOTAL:				481.4		81.8			

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SUMMARY OF QUANTITIES

SHEET NO.
SQ-12

SUMMARY OF SIDEWALK & DETECTABLE WARNINGS

LOCATION	SIDE	CONC SIDEWALK 6" (SCORING PATTERN)		CONC SIDEWALK 6"		DETECTABLE WARNINGS		DESIGN NOTES	CONSTRUCTION REMARKS
		0522 1		0522 2		0527 2			
		SY		SY		SF			
STA. TO STA.		P	F	P	F	P	F		
107+92.92 to 107+95.15	RT					8.0			
108+26.12 to 108+30.05	RT					7.0			
108+30.34 to 108+34.34	LT					8.0			
114+42.61 to 114+44.61	LT					8.0			
114+78.93 to 114+80.94	LT					8.0			
114+92.89 to 114+95.09	RT					8.0			
115+30.34 to 115+32.38	RT					8.0			
115+59.04 to 115+63.07	LT					8.0			
115+61.03 to 115+65.03	RT					8.0			
119+41.42 to 119+43.46	LT					8.0			
119+56.11 to 119+58.18	RT					8.0			
119+75.19 to 119+77.24	LT					8.0			
119+88.30 to 119+90.37	RT					8.0			
120+15.84 to 120+19.85	RT					8.0			
120+16.41 to 120+20.41	LT					8.0			
123+35.53 to 123+39.53	LT					8.0			
123+35.53 to 123+39.53	RT					8.0			
123+52.97 to 123+54.99	RT					8.0			
123+54.47 to 123+56.51	LT					8.0			
123+93.88 to 123+95.99	RT					8.1			
SUB-TOTAL:						159.1			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SUMMARY OF QUANTITIES	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		SQ-13
				1001221	HILLSBOROUGH	436639-1-58-01			

STATE OF FLORIDA
CITY OF TAMPA
WALK-BIKE LAP PROJECT

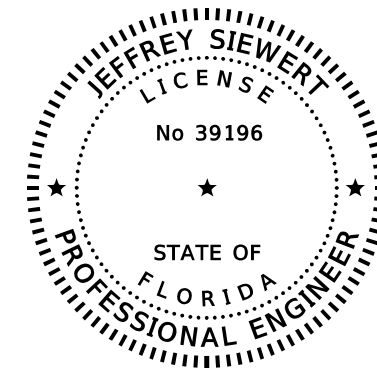
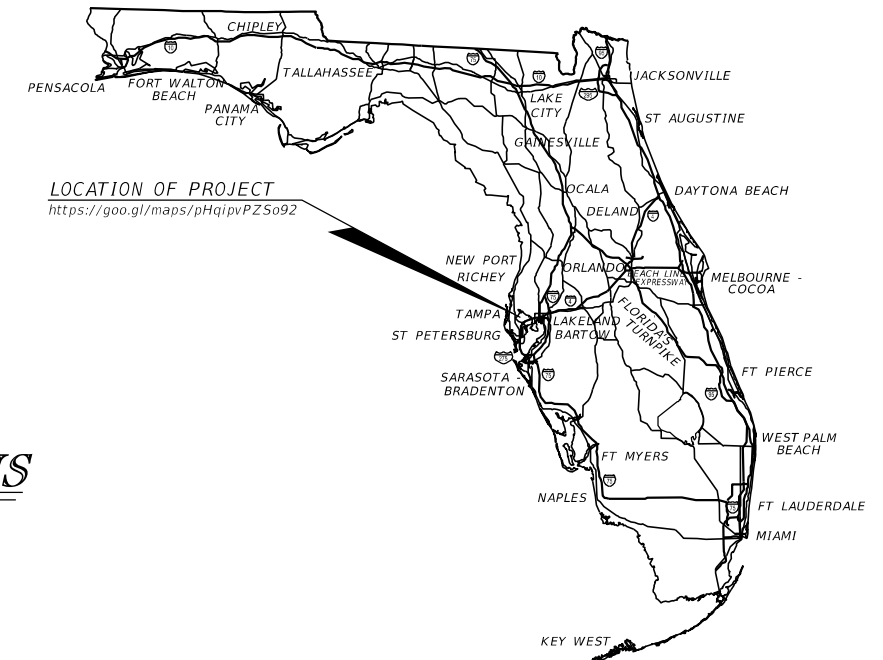
CITY PROJECT NO. 1001221
FINANCIAL PROJECT ID 436639-1-58-01
(FEDERAL FUNDS)
HILLSBOROUGH COUNTY

E COLUMBUS DR FROM N NEBRASKA AVE (SR45) TO 14TH ST

SIGNING AND PAVEMENT MARKING PLANS

INDEX OF SIGNING AND
PAVEMENT MARKING PLANS

SHEET NO.	SHEET DESCRIPTION
S-1	KEY SHEET
S-2	TABULATION OF QUANTITIES
S-3	GENERAL NOTES
S-4 - S-8	PLAN SHEETS
S-9 - S-10	HISTORIC SIGN DETAILS



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

Jeffrey J Siewert
2020.05.20 16:18:30 -04'00'

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

**SIGNING AND
PAVEMENT MARKING PLANS
ENGINEER OF RECORD:**

JEFFREY SIEWERT, P.E.
P.E. LICENSE NUMBER 39196
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
(813) 978-8688
CERTIFICATE OF AUTHORIZATION 4356

CONSTRUCTION PLANS
MARCH 2020

FDOT PROJECT MANAGER:
NINA MABILLEAU, E.I.

FISCAL YEAR	SHEET NO.
21	S-1

TABULATION OF QUANTITIES

PAY ITEM NO.	DESCRIPTION	UNIT	SHEET NUMBERS												TOTAL THIS SHEET		GRAND TOTAL	
			S-4		S-5		S-6		S-7		S-8		PLAN	FINAL	PLAN	FINAL		
			PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL						
0700 1 11	SINGLE POST SIGN, F&I GROUND MOUNT, UP TO 12 SF	AS	3		1		1		3		7					15		15
0700 1 12	SINGLE POST SIGN, F&I GROUND MOUNT, UP TO 12-20 SF	AS						1		3						4		4
0700 1 11** (HISTORIC SIGNS)	SINGLE POST SIGN, F&I GROUND MOUNT, UP TO 12 SF	AS								1						1		1
0700 1 12** (HISTORIC SIGNS)	SINGLE POST SIGN, F&I GROUND MOUNT, 12-20 SF	AS	1		2		2		1							6		6
0700 1 60	SINGLE POST SIGN, REMOVE	AS	1		4		7		4		10					26		26
700 3 501	SIGN PANEL, RELOCATE, UP TO 12 SF	EA	1													1		1
0710 90	PAINTED PAVEMENT MARKINGS, FINAL SURFACE	LS/LS														1		1
*	RETRO-REFLECTIVE PAVEMENT MARKERS	EA	22		1						12					35		35
*	PAINTED PM, STD, WHITE, SOLID, 6"	GM	0.215		0.231		0.217		0.234		0.126					1.023		1.023
*	PAINT, STD., WHITE, SOLID, DIAG./CHEVRON, 18"	LF	77.3						26.8		115.8					219.9		220
*	PAINT, WHITE, SOLID, STOP LINES/CROSSWALK, 24"	LF	52.0		22.0		10.7		21.5		122.4					228.6		229
*	PAINT, STD., WHITE, GUIDE LINE, 6" (2/4)	GM	0.029								0.024					0.053		0.053
*	PAINT, STD., MESSAGE OR SYMBOL (ONLY)	EA									1					1		1
*	PAINT, STD., ARROWS	EA	2								4					6		6
*	PAINTED PM, STD, YELLOW, SOLID, 6"	GM	0.136		0.188		0.169		0.210		0.063					0.766		0.766
*	PAINT, STD., YELLOW, SOLID, DIAG/CHEVRONS, 18"	LF									14.7					14.7		15
0711 11124	THERMOPLASTIC, STANDARD, WHITE, SOLID, 18" FOR DIAGONALS AND CHEVRONS	LF	77.3						26.8		115.8					219.9		220
0711 11125	THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK	LF	52.0		22.0		10.7		21.5		122.4					228.6		229
0711 11141	THERMOPLASTIC, STANDARD, WHITE, 2-4 DOTTED GUIDELINE/6-10 GAP EXTENSION, 6"	GM	0.029								0.024					0.053		0.053
0711 11160	THERMOPLASTIC, STANDARD, WHITE, MESSAGE OR SYMBOL	EA									1					1		1
0711 11170	THERMOPLASTIC, STANDARD, WHITE, ARROW	EA	2								4					6		6
0711 11224	THERMOPLASTIC, STANDARD, YELLOW, SOLID, 18" FOR DIAGONAL OR CHEVRON	LF									14.7					14.7		15
0711 14123	THERMOPLASTIC, PREFORMED, WHITE, SOLID, 12" FOR CROSSWALK	LF	287.6		149.1		165.4		151.1		352.5					1105.8		1106
0711 14125	THERMOPLASTIC, PREFORMED, WHITE, SOLID, 24" FOR CROSSWALK	LF	264.0		99.0		96.0		99.0		253.0					811.0		811
0711 14160	THERMOPLASTIC, PREFORMED, WHITE MESSAGE	EA	5		4		5		5		3					22		22
0711 16101	THERMOPLASTIC, STANDARD-OTHER SURFACES, WHITE, SOLID, 6"	GM	0.215		0.231		0.217		0.234		0.126					1.023		1.023
0711 16201	THERMOPLASTIC, STANDARD-OTHER SURFACES, YELLOW, SOLID, 6"	GM	0.136		0.188		0.169		0.210		0.063					0.765		0.765

* THESE QUANTITIES ARE PAID FOR UNDER PAINTED PAVEMENT MARKINGS (FINAL SURFACE), LUMP SUM - ITEM NO. 710-90. THE QUANTITIES SHOWN ARE FOR ONE APPLICATION; SEE SPECIFICATION 710 FOR THE NUMBER OF APPLICATIONS REQUIRED.

PAY ITEM NOTES:

- 0700-1-11 - SIGN POSTS TO BE ALUMINUM POSTS. POSTS AND BACK OF TRAFFIC SIGN PANELS TO BE PAINTED WITH BLACK VINYL PAINT.
- 0700-1-12 - SIGN POSTS TO BE ALUMINUM POSTS. POSTS AND BACK OF TRAFFIC SIGN PANELS TO BE PAINTED WITH BLACK VINYL PAINT.
- 0700-1-11** - COST OF HISTORIC SIGN ASSEMBLIES INCLUDES NEW DECORATIVE POST, NEW STREET NAME SIGNS AND NEW TRAFFIC SIGN PANELS. BACK OF TRAFFIC SIGN PANELS TO BE PAINTED WITH BLACK VINYL PAINT.
- 0700-1-12** - COST OF HISTORIC SIGN ASSEMBLIES INCLUDES NEW DECORATIVE POST, NEW STREET NAME SIGNS AND NEW TRAFFIC SIGN PANELS. BACK OF TRAFFIC SIGN PANELS TO BE PAINTED WITH BLACK VINYL PAINT.
- 0700-3-501 - SIGN PANEL TO B PAINTED WITH BLACK VINYL PAINT.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			<p style="text-align: center;">TABULATION OF QUANTITIES</p>	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		S-2
					1001221	HILLSBOROUGH	436639-1-58-01		

SIGNING AND PAVEMENT MARKING GENERAL NOTES

1. REMOVE AND REPLACE ALL EXISTING SIGNS THAT CONFLICT WITH CONSTRUCTION OPERATIONS. IF SIGNS ARE DAMAGED BY THE CONTRACTOR, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 2. FOR RETRO-REFLECTIVE PAVEMENT MARKER PLACEMENT DETAILS, REFER TO FDOT STANDARD PLANS 706-001.
 3. ALL CROSSWALKS ARE 10' WIDE AND WILL BE STRIPED USING SPECIAL EMPHASIS 12" AND 24" PREFORMED THERMOPLASTIC.
- RPM LEGEND**
 BDWR = BI-DIRECTIONAL WHITE/RED
 BDY = BI-DIRECTIONAL YELLOW
4. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED IN THE PLANS. EXISTING SIGNS SHOWN FOR INFORMATION ONLY.
 5. ALL CALLOUTS ARE TO CENTERLINE OF CONSTRUCTION OF COLUMBUS AVENUE, UNLESS NOTED OTHERWISE.
 6. ALL PARKING SPACES TO BE 6.5 FT FROM EDGE OF PAVEMENT.

HISTORIC SIGNS GENERAL NOTES

1. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND INDICATE AESTHETICS OF DESIGN INTENT ONLY. DETAILS ARE INTENDED AS A GUIDE FOR THE INTERFACING OF ADJACENT SURFACES. THE FABRICATION CONTRACT IS RESPONSIBLE FOR ALL STRUCTURAL, FASTENING AND ENGINEERING OF SIGNS AND FOUNDATIONS.
2. PROVIDE SCALED, SIGNED AND SEALED STRUCTURAL ENGINEERING DRAWINGS FOR ALL SIGNS AND FOUNDATIONS.
3. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, LICENSES AND INSURANCE NECESSARY TO FURNISH AND INSTALL ALL SIGNS.
4. PROVIDE COORDINATION OF ALL SUBMITTALS, CORRESPONDENCE, PROJECT DOCUMENTATION AND COMMUNICATION.
5. ALL MATERIALS SHALL BE OF TOP QUALITY WORKMANSHIP AND TECHNIQUES, AND BE FREE OF DEFECTS. DEFECTIVE IS DEFINED TO INCLUDE LAMINATION FAILURES, ABNORMAL DETERIORATION, FADING AND DISCOLORATION, WEATHERING, FAILURE OF SECURING TO SUBSTRATES INDICATED, CRACKING, CORROSION OR COATING DAMAGE, OR VISIBLE SCRATCHES ON SURFACES.
6. SIGNAGE SHALL NOT BEAR MANUFACTURER'S CODE OR OTHER IDENTIFYING MARKS ON ANY AREA OR PART WHICH MAY BE VISIBLE IN THE NORMAL POSITIONING, ATTITUDE, OR USE OF THE SIGN.
7. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE AESTHETIC OF "DESIGN INTENT" ONLY. DETAILS SHOWN ARE INTENDED AS A GUIDE FOR THE INTERFACING OF ADJACENT SURFACES.
8. THE SPECIFICATION MAKES NO ATTEMPT TO CONSIDER ALL CONSTRUCTION REQUIREMENTS THAT MAY APPLY. THE CONTRACTOR SHALL FIELD VERIFY THE MEASUREMENTS, SITE CONDITIONS OF ANY EXISTING STRUCTURES.
9. THE CITY RESERVES THE RIGHT TO VISIT THE PLANT WHERE FABRICATION WILL OCCUR. THE CONTRACTOR SHALL SUBMIT PROOF OF PREVIOUS PROJECTS TO ILLUSTRATE MANUFACTURING CAPABILITIES.
10. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS, DETAILS OF CONSTRUCTION, MATERIALS, TECHNICAL DATA AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF SIGN REQUIRED. SHOW ANCHORAGES AND ACCESSORY ITEMS.
11. SIGN SAMPLES AND LAYOUTS.
 1. SUBMIT PROOFS OF ART WORK AND SYMBOLS OF ACTUAL PAINTED ALUMINUM FINISHES FOR EACH COLOR SPECIFIED.
 2. SUBMIT PROTOTYPE SAMPLES AND COLOR MATCH SAMPLES.
 3. SUBMIT COMPLETE ALPHABET, NUMERALS, PUNCTUATION, AND GRAPHICS FOR REVIEW PRIOR TO START OF FABRICATION. IF MORE THAN ONE SUPPLIER'S CUT WILL BE USED, SUBMIT EACH CUT FOR REVIEW.
 4. SUBMIT SCALED TEXT LAYOUTS FOR EACH SIGN FACE FOR APPROVAL OF FORMAT, SPACING AND COPY.
12. SUBMIT FABRICATION SCHEDULE.
13. PROVIDE WRITTEN CERTIFICATION THAT ALL REQUIRED PERMITS, VARIANCES AND APPROVALS FROM AGENCIES HAVING JURISDICTION HAVE BEEN SECURED.
14. THE SIGN CONTRACTORS ACCEPTS RESPONSIBILITY TO REVIEW THE SITE AND CONDITIONS AND WILL FIELD VERIFY EACH SIGN LOCATION.

HISTORIC SIGNS GENERAL NOTES- (CONT'D)

15. PROVIDE A WRITTEN WARRANTY FOR ONE YEAR FOR ELECTRICAL COMPONENTS EXCEPT LAMPS, AND A SEVEN-YEAR MINIMUM WARRANTY ON THE SIGN CONSTRUCTION, STRUCTURES, PAINTS AND FINISHES.
16. PROVIDE A WRITTEN MAINTENANCE CONTRACT WHICH, IF ACCEPTED, SHALL BECOME EFFECTIVE ON THE EXPIRATION DATE OF WRITTEN WARRANTY.
17. ALL EDGES OF LETTER FORMS SHALL BE SHARP AND CLEAN WITH NO EDGE BUILD-UP OR BLEEDING. ALL SURFACES OF LETTER FORMS SHALL BE WITHOUT PINHOLES OR DEFECTS.
18. ALL UNITS SHALL BE ADEQUATELY VENTED TO DISSIPATE HEAT AND SHALL BE PROPERLY VENTED AND DRAINED TO PREVENT WATER CONTAINMENT. ALL UNIT OPENINGS SHALL BE BACKED WITH A NON-FERROUS FINE SCREEN MESH AND SHALL NOT DIRECTLY INLET WATER CONDENSATION OR CONTAMINANTS.
19. ALL UNITS SHALL BE CONSTRUCTED OF VANDAL-RESISTANT CONSTRUCT ION MATERIALS, METHODS AND EQUIPMENT. ALL COMPONENTS SHALL BE PROPERLY INSULATED TO PREVENT CORROSION BETWEEN ALUMINUM, STEEL, AND NON-ALUMINUM METALLIC SURFACES. ALL COMPONENTS SHALL BE NON-FERROUS AND SHALL BE RUSTPROOF. ALL JOINTS AND SEAMS SHALL BE SEALED AND WEATHER PROOFED.
20. FASTENERS SHALL BE STAINLESS STEEL, NON-CORROSIVE TYPE FASTENERS AND SHALL BE NON-CONDUCTIVE OR INSULATED WHEN JOINING NON-COMPATIBLE MATERIALS. VANDAL-RESISTANT FASTENERS SHALL BE USED WHENEVER POSSIBLE.
21. PAINTS: THE BACK OF ALL SIGNS, POSTS AND ENTIRE OVERHEAD SIGN STRUCTURES SHALL BE PAINTED BLACK. WORKMANSHIP IN CONNECTION WITH PAINT AND FINISHES SHALL CONFORM TO THE HIGHEST STANDARDS OF THE TRADE. PAINTS SHALL BE EVENLY APPLIED WITHOUT PINHOLES, SCRATCHES, PEELING, APPLICATION MARKS, DUST PARTICLES, ETC. NO PAINT THAT WILL FADE, DISCOLOR OR DELAMINATE AS A RESULT OF PROXIMITY TO AN ULTRAVIOLET LIGHT SOURCE OR HEAT SHALL BE USED. THE COST OF PRIMING ALL SURFACES (PRETREATMENT) SHALL BE INCLUDED IN THE WORK AS PART OF THE FINISHED SURFACE WORK. THE PAINT AND PRE-TREATMENTS SHALL BE APPLIED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND SPECIFICATIONS. THE PAINT SHALL BE PORTER PAINT, GLIDEX 4100 SERIES OR EQUIVALENT.
22. INSPECT EXISTING CONDITIONS OF THE PROJECT, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR TO MOVEMENT DURING CUTTING AND PATCHING. AFTER UNCOVERING WORK, INSPECT THE CONDITIONS AFFECTING THE INSTALLATION OF PRODUCTS OR PERFORMANCE OF THE WORK. REPORT UNSATISFACTORY OR QUESTIONABLE CONDITIONS IN WRITING; DO NOT PROCEED WITH THE WORK UNTIL THE CITY AND/OR THEIR APPOINTED REPRESENTATIVE HAS PROVIDED FURTHER INSTRUCTIONS.

23. ALL SIGNS SHOULD HAVE A CITY OF TAMPA DECAL (PROVIDED BY THE CITY) WITH DATE INSTALLED AFFIXED TO THE BACK OF THE SIGN IN THE BOTTOM RIGHT CORNER.
24. UTILITY CLEARANCE SHALL BE REQUIRED FOR ALL SIGN INSTALLATIONS INCLUDING EXISTING SIGN LOCATION. THE AWARDEE SHALL SECURE SAID UTILITY CLEARANCE.
25. ALL MATERIALS SHALL MEET FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS UNLESS APPROVED BY THE CITY OF TAMPA. SAID APPROVAL SHALL BE IN WRITING.
26. REPLACE STREET NAME SIGNS AS SHOWN ON THE SIGNING AND PAVEMENT MARKING PLANS AND THE HISTORIC SIGN DETAIL SHEETS, USING THE HISTORIC SIGNS TABLE BELOW.

HISTORIC SIGNS TABLE			
STA	OFFSET	SIGN ASSEMBLY NAME	SIGN TYPE
104+25	39' LT	Columbus Dr	A
		9th St	A
107+56	39' LT	Columbus Dr	A
		10th St	A
108+28	29' RT	Columbus Dr	A
		10th St	A
114+43	29' LT	Columbus Dr	A
		12th St	A
115+30	30' RT	Columbus Dr	A
		12th St	A
119+91	34' RT	Columbus Dr	A
		13th St	A
123+47	30' RT	Columbus Dr	A
		14th St/Republica de Cuba	B

LETTER STYLE: CAXTON BOLD

ABCDEFGHIJKLMN OPQR

abcdefghijklmnop 1234567890

LETTER STYLE: CHARLEMAGNE BOLD

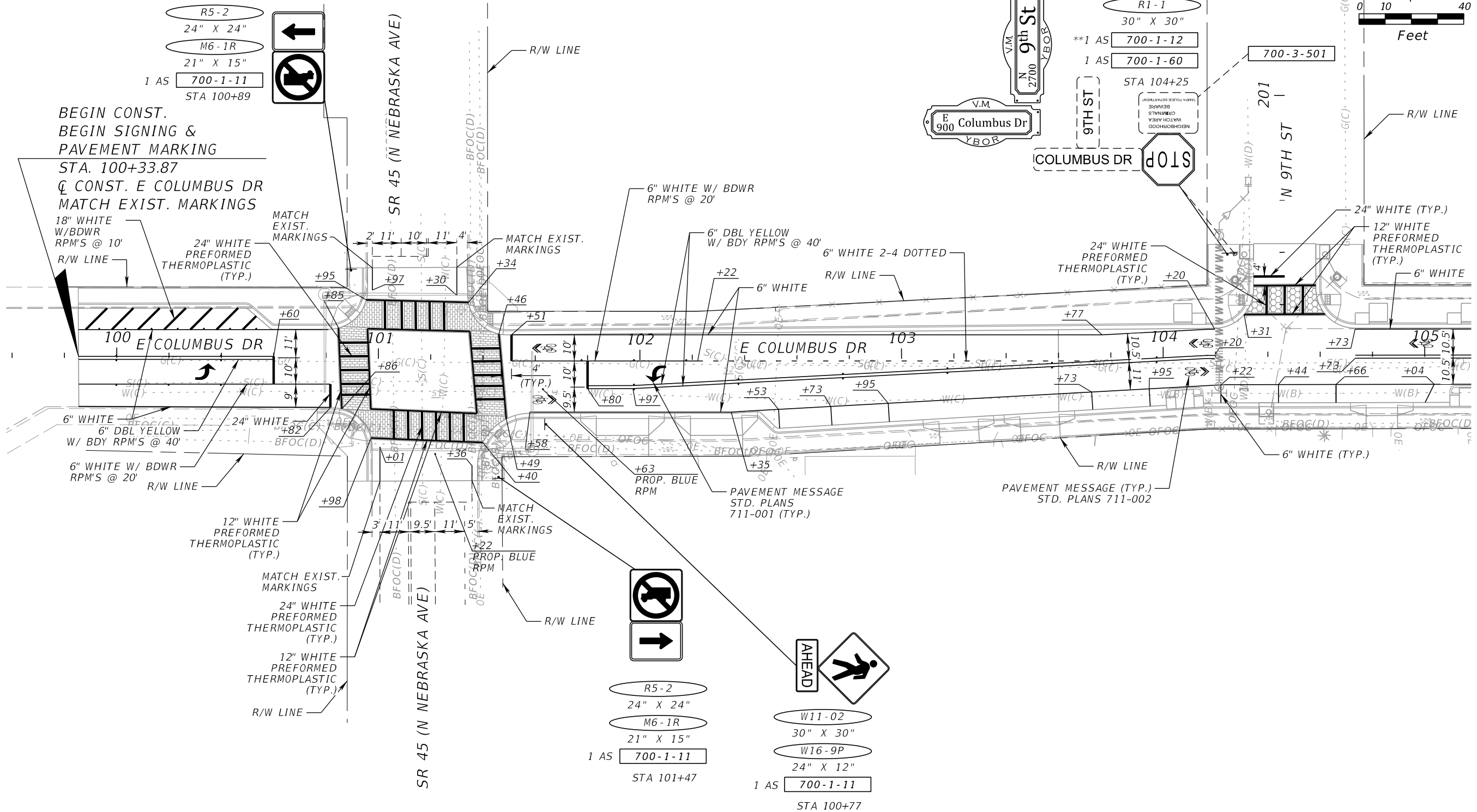
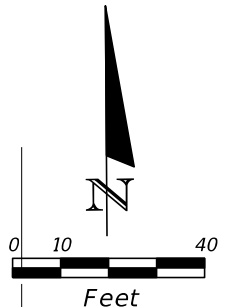
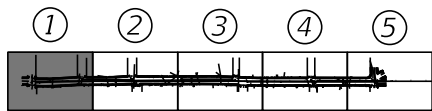
ABCDEFGHIJKLMN OPQR

1234567890

LETTERSTYLE OVERHEAD SIGNS:

"E-MOD" per FDOT Standard

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	



R5-2
24" X 24"
M6-1R
21" X 15"
1 AS 700-1-11
STA 100+89

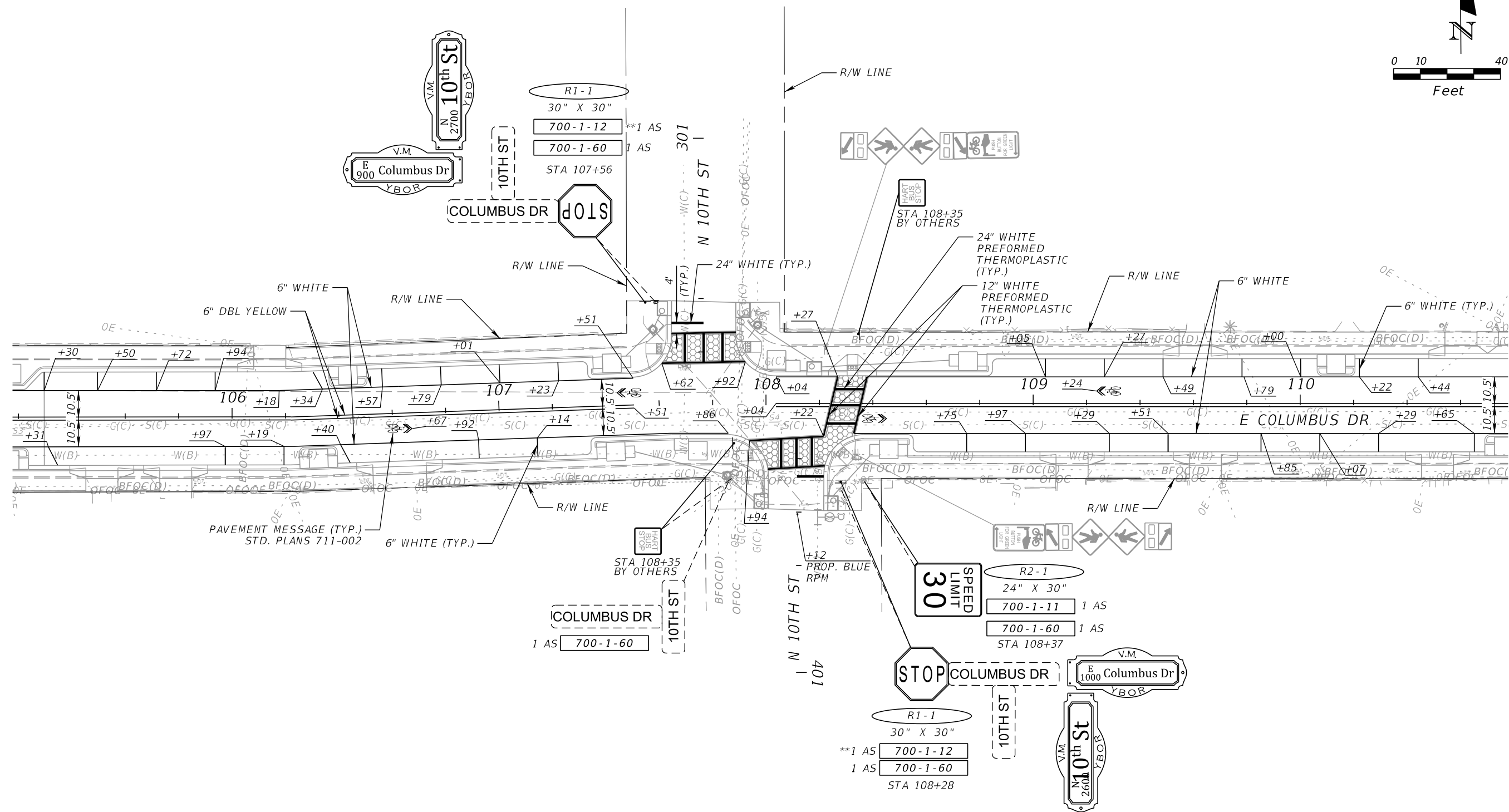
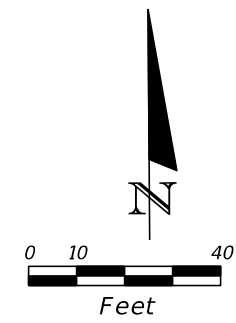
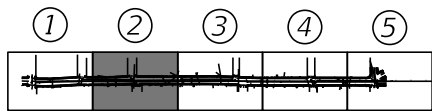
R1-1
30" X 30"
**1 AS 700-1-12
1 AS 700-1-60
STA 104+25

R5-2
24" X 24"
M6-1R
21" X 15"
1 AS 700-1-11
STA 101+47

W11-02
30" X 30"
W16-9P
24" X 12"
1 AS 700-1-11
STA 100+77

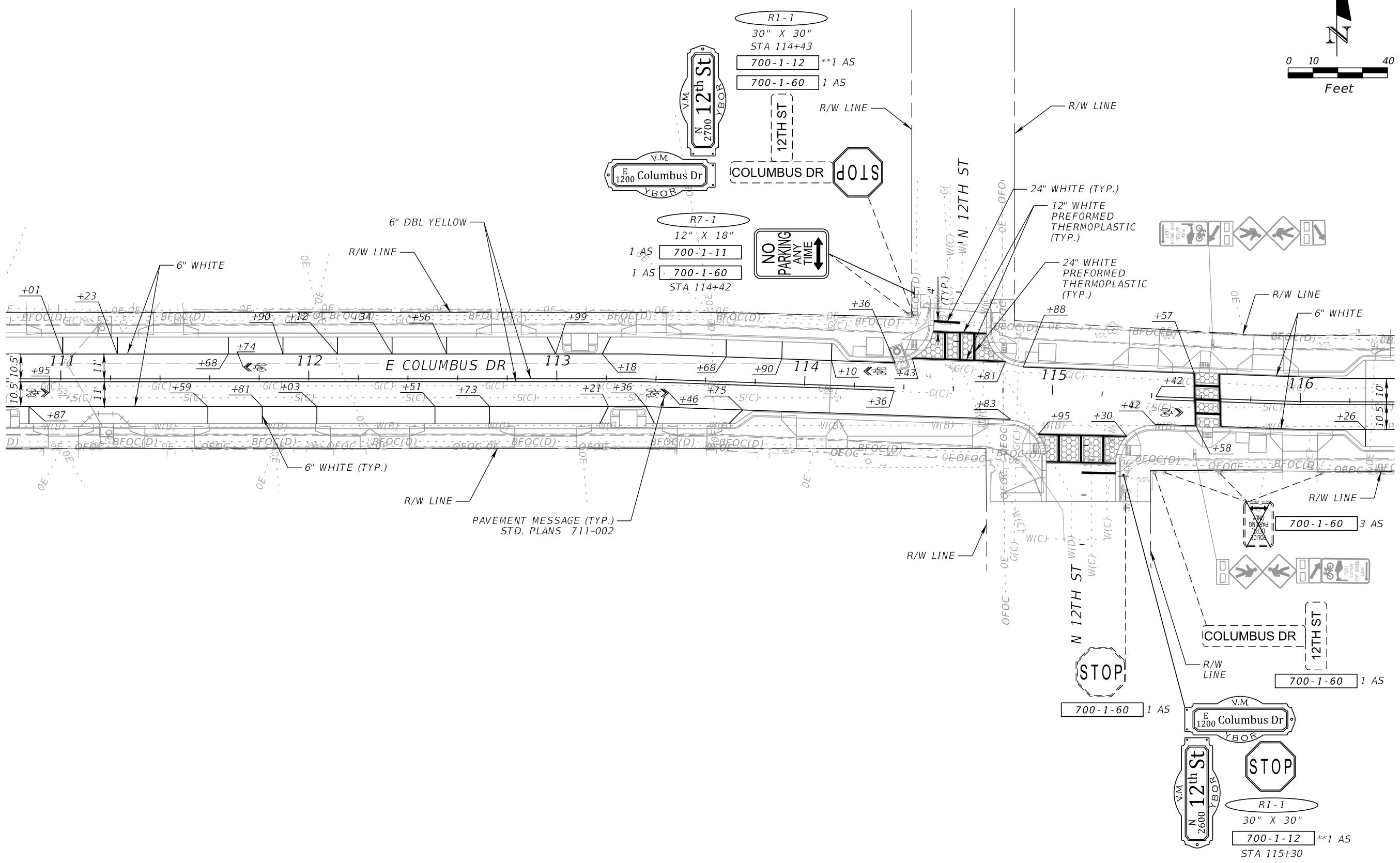
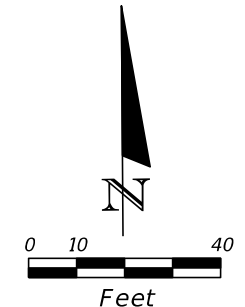
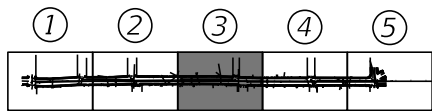
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. S-4
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



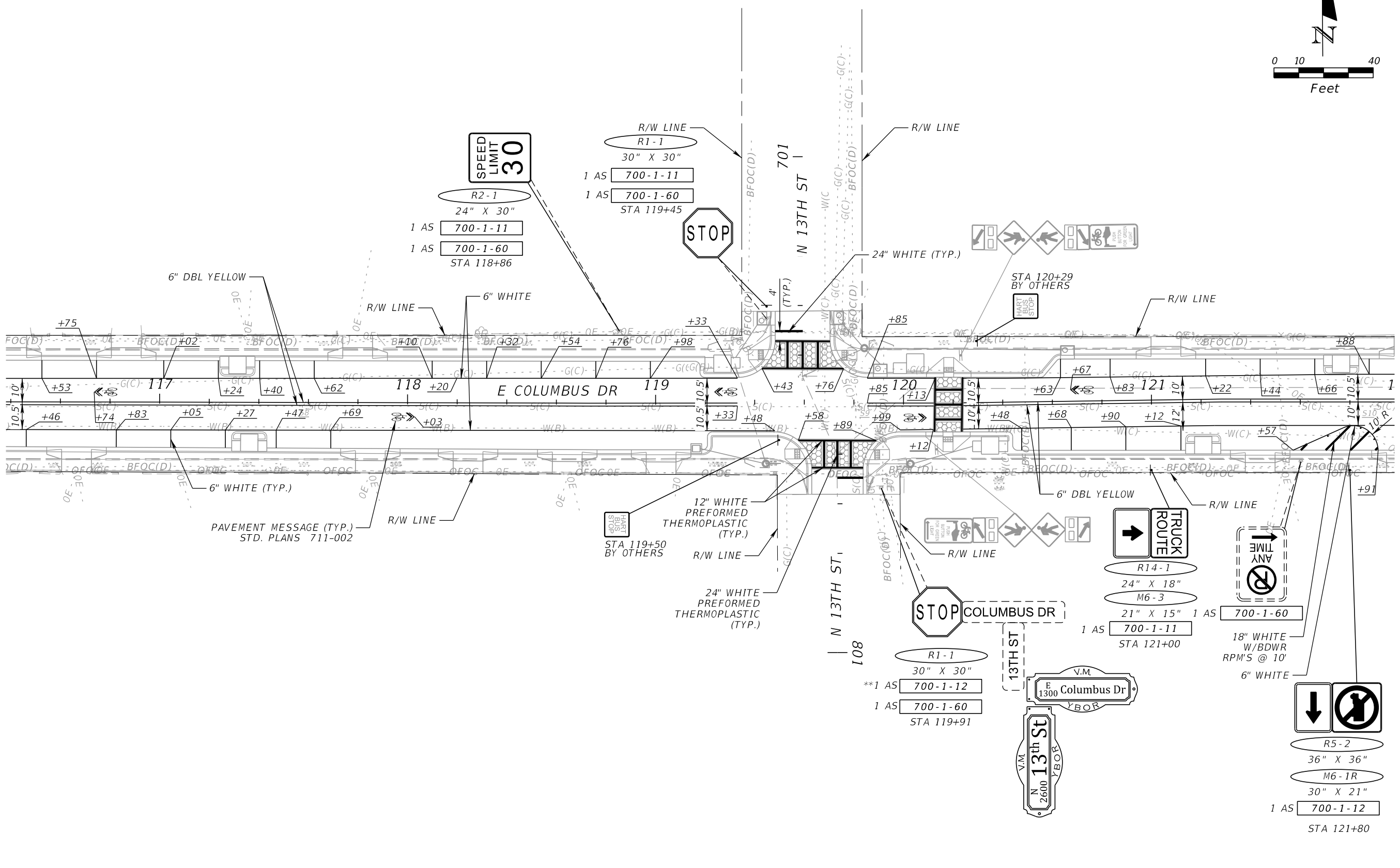
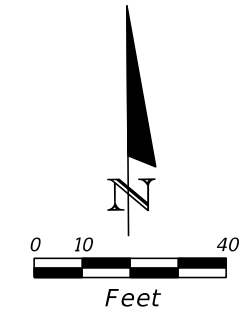
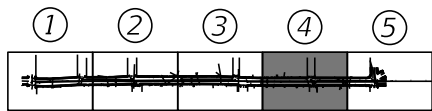
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. S-5
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



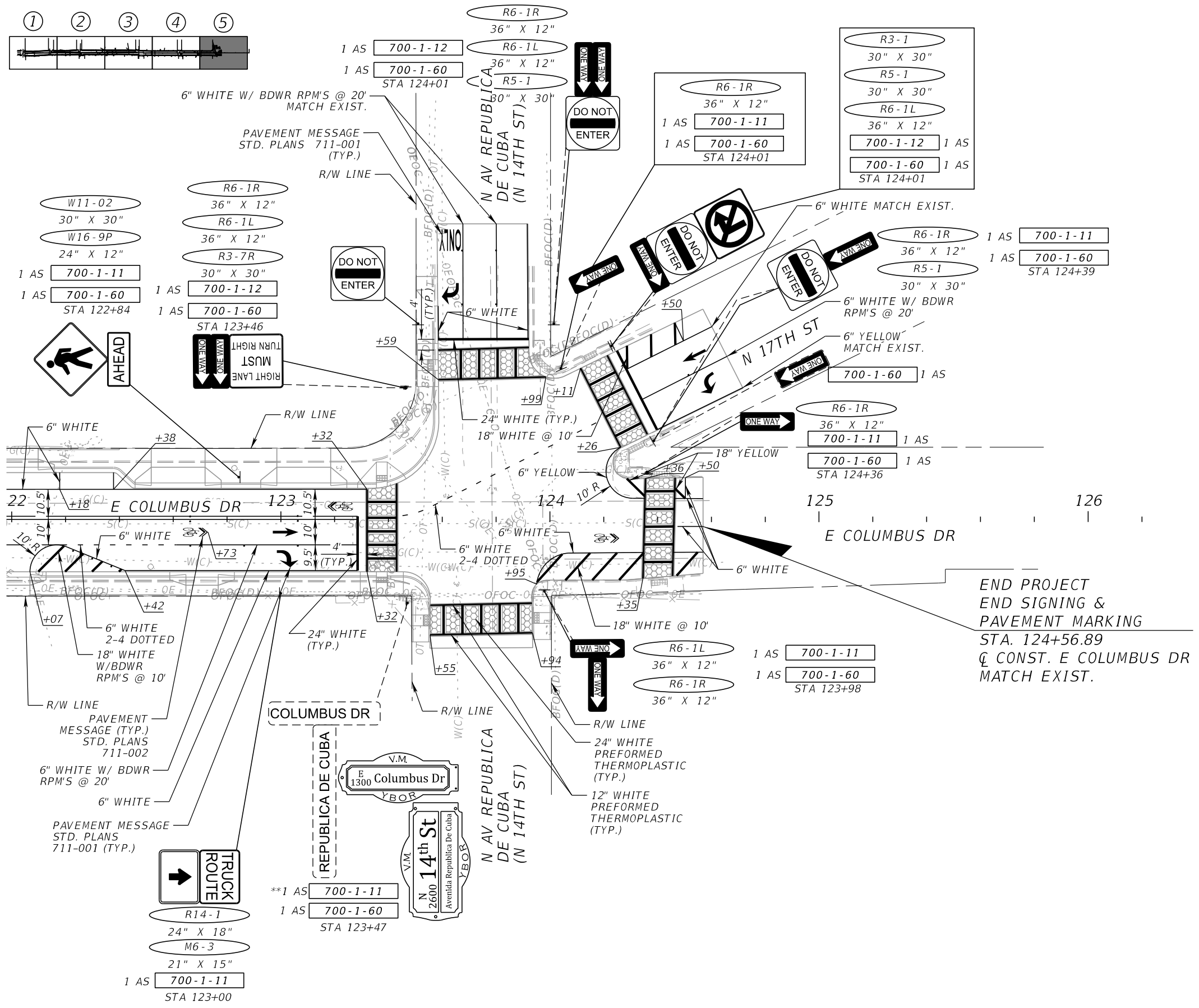
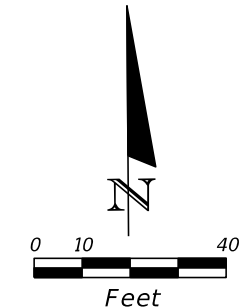
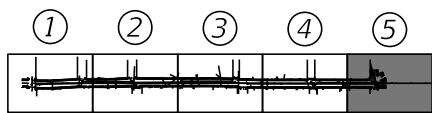
REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SIGNING AND PAVEMENT MARKING PLANS (3)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		S-6
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SIGNING AND PAVEMENT MARKING PLANS (4)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		S-7
					1001221	HILLSBOROUGH	436639-1-58-01		

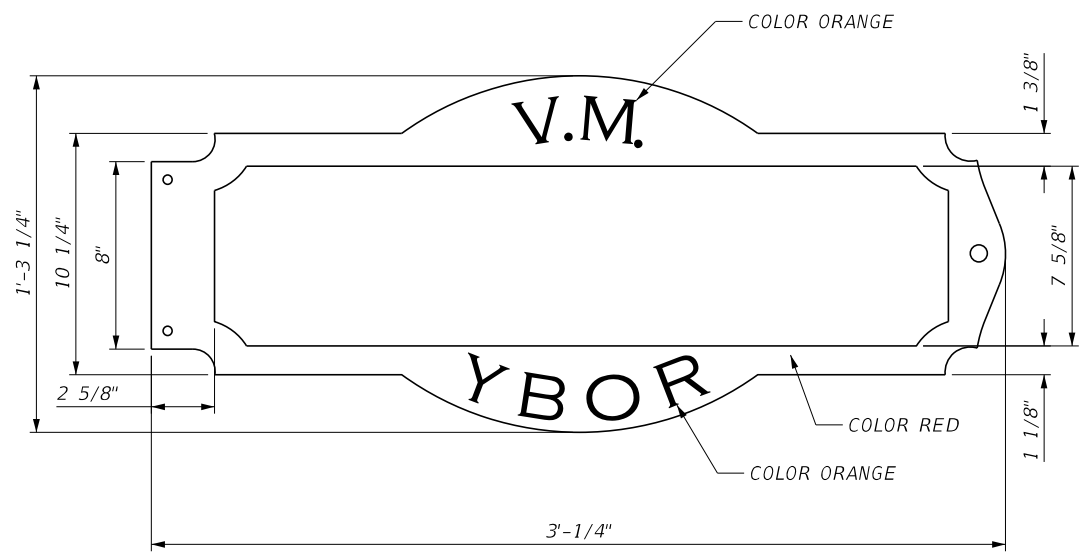
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



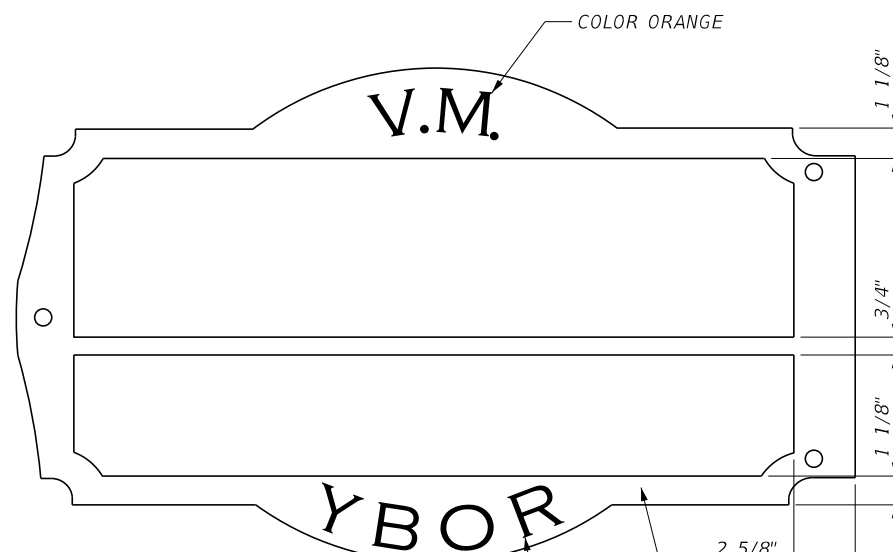
END PROJECT
 END SIGNING &
 PAVEMENT MARKING
 STA. 124+56.89
 & CONST. E COLUMBUS DR
 MATCH EXIST.

REVISIONS		REVISIONS		JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SIGNING AND PAVEMENT MARKING PLANS (5)	SHEET NO. S-8
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

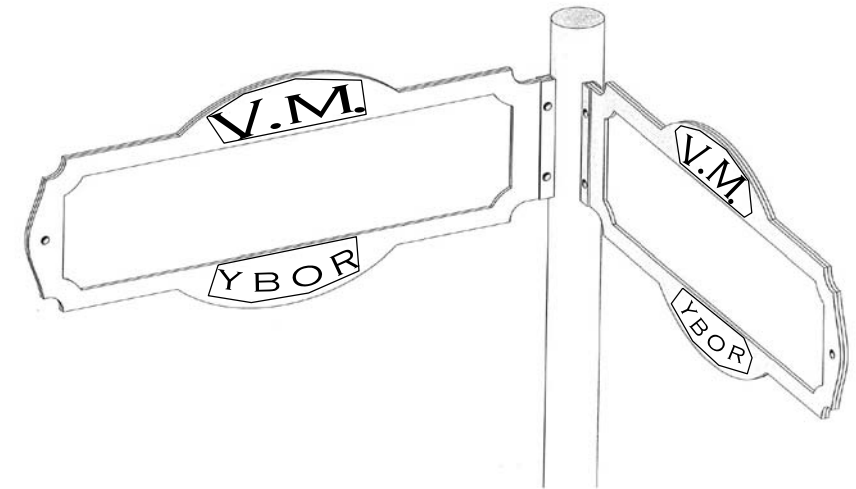
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



FRAME-STREET NAME-TYPE A
1/4" LASER-CUT ALUMINUM



FRAME-STREET NAME-TYPE B
1/4" LASER-CUT ALUMINUM



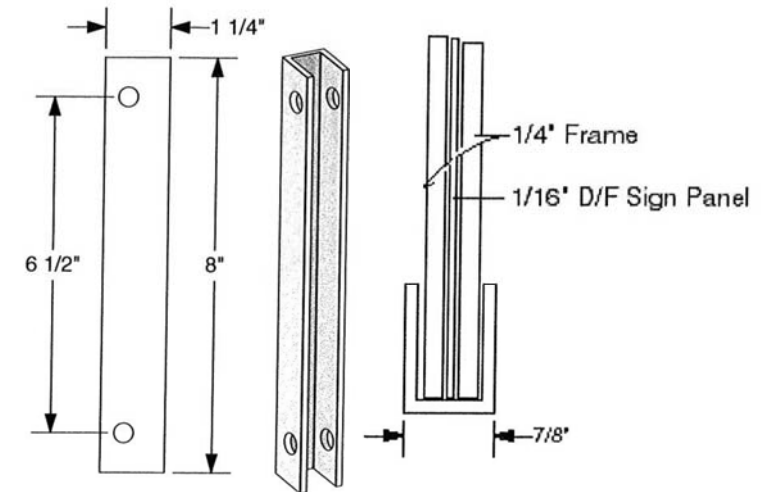
ISOMETRIC DETAIL
NTS



SIGN BLADE A-STREET NAME-TYPE A
1/16" ALUMINUM



SIGN BLADE A & B-STREET NAME-TYPE B
1/16" ALUMINUM



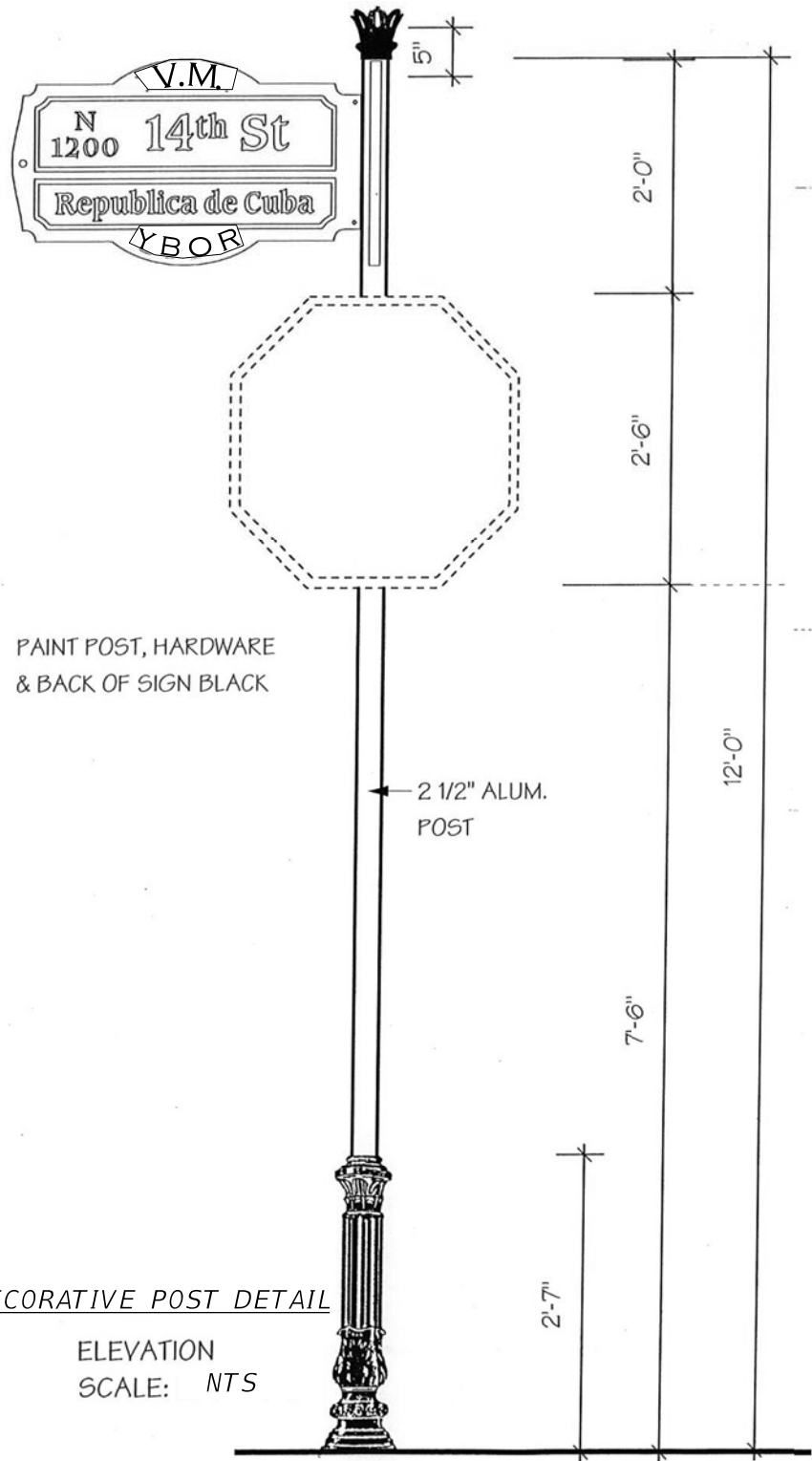
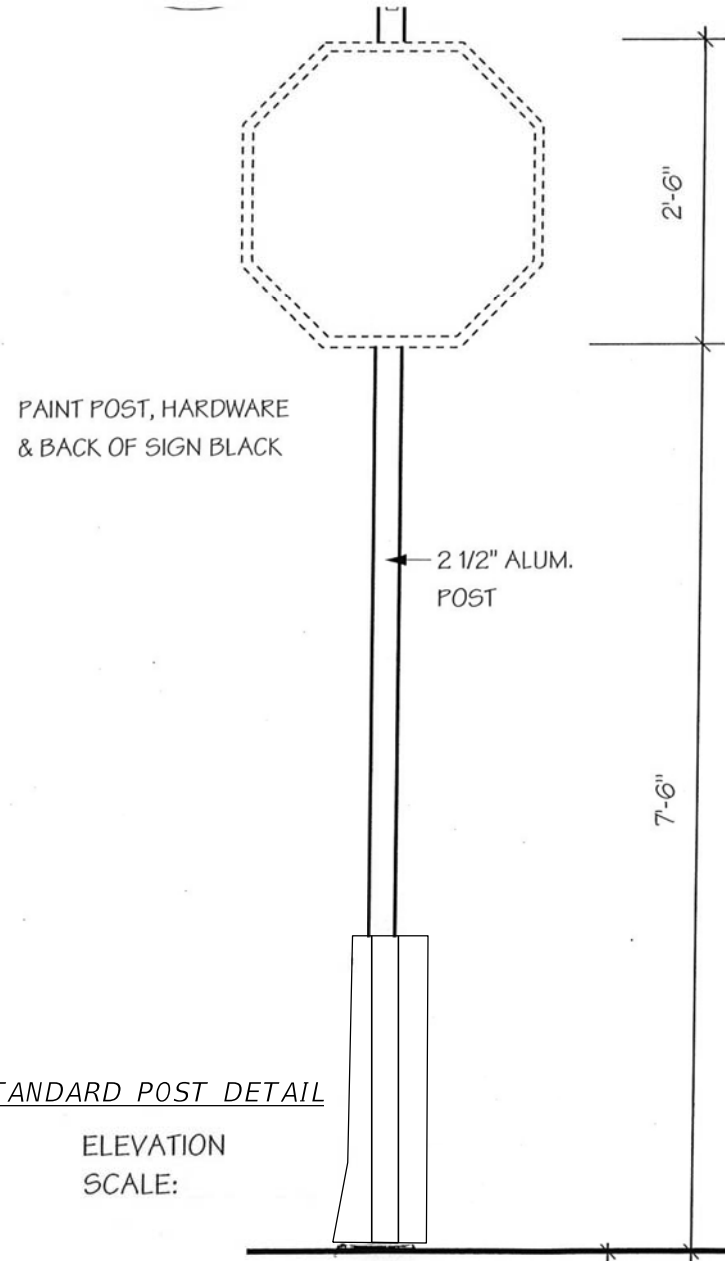
U-CHANNEL MOUNTING BRACKET

NOTE:

REFER TO LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 2009 EDITION, INCLUDING REVISION 1, DATED MAY 2012 AND REVISION 2, DATED MAY 2012 FOR MAINTAINING MINIMUM RETROREFLECTIVITY.

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. S-9
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

HISTORIC SIGN DETAILS (1)

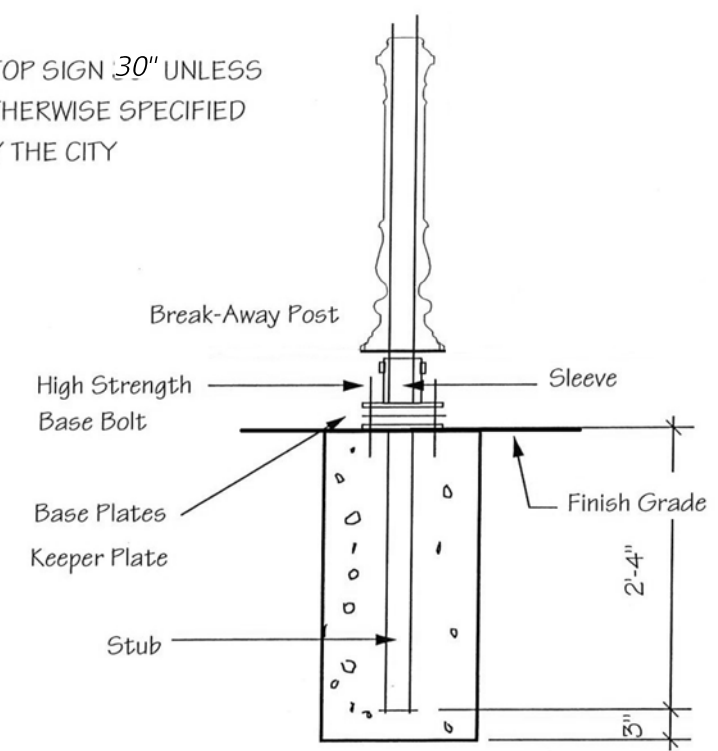


CROWN FINIAL
NTS

NOTE: MODIFIED CAP TO BE TRIMMED AS SHOWN.
(2) PIECE CAST ALUM.
WELD, FILL, SAND, PRIME & PAINT BLACK. PROVIDED POST CAP.
FITS 2 1/2" POST.
5" H X 5 1/2" W.

Corinthian Post & Cap
Orleans Ornamental Iron
3053 N. Rampart St.
New Orleans, LA 70117
800-824-3608

STOP SIGN 30" UNLESS OTHERWISE SPECIFIED BY THE CITY



FOUNDATION
SCALE: NTS

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. S-10
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

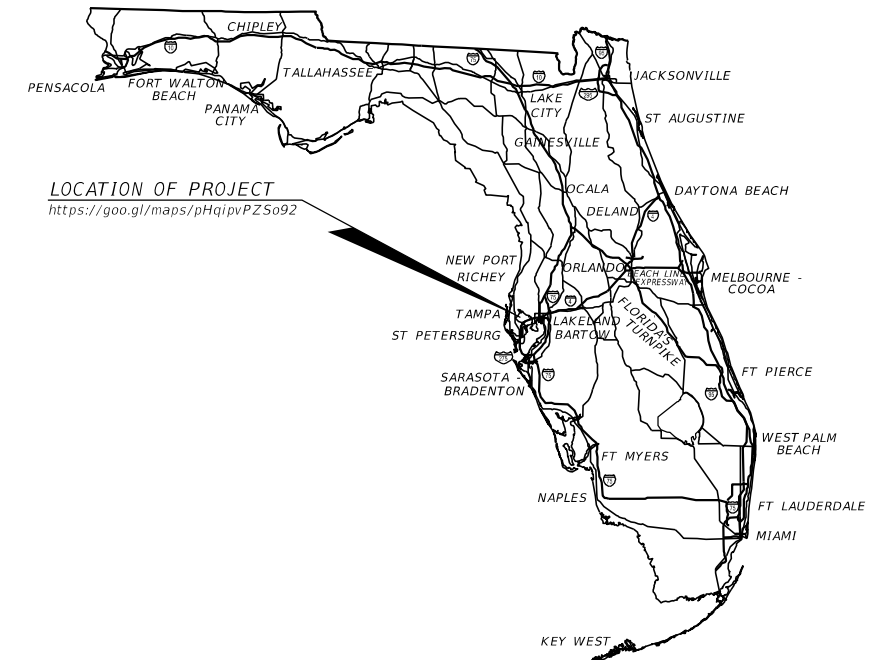
STATE OF FLORIDA
CITY OF TAMPA

WALK-BIKE LAP PROJECT

CITY PROJECT NO. 1001221
FINANCIAL PROJECT ID 436639-1-58-01
(FEDERAL FUNDS)
HILLSBOROUGH COUNTY
E COLUMBUS DR FROM SR 45 (N NEBRASKA AVE) TO N 14TH ST
SIGNALIZATION PLANS

INDEX OF SIGNALIZATION PLANS

SHEET NO.	SHEET DESCRIPTION
T-1	KEY SHEET
T-2	SIGNATURE SHEET
T-3	TABULATION OF QUANTITIES
T-4	GENERAL NOTES
T-5 THRU T-9	SIGNALIZATION PLAN
T-10	MAST ARM TABULATION SHEET
T-11	STANDARD MAST ARM ASSEMBLIES DATA TABLE
T-12 THRU T-13	GUIDESIGN WORKSHEET
T-14	REPORT OF CORE BORINGS
REFERENCE	HART SPLICING AND CONNECTION DETAIL



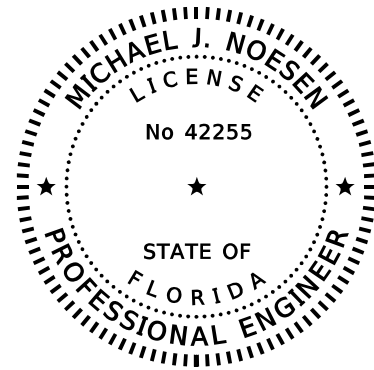
CONSTRUCTION PLANS
MARCH, 2020

SIGNALIZATION PLANS
ENGINEER OF RECORD:
MICHAEL J. NOESEN, P.E.
P.E. LICENSE NUMBER 42255
BES INC.
11007 N. 56TH ST., SUITE 208
TEMPLE TERRACE, FL 33617
813-985-7800
CERTIFICATE OF AUTHORIZATION 9835

CITY PROJECT MANAGER:
NINA MABILEAU, E.I.

FISCAL YEAR	SHEET NO.
21	T-1

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

Michael J Noesen
2020.05.20 15:10:17 -04'00'

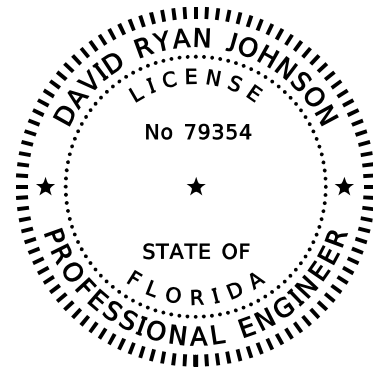
ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

BES INC.
1107 N 56TH ST, SUITE 209
TEMPLE TERRACE, FL 33617
CERTIFICATE OF AUTHORIZATION: 9835
MICHAEL J. NOESON, P.E. NO. 52144

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
T- 1	KEY SHEET
T- 2	SIGNATURE SHEET
T- 3	TABULATION OF QUANTITIES
T- 4	GENERAL NOTES
T- 5 THRU T- 9	SIGNALIZATION PLAN
T- 10	MAST ARM TABULATION SHEET
T- 12 THRU T- 13	GUIDESIGN WORKSHEET



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

David Johnson
Digitally signed by David Johnson
Date: 2020.05.19 15:07:51 -04'00'

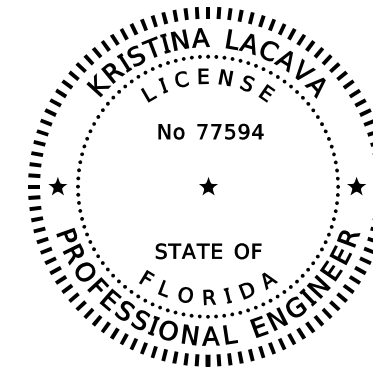
ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

AYRES ASSOCIATES INC
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION: 4356
DAVID RYAN JOHNSON, P.E. NO. 79354

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
T-2	SIGNATURE SHEET
T-11	STANDARD MAST ARM ASSEMBLIES DATA TABLE



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY

Digitally signed by Kristina S LaCava
Date: 2020.05.19 08:25:04 -04'00'

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

AREHNA ENGINEERING INC.
5012 WEST LEMON STREET
TAMPA, FL 33609
CERTIFICATE OF AUTHORIZATION: 28410
KRISTINA LACAVA, P.E. NO. 77594

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
T- 2	SIGNATURE SHEET
T- 14	REPORT OF CORE BORINGS

REVISIONS				MICHAEL J. NOESEN P.E. LICENSE NO. 42255 BES INC. 11007 N. 56TH ST., #208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION NO. 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	T-2

SIGNATURE SHEET

TABULATION OF QUANTITIES

PAY ITEM NO.	DESCRIPTION	UNIT	SHEET NUMBERS												TOTAL THIS SHEET		GRAND TOTAL		REF. SHEET
			T-5		T-6		T-7		T-8		T-9		PLAN	FINAL	PLAN	FINAL			
			PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL							
630-2-11	CONDUIT, F& I, OPEN TRENCH	LF	80									120				200		200	
630-2-12	CONDUIT, F& I, DIRECTIONAL BORE	LF	305									220				525		525	
632-7-1	SIGNAL CABLE- NEW OR RECONSTRUCTED INTERSECTION, FURNISH & INSTALL	PI	1									1				2		2	
632-7-6	SIGNAL CABLE, REMOVE - INTERSECTION	PI										1				1		1	
633-1-121	FIBER OPTIC CABLE, F&I, 2-12 FIBERS	LF	150													150		150	
633-2-32	FIBER OPTIC CONNECTION, INSTALL, TERMINATION	EA	12													12		12	
633-4-1	SIGNALS COMMUNICATION CABLE-TWISTED PAIR CABLE, F&I	LF										50				50		50	
633-4-6	SIGNALS COMMUNICATION CABLE-TWISTED PAIR CABLE, REMOVE	LF										30				30		30	
635-2-11	PULL & SPLICE BOX, F&I, 17" X 30" COVER SIZE	EA	13									15				28		28	
635-2-12	PULL & SPLICE BOX, F&I, 24" X 36" COVER SIZE	EA	1													1		1	
639-1-122	ELECTRICAL POWER SERVICE, F& I, UNDERGROUND, METER PURCHASED BY CONTRACTOR	AS	1													1		1	
639-1-610	ELECTRICAL POWER SERVICE, REMOVE OVERHEAD	AS	1													1		1	
639-2-1	ELECTRICAL SERVICE WIRE, F&I	LF	75									30				105		105	
639-3-11	ELECTRICAL SERVICE DISCONNECT, F&I, POLE MOUNT	EA	1													1		1	
641-2-11	PRESTRESSED CONCRETE POLE, F&I, TYPE P-II, PEDESTAL	EA	2													2		2	
641-2-12	PRESTRESSED CONCRETE POLE, F&I, TYPE P-II, SERVICE POLE (TEMPORARY)	EA	1													1		1	
641-2-70	PRESTRESSED CONCRETE POLE, SHALLOW POLE REMOVAL- POLE 30' AND GREATER	EA	2													2		2	
646-1-11	ALUMINUM SIGNALS POLE, PEDESTAL	EA	5									10				15		15	
646-1-60	ALUMINUM SIGNALS POLE, REMOVAL	EA	2									3				5		5	
649-21-12	STEEL MAST ARM ASSEMBLY, FURNISH AND INSTALL, DOUBLE ARM 60'-40'	EA	2													2		2	
650-1-14	VEHICULAR TRAFFIC SIGNAL, FURNISH & INSTALL ALUMINUM, 3 SECTION, 1 WAY	AS	8													8		8	
650-1-16	VEHICULAR TRAFFIC SIGNAL, FURNISH & INSTALL ALUMINUM, 4 SECTION, 1 WAY	AS	4													4		4	
650-2-102	VEHICULAR SIGNAL AUXILIARIES, REPAIR/REPLACE/RETROFIT- F& I, BACKPLATE- BLACK WITH REFLECTIVE BORDER	EA										7				7		7	
653-1-11	PED. SIGNAL, F&I, LED-COUNTDOWN, 1 WAY	AS	2									10				12		12	
653-1-12	PED SIGNAL, F&I, LED-COUNTDOWN, 2-WAYS	AS	3													3		3	
653-1-60	PED. SIGNAL, REMOVE PED SIGNAL - POLE/PEDESTAL TO REMAIN	AS										4				4		4	
654-2-22	RECTANGULAR RAPID FLASHING BEACON, FURNISH & INSTALL- SOLAR POWERED, COMPLETE SIGN ASSEMBLY- BACK TO BACK	AS			2		2		2							6		6	
660-1-103	LOOP DETECTOR , INDUCTIVE, F&I, TYPE 3	EA										4				4		4	
660-2-101	LOOP ASSEMBLY- F&I, TYPE A	AS										4				4		4	
660-4-11	VEHICLE DETECTION SYSTEM-VIDEO, F&I, CABINET EQUIPMENT	EA	1													1		1	
660-4-12	VEHICLE DETECTION SYSTEM-VIDEO, F&I, ABOVE GROUND EQUIPMENT	EA	4													4		4	
665-1-12	PEDESTRIAN DETECTOR, F&I, ACCESSIBLE	EA	8									10				18		18	
665-1-60	PEDESTRIAN DETECTOR, REMOVE - POLE/PEDESTAL TO REMAIN	EA										5				5		5	
670-5-110	TRAFFIC CONTROLLER ASSEMBLY, F&I, NEMA	AS	1									1				2		2	
670-5-600	TRAFFIC CONTROLLER ASSEMBLY, REMOVE CONTROLLER WITH CABINET	AS	1									1				2		2	
685-1-13	UNINTERRUPTIBLE POWER SUPPLY, F&I, LINE INTERACTIVE WITH CABINET	EA	1									1				2		2	
700-3-201	SIGN PANEL, F&I, OVERHEAD MOUNT, UP TO 12 SF	EA	4													4		4	
700-5-22	INTERNALLY ILLUMINATED SIGN, FURNISH & INSTALL, OVERHEAD MOUNT, 12-18 SF	EA	4									4				8		8	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

<table border="1"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>				REVISIONS		DATE	DESCRIPTION			MICHAEL J. NOESEN P.E. LICENSE NO. 42255 BES INC. 11007 N. 56TH ST., #208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION NO. 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT <table border="1"> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </table>	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	SHEET NO. T-3
REVISIONS																		
DATE	DESCRIPTION																	
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																
1001221	HILLSBOROUGH	436639-1-58-01																

SIGNALIZATION NOTES:

1. ONE WEEK PRIOR TO THE START OF THE TRAFFIC SIGNAL INSTALLATION, CONTACT BOTH:

CITY TRAFFIC MANAGEMENT CENTER (TMC) MR. BRIAN PASZKO CITY OF TAMPA 1104 E TWIGGS ST SUITE 200 TAMPA, FLORIDA 33602 PHONE: (813) 393-8439 EMAIL: Brian.Paszko@Tampagov.net	AND	TRAFFIC SIGNAL SHOP SUPERVISOR MR. SCOTT KEITH CITY OF TAMPA PHONE: (813) 951-2915 EMAIL: SCOTT.KEITH@TAMPAGOV.NET
---	-----	--

2. DISPOSE ALL REMOVED EQUIPMENT IN CONTRACTOR PROVIDED AREAS EXCEPT FOR THE TRAFFIC CONTROLLER. THE TRAFFIC CONTROLLER SHALL BE RETURNED TO THE TAMPA SIGNAL SHOP.
3. CONTACT MR JOHN GASKINS @ 813-351-9973 FOR INFORMATION AND INSTALLATION OF CITY OF TAMPA COMPATIBLE VIDEO DETECTION
4. ALL HART EQUIPMENT WITHIN THE CABINET ON THE SOUTHEAST STRAIN POLE SHALL BE TRANSFERRED TO THE NEW CABINET AND MOUNTED WITHIN THE NEW CONTROLLER CABINET AND PLACED BACK INTO OPERATION. HART MUST BE CONTACTED 72 HOURS BEFORE TRANSFER. COST SHALL BE INCLUDED IN THE COST OF THE NEW CONTROLLER. HART'S ITS SPLICING AND CONNECTION DETAIL IS INCLUDED IN THE PLAN SET FOR REFERENCE. ITS SYSTEM SHALL NOT BE OUT OF SERVICE FOR MORE THAN 24 HOURS.
5. TEMPORARY VEHICLE DETECTION AND PEDESTRIAN CROSSING DETECTION SHALL BE MAINTAINED PER PAY 102-104 AND 102-107 IN THE ROADWAY PLANS.
6. SUBMIT SIGNALIZATION BORE LOGS WITH THE AS-BUILT PLANS.
7. REQUEST AND OBTAIN APPROVAL FROM THE ENGINEER FOR AVIAN ABATEMENT TO PREVENT NESTING IN THE MAST ARM ASSEMBLY, INCLUDING THE ARM CONNECTION AREA.
8. EXISTING OVERHEAD COPPER COMMUNICATIONS CABLE AT COLUMBUS DR AND NEBRASKA AVE SHALL NOT BE REMOVED. THE COPPER COMMUNICATION CABLE IS IN USE AND MUST BE SUPPORTED BY A POLE AT THE SOUTHEAST CORNER. CONTACT MR SCOTT KEITH (CITY OF TAMPA, 813-951-2915) FOR GUIDANCE IN REMOVING THE DROP FROM THE AERIAL SPLICE BAGGIE AND ANY OTHER NECESSARY SPLICING NEEDS. PROVIDE MATERIAL FOR ANY NECESSARY RE-SPLICING/TERMINATING OF ANY ACTIVE/INACTIVE COPPER PAIRS. BEAR RESPONSIBILITY FOR ANY DAMAGE AND/OR REPLACEMENT OF ANY COPPER CABLE AND/OR RELATED EQUIPMENT.
9. CONTACT MR. SCOTT KEITH (CITY OF TAMPA, 813-951-2915) PRIOR TO REMOVAL AND REPLACEMENT OF THE 6 PAIR COPPER COMMUNICATIONS CABLE AT AVENIDA REPUBLICA DE CUBA INTERSECTION TO ENSURE PROPER COLORS ARE SPLICED.

PAY ITEM NOTES:

1. 630-2-11 AND 630-2-12
 CONDUITS INSTALLED WITH THE DIRECTIONAL BORE METHOD ARE HDPE, UNLESS OTHERWISE NOTED IN THE PLANS.

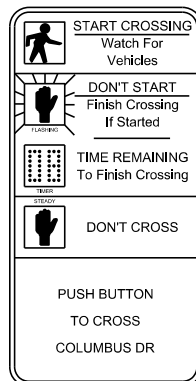
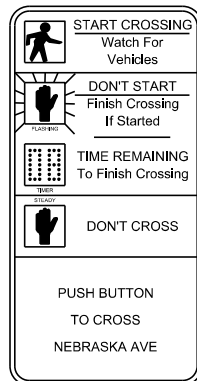
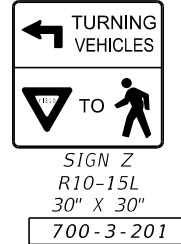
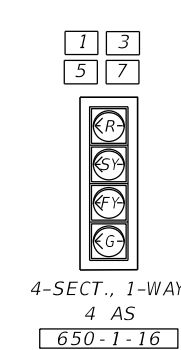
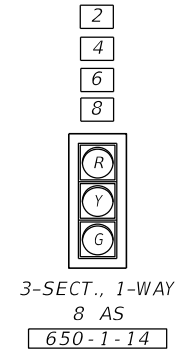
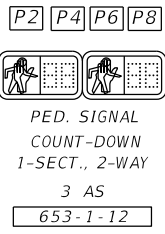
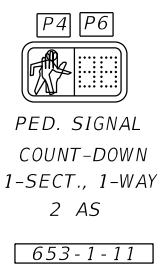
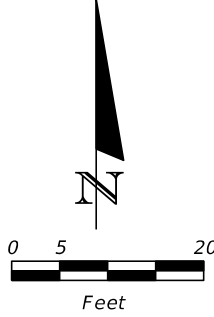
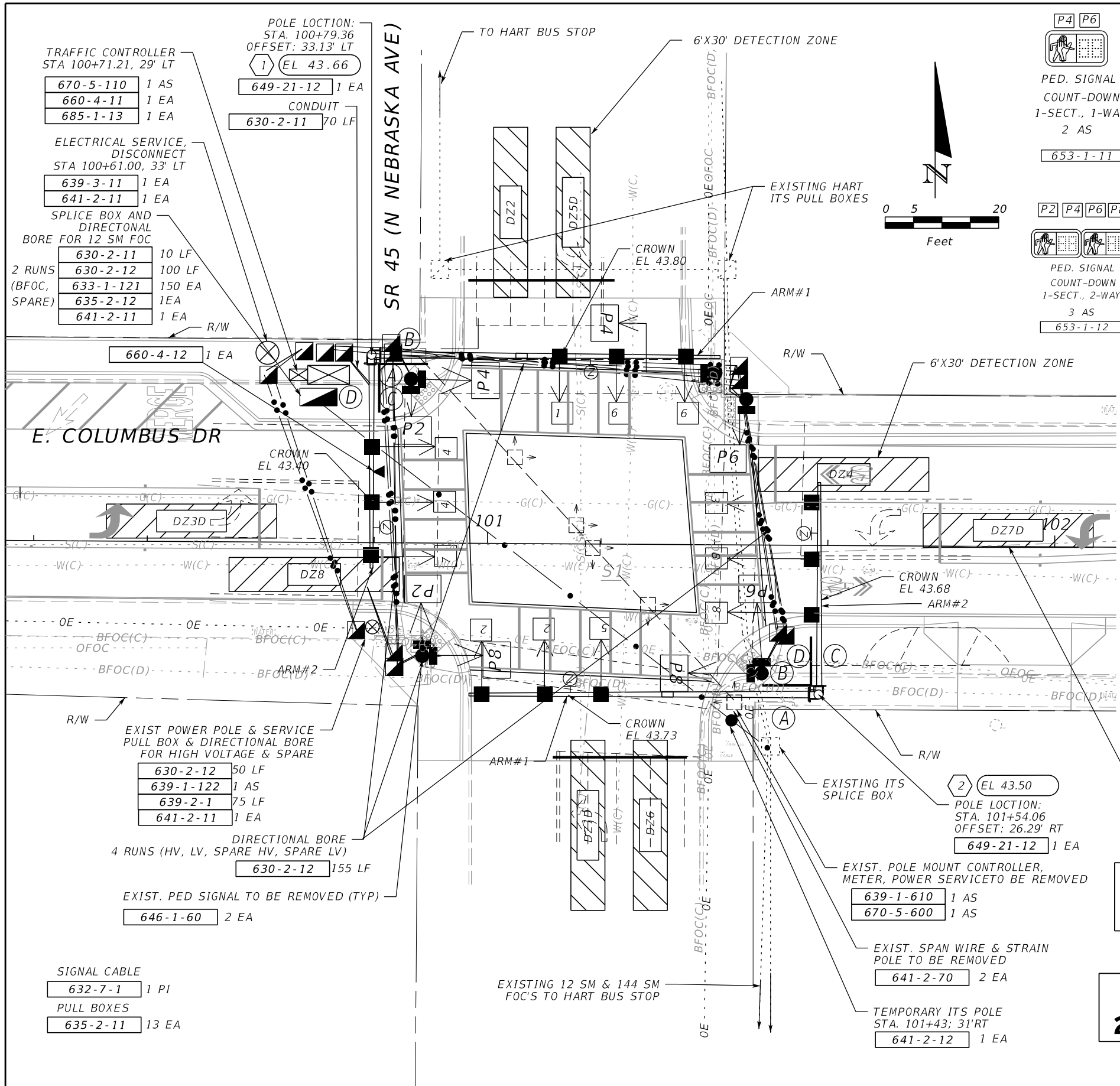
 TWO SEPARATE UNDERGROUND CONDUIT RUNS LOCATED 180 DEGREES APART ARE REQUIRED FOR MAST ARMS. INSTALL A MINIMUM OF TWO RUNS OF TWO INCH CONDUIT BETWEEN THE LAST LOW VOLTAGE (LOOPS) PULL BOX LOCATED NEAR THE CONTROLLER CABINET AND THE CONTROLLER CABINET.

 CONDUIT RUNS SHOWN ARE SCHEMATIC AND FIELD ADJUSTMENTS MAY BE NECESSARY. DETERMINE EXACT LOCATIONS OF ALL UTILITIES PRIOR TO DIGGING. ALL CONDUITS SHALL BE TERMINATED WITH A BELL END. SPARE CONDUITS ARE TO BE CAPPED AND HAVE TRACK WIRE OR MULE TAPE.
2. 632-7-1:
 WIRE EACH PHASE/MOVEMENT FROM THE SIGNAL DISPLAY TO THE CONTROLLER AS A SEPARATE PHASE/MOVEMENT. THIS INCLUDES THE LEFT TURN MOVEMENT WHICH HAVE CONDUCTORS AVAILABLE FOR EITHER PROTECTED OR PERMISSIVE MOVEMENTS. VERIFY COLOR CODES FOR SIGNAL CABLE AND INTERCONNECT CABLE WITH THE CITY OF TAMPA TRAFFIC SIGNAL SUPERVISOR BEFORE ORDERING, AND WIRE THE SIGNAL IN ACCORDANCE WITH THAT COLOR CODE AND F.D.O.T. SPECIFICATIONS. INSTALL ONE NEUTRAL PER APPROACH.

 ALL FIELD WIRING MUST BE NEATLY BUNDLED AND CLEARLY IDENTIFIED WITH PERMANENT, LEGIBLE, WEATHER-PROOF TAGS SECURELY ATTACHED TO EACH CABLE. THE TAGGING SYSTEM SHALL BE SUBMITTED FOR APPROVAL WITH THE OTHER EQUIPMENT SUBMITTALS.
3. 635-2-11: ANY PULL BOXES THAT REMAIN AFTER THE CONSTRUCTION OF THE PROJECT BUT NO LONGER NEEDED FOR THE TRAFFIC OPERATION ARE TO BE REMOVED, AND FILLED IN WITH CONCRETE OR REPLACEMENT OF SIDEWALK PANEL.

 GROUND RODS CAN BE WITHIN THE PEDESTRIAN SIGNAL FOUNDATION OR WITHIN THE PEDESTRIAN SIGNAL PULL BOX THAT IS WITHIN 10 FEET OF THE PEDESTRIAN POLE. IF THESE APPLICATIONS ARE NOT AVAILABLE, GROUND RODS NEED TO BE ACCESSIBLE FOR INSPECTION. ONE GROUND ROD PER POLE.
4. 649-21-12: MAST ARM STRUCTURES ARE TO BE RATED FOR 150 MPH WIND SPEED.
5. 654-2-22: RRFB'S MUST BE ACCEPTABLE TO THE CITY. RRFB PEDESTRIAN BUTTONS MUST HAVE A TACTILE ARROW WITH NO LED, CHIRP OR LATCHING CAPABILITIES. RRFB'S MUST HAVE SUPPORT COLLARS WITH ROLL PINS. SIDE CAPS MOUNTED ON THE EDGES OF THE FLASHER HOUSING ARE TO BE REMOVED.
6. 660-4-12: ONE FISHEYE, BELL TYPE CAMERA TO DETECT TRAFFIC IN ALL DIRECTIONS.
7. 665-1-12:
 COORDINATE WITH THE CITY OF TAMPA SIGNAL SHOP FOR ACCEPTABLE CHOICES OF PEDESTRIAN DETECTORS AND OPERATIONS. PIEZO STYLE LATCHING PUSH BUTTON SHALL INCLUDE VISUAL INDICATION OF ACTUATION AND SHALL REMAIN ILLUMINATED UNTIL THE PEDESTRIAN WALK INDICATION IS DISPLAYED. DIRECTION SPECIFIC PUSH BUTTON SHALL HAVE A TACTILE ARROW. APPROPRIATE BUTTONS MUST HAVE LEFT OR RIGHT ARROWS AND MUST BE ALIGNED WITH AND POINTING AT THE DESIGNATED PEDESTRIAN RAMP. THE BUTTON MUST BE MOUNTED SO SPEAKER IS FACING DOWN. INCIDENTAL EQUIPMENT MAY BE REQUIRED FOR PROPER OPERATION.
8. 670-5-100:
 THIS PAY ITEM SHALL INCLUDE ALL COSTS ASSOCIATED WITH FURNISHING AND INSTALLING A FULLY LOADED TS2 TYPE-1, SIZE P-44 CONTROLLER ASSEMBLY WITH AN EIGHT PHASE BACKPLANE, MINIMUM SIXTEEN LOAD BAY POSITIONS, NO PAINT OUTSIDE, WHITE PAINT INSIDE, GPS CLOCK SYNC, TWO QUAD OUTLETS, ONE DUPLEX GFI, WALL MOUNT PATCH PANEL (12X SINGLE MODE WITH SC-CONNECTORS), ETHERNET EDGE SWITCH, CONTROLLER WITH CENTRAL SOFTWARE LICENSE COMPATIBLE WITH THE CITY'S CENTRACS TRAFFIC CONTROL SYSTEM MMU AND ANY HART EQUIPMENT. NOTIFY CITY OF TAMPA SIGNAL SHOP (MR SCOTT KEITH @ 813-951-2915, SCOTT.KEITH@TAMPAGOV.NET) AND FDOT DISTRICT SEVEN TRAFFIC OPERATION (MR DWAYNE DEMPSEY, 813-975-6226, CURTIS.DEMPSEY@DOT.STATE.FL.US) AT LEAST 48 HOURS IN ADVANCE OF TURNING ON A NEW OR MODIFIED CONTROLLER CABINET ASSEMBLY. CABINET DOOR SHALL OPEN AWAY FROM THE TRAFFIC. THE TECHNICIAN SLAB SHALL BE A MAXIMUM OF 4" BELOW THE TOP OF THE CONCRETE PAD.
9. 700-5-21; 700-5-22:
 SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR THE FREE-SWINGING INTERNALLY ILLUMINATED STREET NAME BRACKET ARMS PER STANDARD PLAN INDEX 700-050. THE DESIGN WIND SPEED IS 150 MPH. THE PANELS SHALL BE TWO-SIDED (BACK TO BACK).

REVISIONS				MICHAEL J. NOESEN P.E. LICENSE NO. 42255 BES INC. 11007 N. 56TH ST., #208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION NO. 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	GENERAL NOTES
								T-4



FTP-68B-06 SIGNS (8 EA)

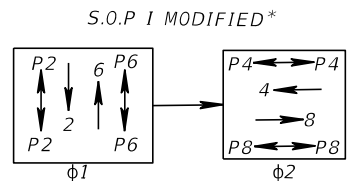
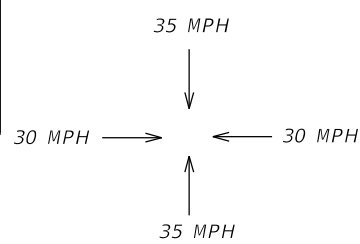
GENERAL NOTES:

1. MAJOR STREET IS SR 45 - N. NEBRASKA AVENUE (MOVEMENTS 2 & 6), AND MINOR STREET IS E. COLUMBUS DR. (MOVEMENTS 4 & 8).
2. FLASHING OPERATION IS YELLOW FOR MOVEMENTS 2 & 6 AND RED FOR MOVEMENTS 1,3,4,5,7&8.
3. ALL ABOVE GROUND EQUIPMENT SHALL REMAIN UNLESS OTHERWISE NOTED.
4. EXISTING SIGNAL TIMINGS ARE TO REMAIN UNLESS OTHERWISE NOTED.
5. HART EQUIPMENT TO BE RELOCATED TO NEW CONTROLLER. AERIAL COPPER COMMUNICATION CABLE TO BE RELOCATED TO TEMPORARY POLE.

TIMING FUNCTION	1	2	3	4	5	6	7	8
MINIMUM GREEN	*	*	*	*	*	*	*	*
EXTENSION	*	*	*	*	*	*	*	*
MAXIMUM GREEN 1	*	*	*	*	*	*	*	*
MAXIMUM GREEN 2	*	*	*	*	*	*	*	*
YELLOW CLEARANCE	4.0	4.0	3.7	3.7	4.0	4.0	3.7	3.7
ALL RED	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
PEDESTRIAN WALK	7.0		7.0		7.0		7.0	
PED. CLEARANCE	7.0		8.0		7.0		8.0	
RECALL	*	*	*	*	*	*	*	*

646-1-11	5 EA
665-1-12	8 EA

P2/P8: STA 100+86, 20' RT.
P2/P4: STA 100+86, 31' LT.
P4: STA 101+40, 30' LT.
P6: STA 101+46, 26' LT.
P6/P8: STA 101+50, 24' RT.



* MOVEMENTS 1,3,5,7 ARE PERMISSIVE WITH FLASHING YELLOW ARROWS

**E Columbus
800 Dr 900**

SIGN A
7'X2'

**E Columbus
900 Dr 800**

SIGN B
7'X2'

**N Nebraska
2300 Ave 2700**

SIGN C
7.5'X2'

700-5-22 4 EA

**N Nebraska
2700 Ave 2300**

SIGN A
7.5'X2'

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

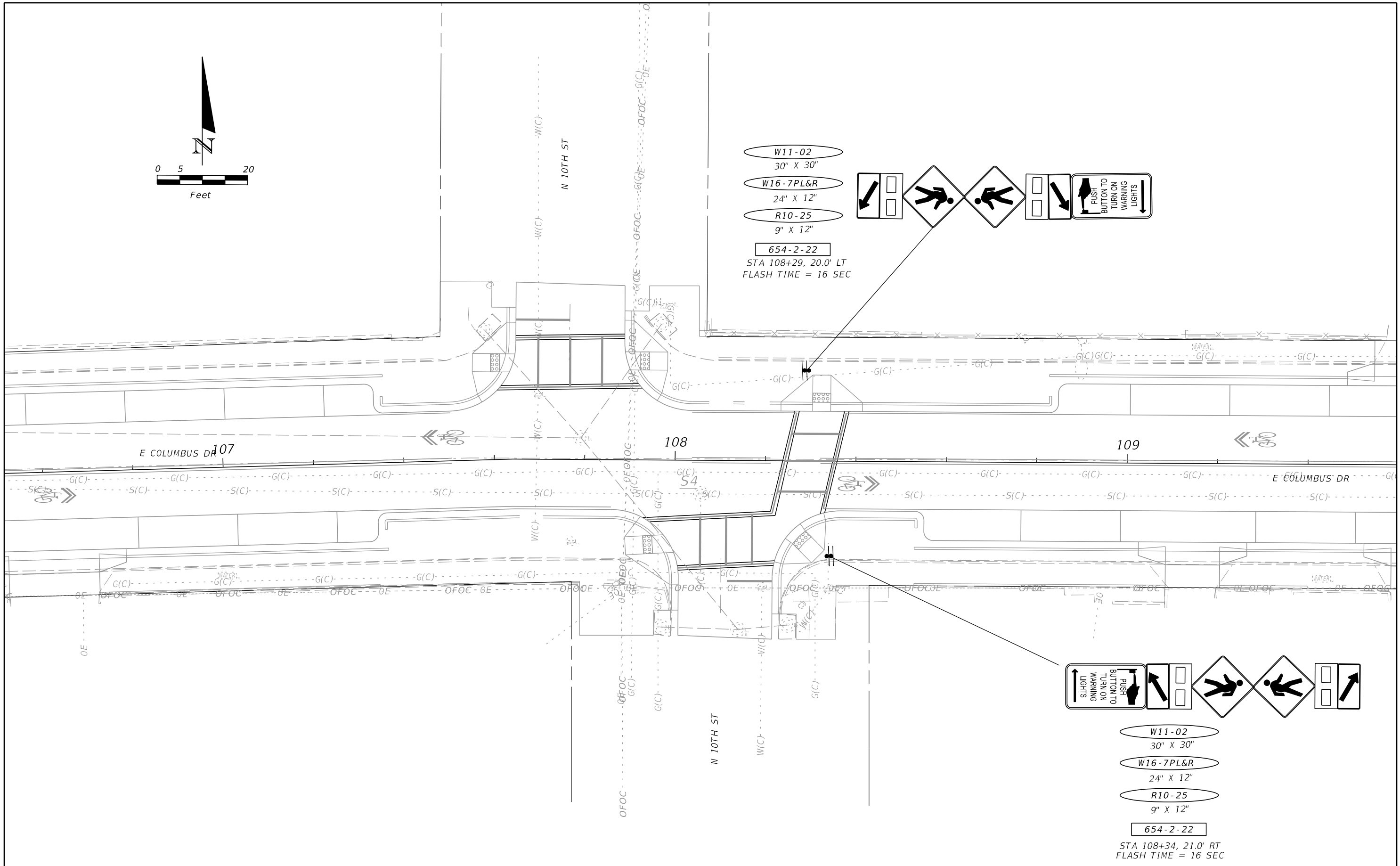
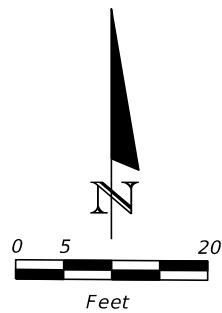
MICHAEL J. NOESEN
P.E. LICENSE NO. 42255
BES INC.
11007 N. 56TH ST., #208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF
AUTHORIZATION NO. 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SIGNALIZATION PLAN (1)

SHEET NO.
T-5

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23-.004, F.A.C.



W11-02
 30" X 30"
 W16-7PL&R
 24" X 12"
 R10-25
 9" X 12"
 654-2-22
 STA 108+29, 20.0' LT
 FLASH TIME = 16 SEC

W11-02
 30" X 30"
 W16-7PL&R
 24" X 12"
 R10-25
 9" X 12"
 654-2-22
 STA 108+34, 21.0' RT
 FLASH TIME = 16 SEC

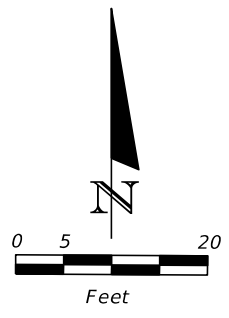
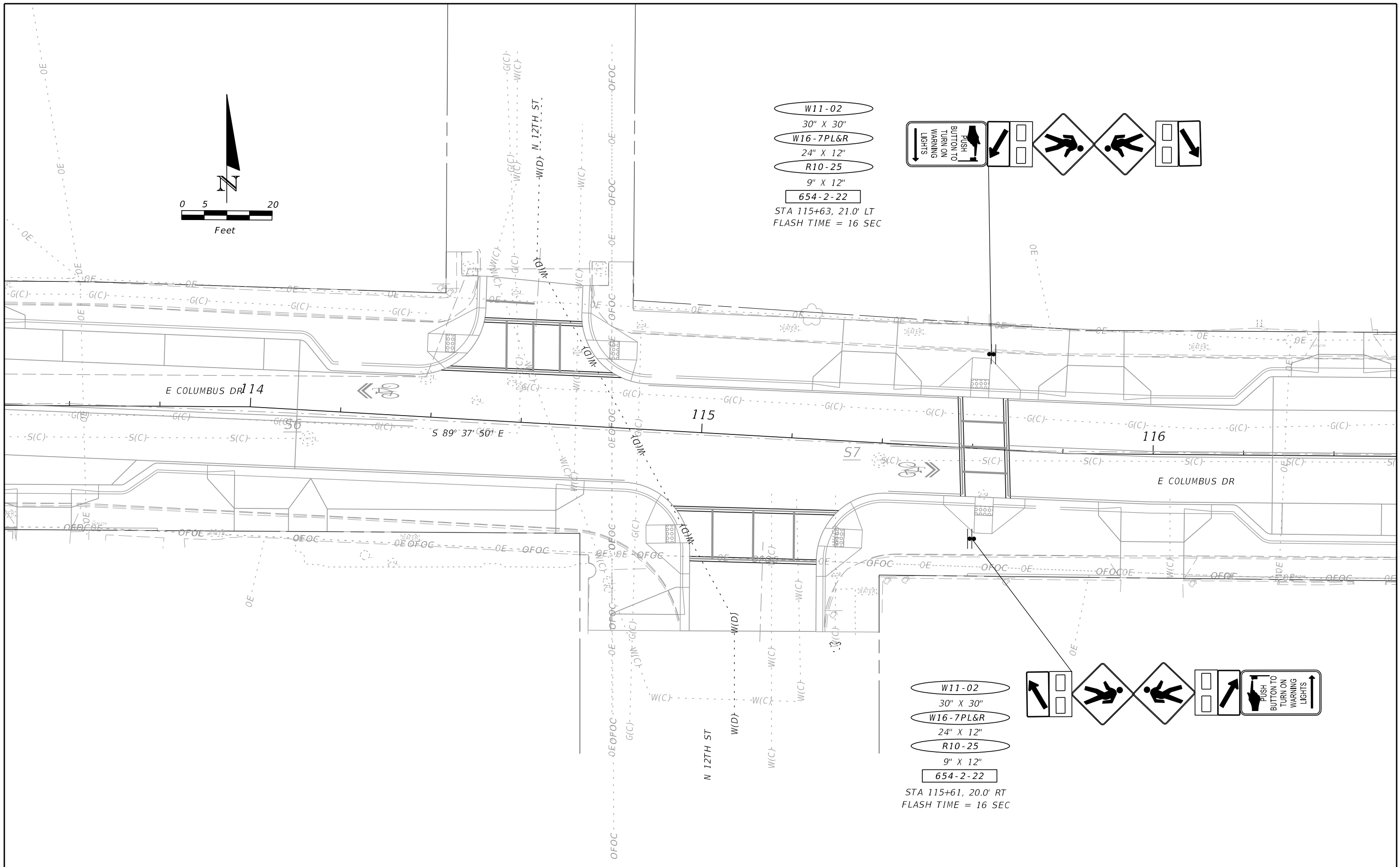
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

MICHAEL J. NOESEN
 P.E. LICENSE NO. 42255
 BES INC.
 11007 N. 56TH ST., #208
 TEMPLE TERRACE, FL 33617
 CERTIFICATE OF
 AUTHORIZATION NO. 9835

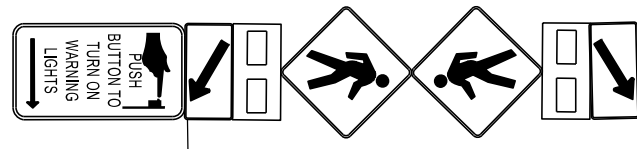
CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SIGNALIZATION PLAN (2)
 SHEET NO.
 T-6

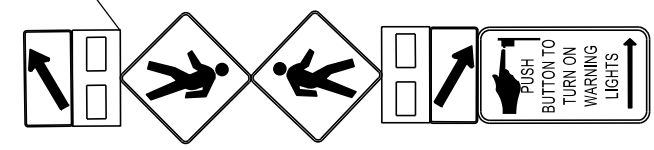
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



- W11-02
30" X 30"
 - W16-7PL&R
24" X 12"
 - R10-25
9" X 12"
 - 654-2-22
- STA 115+63, 21.0' LT
FLASH TIME = 16 SEC



- W11-02
30" X 30"
 - W16-7PL&R
24" X 12"
 - R10-25
9" X 12"
 - 654-2-22
- STA 115+61, 20.0' RT
FLASH TIME = 16 SEC



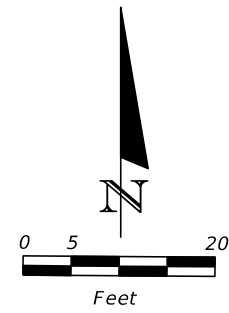
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

MICHAEL J. NOESEN
P.E. LICENSE NO. 42255
BES INC.
11007 N. 56TH ST., #208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF
AUTHORIZATION NO. 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

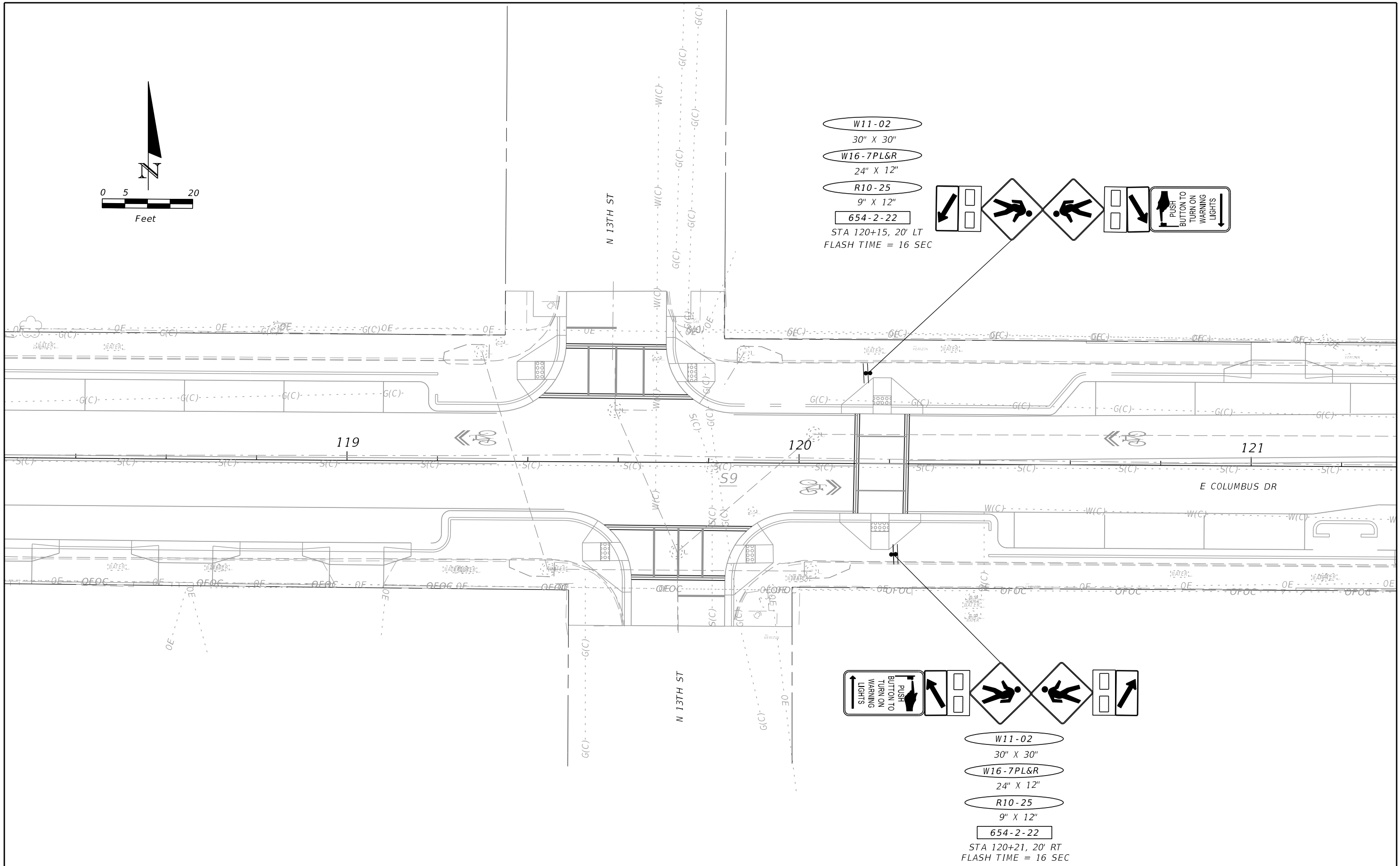
SIGNALIZATION PLAN (3)		SHEET NO.
		T-7

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



W11-02
 30" X 30"
 W16-7PL&R
 24" X 12"
 R10-25
 9" X 12"
 654-2-22
 STA 120+15, 20' LT
 FLASH TIME = 16 SEC

W11-02
 30" X 30"
 W16-7PL&R
 24" X 12"
 R10-25
 9" X 12"
 654-2-22
 STA 120+21, 20' RT
 FLASH TIME = 16 SEC



REVISIONS				MICHAEL J. NOESEN P.E. LICENSE NO. 42255 BES INC. 11007 N. 56TH ST., #208 TEMPLE TERRACE, FL 33617 CERTIFICATE OF AUTHORIZATION NO. 9835	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SIGNALIZATION PLAN (4)	SHEET NO. T-8
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1001221	HILLSBOROUGH	436639-1-58-01			

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

**Avenida Republica
2600 de Cuba 2700**

SIGN E
8'X2'

**Avenida Republica
2700 de Cuba 2600**

SIGN F
8'X2'

**E Columbus
1300 Dr 1400**

SIGN G
7'X2'

**E Columbus
1400 Dr 1300**

SIGN H
7'X2'

700-5-22 4 EA

PED SIGNAL POLE & DETECTOR
STA 123+51, 59.0' LT
646-1-11 1 EA
665-1-12 1 EA

630-2-11 30 LF

EXISTING CONC. SIGNAL
POLE TO REMAIN

EXISTING PED SIGNALS &
DETECTORS TO BE REMOVED
653-1-60 2 AS
665-1-60 2 EA

PED SIGNAL POLE & DETECTOR
STA 123+35, 24.0' LT
646-1-11 1 EA
665-1-12 1 EA

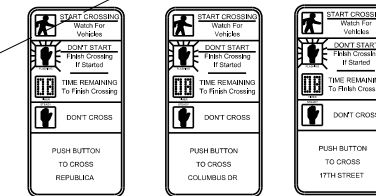
TYPE "A" 6'X 30' LOOPS
660-2-101 3 AS

REMOVE/REPLACE EXISTING 2-WAY PED SIGNAL
TO 1-WAY.

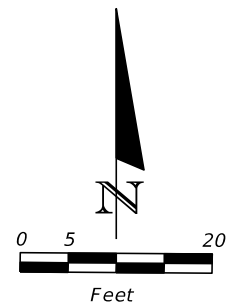
653-1-60 1 AS
665-1-12 1 EA
665-1-60 1 EA

PED SIGNAL POLE & DETECTOR
STA 124+14, 63' LT
646-1-11 1 EA
665-1-12 1 EA

P2
P6
P8
PED. SIGNAL
COUNT-DOWN
1-SECT., 1-WAY
10 AS
653-1-11



FTP-68B-06 9 AS



630-2-12 50 LF
4 RUNS
(HV, LV, SPARE HV & SPARE LV)

TYPE "A" 6'X 30' LOOPS
660-2-101 1 AS

EXISTING PULL BOX FOR
LOOP LEAD-INS TO REMAIN

REMOVE EXISTING PED SIGNAL
646-1-60 1 EA

PED SIGNAL POLE & DETECTOR
STA 124+31, 20' LT
646-1-11 1 EA
665-1-12 1 EA

PED SIGNAL POLE & DETECTOR
STA 124+45, 27' LT
646-1-11 1 EA
665-1-12 1 EA

END PROJECT
END SIGNING &
PAVEMENT MARKING
STA. 124+61.33
CONST. E COLUMBUS DR

630-2-12 55 LF
4 RUNS
(HV, LV, SPARE HV & SPARE LV)

PED SIGNAL POLE & DETECTOR
STA 124+43, 26' RT
646-1-11 1 EA
665-1-12 1 EA

CONDUIT - OPEN TRENCH
2 RUNS - H & L VOLTAGE
630-2-1 70 LF

PULL BOXES
635-2-11 15 EA
650-2-102 7 EA

PED SIGNAL POLE & DETECTOR
STA 123+35, 26.0' RT
646-1-11 1 EA
665-1-12 1 EA

DIRECTIONAL BORE - 4 RUNS
(HV, LV, SPARE HV, SPARE LV)
630-2-12 60 LF

EXISTING PED SIGNAL
POLE & DETECTOR
TO BE REMOVED
646-1-60 1 EA

55 LF 630-2-12
4 RUNS
(HV, LV, SPARE HV &
SPARE LV)

6 PAIR COPPER CABLE REPLACEMENT
633-4-1 50 LF
633-4-6 30 LF

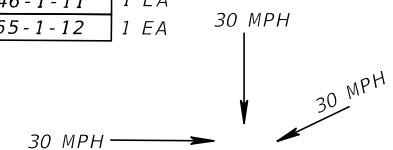
PED SIGNAL POLE & DETECTOR
STA 123+50, 36.0' RT
646-1-11 1 EA
665-1-12 1 EA

EXISTING PEDESTRIAN SIGNAL & DETECTOR TO BE REMOVED
653-1-60 2 AS
665-1-60 2 EA

EXISTING JOINT USE POLE AND POWER SERVICE TO REMAIN

EXISTING TRAFFIC CONTROLLER TO BE REMOVED
670-5-600 1 AS

TRAFFIC CONTROLLER
STA 124+00, 36.0' RT
630-2-11 20 LF
639-2-1 30 LF
660-1-103 4 EA
670-5-110 1 AS
685-1-13 1 EA



CONTROLLER TIMINGS				
TIMING FUNCTION	1	2	3	4
MOVEMENT NO.	1	2	3	4
MIN. GRN. (INT.)	*	*	*	*
EXT. (PASS)	*	*	*	*
MAX. GRN.I	*	*	*	*
MAX. GRN.II	*	*	*	*
YELLOW CLR.	3.7	3.7	3.7	3.7
ALL RED CLR.	2.3	2.5	2.5	2.5
PED. WALK	7.0	-	7.0	7.0
PED. CLR.	7.0	-	8.0	22.0

* EXISTING SIGNAL TIMINGS TO REMAIN

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

MICHAEL J. NOESEN
P.E. LICENSE NO. 42255
BES INC.
11007 N. 56TH ST., #208
TEMPLE TERRACE, FL 33617
CERTIFICATE OF
AUTHORIZATION NO. 9835

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

SIGNALIZATION PLAN (5)

SHEET
NO.
T-9

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

STANDARD MAST ARM ASSEMBLIES DATA TABLE											Table Date 11-16-18
STRUCTURE ID NUMBERS	DESIGNATION	FIRST ARM		SECOND ARM		UF (deg)	LL (deg)	POLE			DRILLED SHAFT ID
		ARM ID	FAA (ft.)	ARM ID	SAA (ft.)			POLE ID	UAA (ft.)	UB (ft.)	
1	A60/D-A40/D-P4/D	A60/D		A40/D	34	270		P4/D		22	D5/18/5.0
2	A60/D-A40/D-P4/D	A60/D		A40/D	36	270		P4/D		22	D5/18/5.0

NOTES [Notes Date 11-01-16]:

1. If an entry appears in column FAA, a shorter arm is required. This is obtained by removing length from the arm tip and the arm length shortened from FA to FAA. SAA Similar.
2. If an entry appears in column UAA, a shorter pole is required. This is obtained by removing length from the pole tip and the pole height shortened from UA to UAA.
3. Work with Index 649-030 and 649-031.
4. Design based on Borings taken by Arehna Engineering Inc. on March 27, 2018. Geotechnical Engineering Services Report sealed by Kristina S. Lacava, P.E.

Assumptions and Values used in design:

Soil Type: Sand
 Soil Layer Thickness = 30 ft.
 Soil Friction Angle = 29 deg.
 Soil Weight = 43 pcf
 Design Water Table is assumed at groundline.

REVISIONS				DAVID RYAN JOHNSON P.E. LICENSE NUMBER 79354 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			STANDARD MAST ARM ASSEMBLIES DATA TABLE	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		T-11
					1001221	HILLSBOROUGH	436639-1-58-01		

REPORT OF CORE BORING



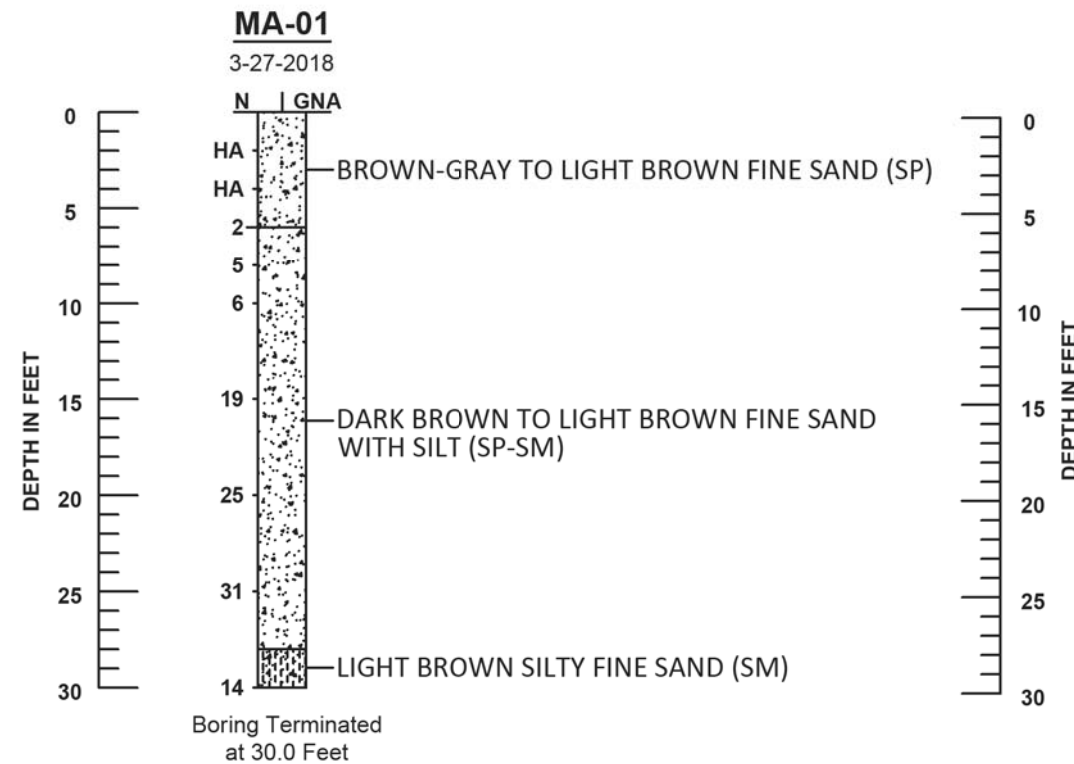
LEGEND



- SP Unified Soil Classification System (ASTM D 2488) Group Symbol as Determined by Visual Review and/or Laboratory Testing
- HA Hand Augered To Avoid Utility Conflicts and Safety Reasons
- N SPT N-Value in Blows/Foot for 12 Inches of Penetration Utilizing Automatic Hammer
- GNA Groundwater Table Not Apparent at Time of Drilling

BORING NUMBER	DEPTH (FEET)	SPT "N" AVERAGE	SOIL CLASSIFICATION	APPROXIMATE SOIL UNIT WEIGHT (PCF)		COHESION (PSF)	SOIL ANGLE OF FRICTION (DEGREES)	EARTH PRESSURE COEFFICIENT	
				γ SAT	γ SUB			Ka	Kp
MA-01	0 - 13	4	SP	100	37.6	-	29	0.350	2.859
	13 - 30	22	SP-SM, SM	115	52.6	-	32	0.302	3.309

SOIL PROFILE



Soil Profile Notes:

- The profiles depicted are of a generalized nature to highlight the major subsurface stratification features and material characteristics. The soil profiles include soil description, stratifications and penetration resistances. The stratifications shown on the boring profiles represent the conditions only at the actual boring location. Variations may occur and should be expected between boring locations. The stratifications represent the approximate boundary between subsurface materials and the actual transition may be gradual.
- Groundwater levels generally fluctuate during periods of prolonged drought and extended rainfall and may be affected by man-made influences. In addition, a seasonal effect will also occur in which higher groundwater levels or temporary perched conditions are normally recorded in rainy seasons.

	SAFETY HAMMER	AUTOMATIC HAMMER
GRANULAR MATERIALS-RELATIVE DENSITY	SPT N-VALUE (BLOWS/FT.)	SPT N-VALUE (BLOWS/FT.)
VERY LOOSE	LESS THAN 4	LESS THAN 3
LOOSE	4 to 10	3 to 8
MEDIUM DENSE	10 to 30	8 to 24
DENSE	30 to 50	24 to 40
VERY DENSE	GREATER THAN 50	GREATER THAN 40
SILTS AND CLAYS CONSISTENCY	SPT N-VALUE (BLOWS/FT.)	SPT N-VALUE (BLOWS/FT.)
VERY SOFT	LESS THAN 2	LESS THAN 1
SOFT	2 to 4	1 to 3
FIRM	4 to 8	3 to 6
STIFF	8 to 15	6 to 12
VERY STIFF	16 to 30	12 to 24
HARD	GREATER THAN 30	GREATER THAN 24
LIMESTONE CONSISTENCY	SPT N-VALUE (BLOWS/FT.)	SPT N-VALUE (BLOWS/FT.)
SOFT	LESS THAN 20	LESS THAN 17
MEDIUM	20 to 50	17 to 41
HARD	51 to 50/3"	42 to 50/6"
VERY HARD	GREATER THAN 50/3"	GREATER THAN 50/6"

Report of Core Borings

REVISIONS			PREPARED BY:	NAME	DATE	PROJECT NAME	PROJECT NO.	SHEET NO.	
NO.	DATE	DESCRIPTIONS	APPROVED	DESIGNED BY:	BRH	04/2019	E. Columbus Dr.-City of Tampa Walk\Bike From North Nebraska to 14th Street Tampa, Florida	B-18-092.02	T-14
				DRAWN BY:	BRH	04/2019			
				CHECKED BY:	KL	04/2019			
				SUPERVISED BY:	Kristina LaCava, P.E.				

AREHNA Engineering, Inc.
 5012 West Lemon Street, Tampa, FL 33609
 Phone 813.944.3464 | Fax 813.944.4959
 Certificate of Authorization No. 28410

INDEX OF ROADWAY PLANS

SHEET NO	SHEET DESCRIPTION
L1	COVER SHEET
L2	PLANTING PLAN 1
L3	PLANTING PLAN 2
L4	PLANTING PLAN 3
L5	PLANTING PLAN 4
L6	PLANTING PLAN 5
L7	GENERAL LANDSCAPE NOTES 1
L8	GENERAL LANDSCAPE NOTES 2
L9	GENERAL NOTES AND PAY ITEM NOTES
L10	LANDSCAPE TABULATIONS
L11	PLANTING DETAILS
L12	TREE WELL DETAILS 1
L13	TREE WELL DETAILS 2
L14	TREE GRATE DETAILS
L15	BRICK PAVER DETAILS
L16	LANDSCAPE MAINTENANCE NOTES

STATE OF FLORIDA
CITY OF TAMPA

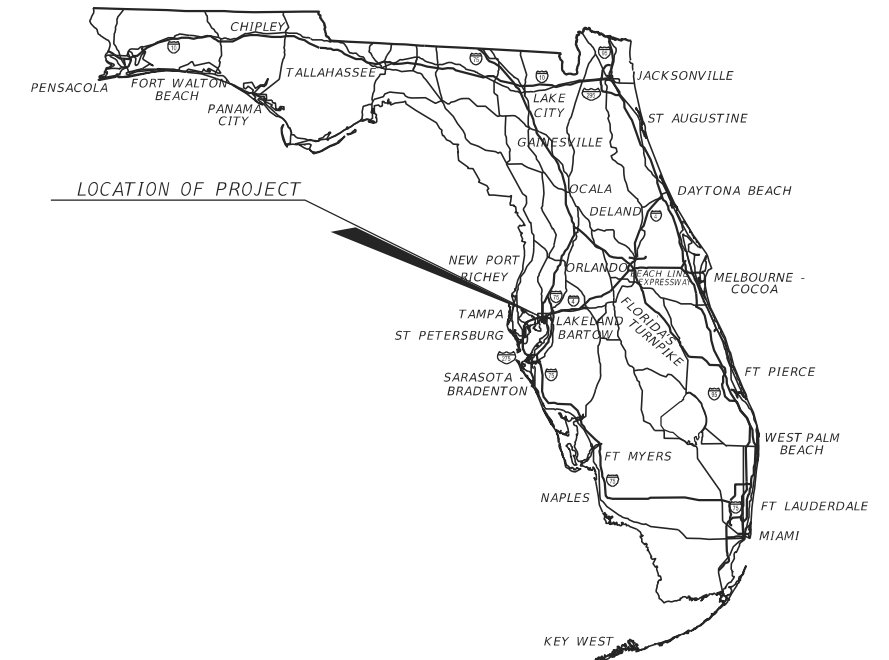
WALK-BIKE LAP PROJECT
LANDSCAPE PLANS

FINANCIAL PROJECT ID 436639-1-58-01

CITY PROJECT NO. 1001221

HILLSBOROUGH COUNTY

COLUMBUS DRIVE FROM EAST OF NEBRASKA AVE. (STA 110+33.87)
TO EAST OF N. 14TH STREET (STA 124+61.33)



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY:
Jonathan H Toner
2020.05.19 11:58:33 -04'00'

ON THE DATE ADJACENT TO THE SEAL
PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES

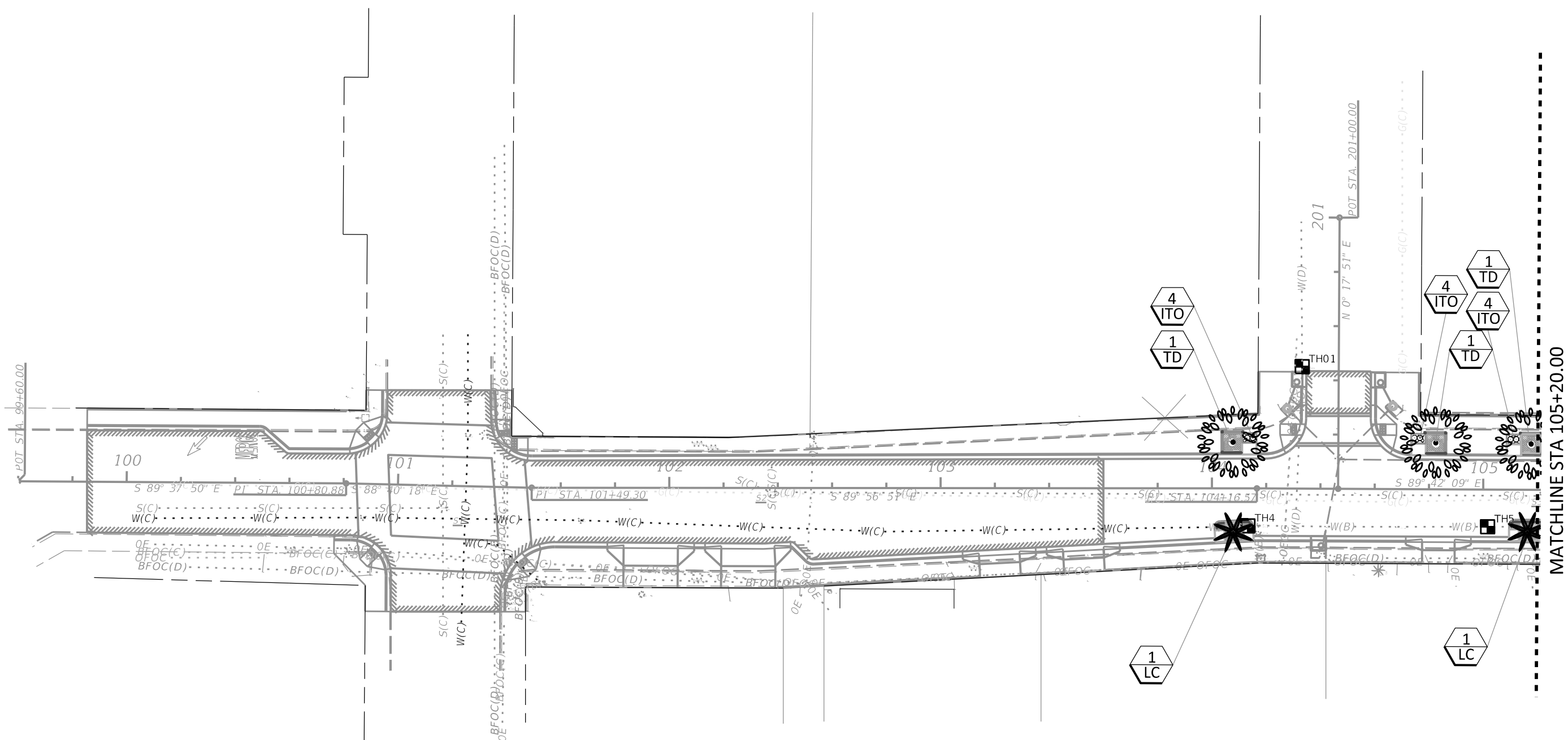
CONSTRUCTION PLANS
APRIL 2020

LANDSCAPE PLANS
LANDSCAPE ARCHITECT OF RECORD:

JONATHAN H. TONER, RLA
LIC# FL0001123
TERRA TECTONICS DESIGN GROUP, INC.
1188 KAPP DRIVE
CLEARWATER, FLORIDA 33765
CERTIFICATE OF AUTHORIZATION: #254

PROJECT MANAGER:
NINA MABILLEAU, E.I.
City of Tampa Transportation and Stormwater Services

FISCAL YEAR	SHEET NO.
21	L1



Planting Legend	
	TD-Bald Cypress - 28' ht x 12' spread B+B
	LC-Chinese Fan Palm 16' ct
	3-gallon Dw. Orange Ixora

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION


TERRA TECTONICS
 Design Group International, Inc.
 LANDSCAPE ARCHITECTS
 ISA CERTIFIED ARBORISTS
 URBAN DESIGNERS
 1188 Kapp Drive | Clearwater, Florida | 33765 | 727.441.4504

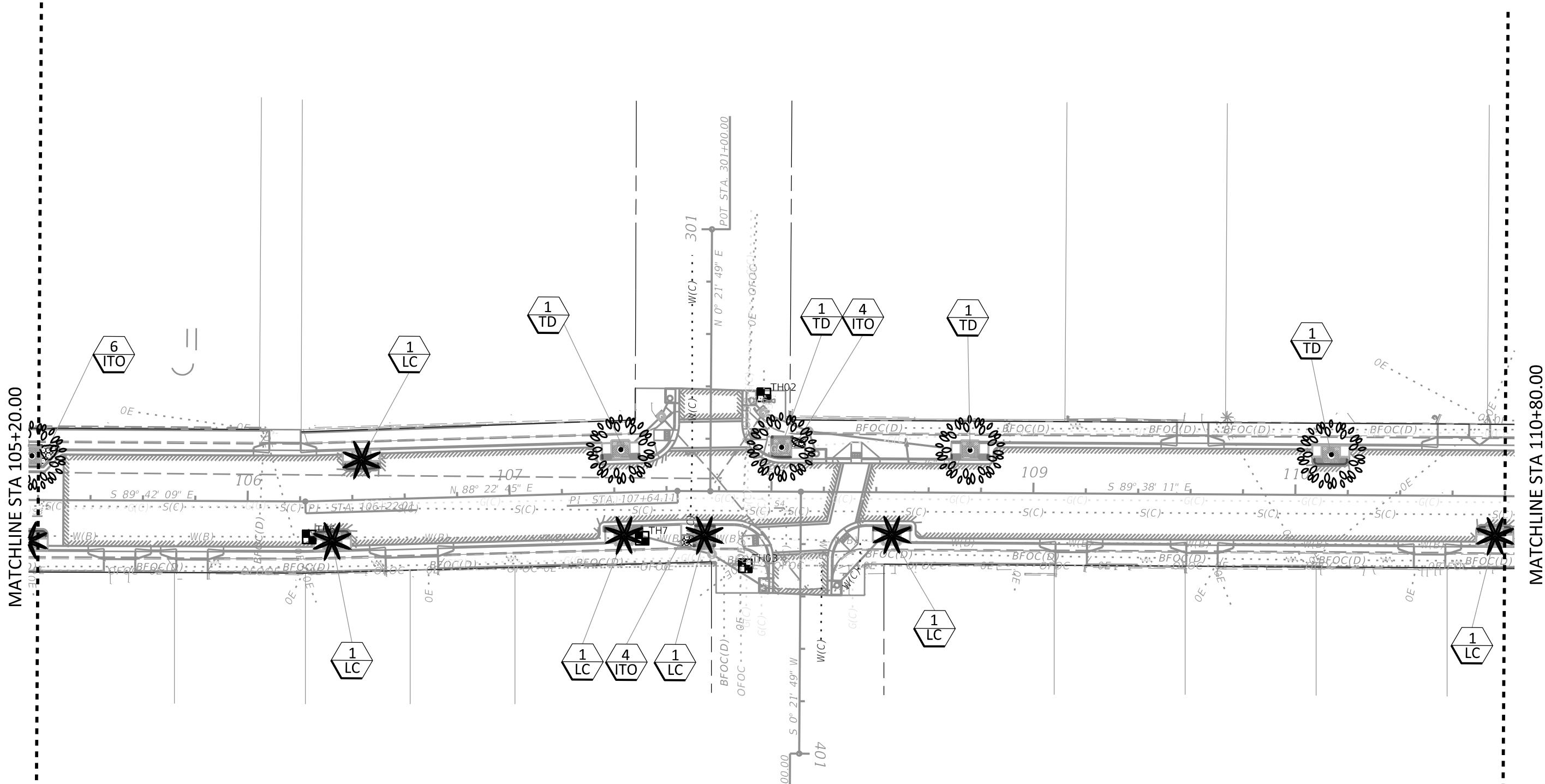
Jonathan H. Toner
 Landscape Architect
 Florida LIC #0001123
 Corporate
 Authorization # 254
 33765 | 727.441.4504

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

PLANTING PLAN 1

SHEET NO.
L2

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



Planting Legend	
	TD-Bald Cypress - 28' ht x 12' spread B+B
	LC-Chinese Fan Palm 16' ct
	3-gallon Dw. Orange Ixora

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

TERRA TECTONICS
 design group international, inc.
 LANDSCAPE ARCHITECTS
 ISA CERTIFIED ARBORISTS
 URBAN DESIGNERS
 1188 Kapp Drive | Clearwater, Florida

Jonathan H. Toner
 Landscape Architect
 Florida LIC #0001123

Corporate
 Authorization # 254
 33765 | 727.441.4504

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

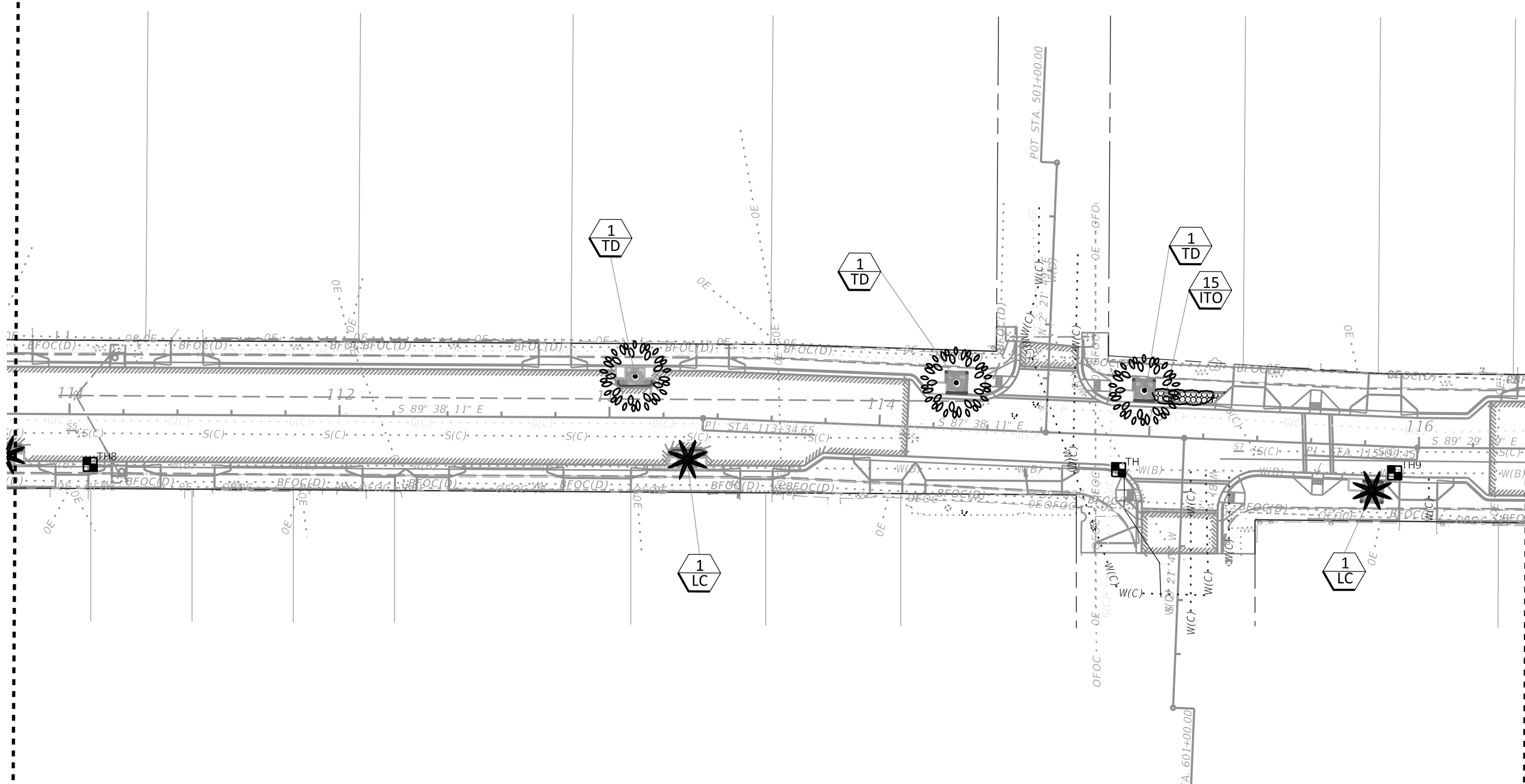
PLANTING PLAN 2

SHEET NO.
L3

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

MATCHLINE STA110+80.00

MATCHLINE STA 116+40.00



Planting Legend	
	TD-Bald Cypress - 28' ht x 12' spread B+B
	LC-Chinese Fan Palm 16' ct
	3-gallon Dw. Orange Ixora

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

TERRA
TECTONICS
design group international, inc.
LANDSCAPE ARCHITECTS
ISA CERTIFIED ARBORISTS
URBAN DESIGNERS
1188 Kapp Drive | Clearwater, Florida | 33765 | 727.441.4504

Jonathan H. Toner
Landscape Architect
Florida LIC #0001123
Corporate
Authorization # 254
33765 | 727.441.4504

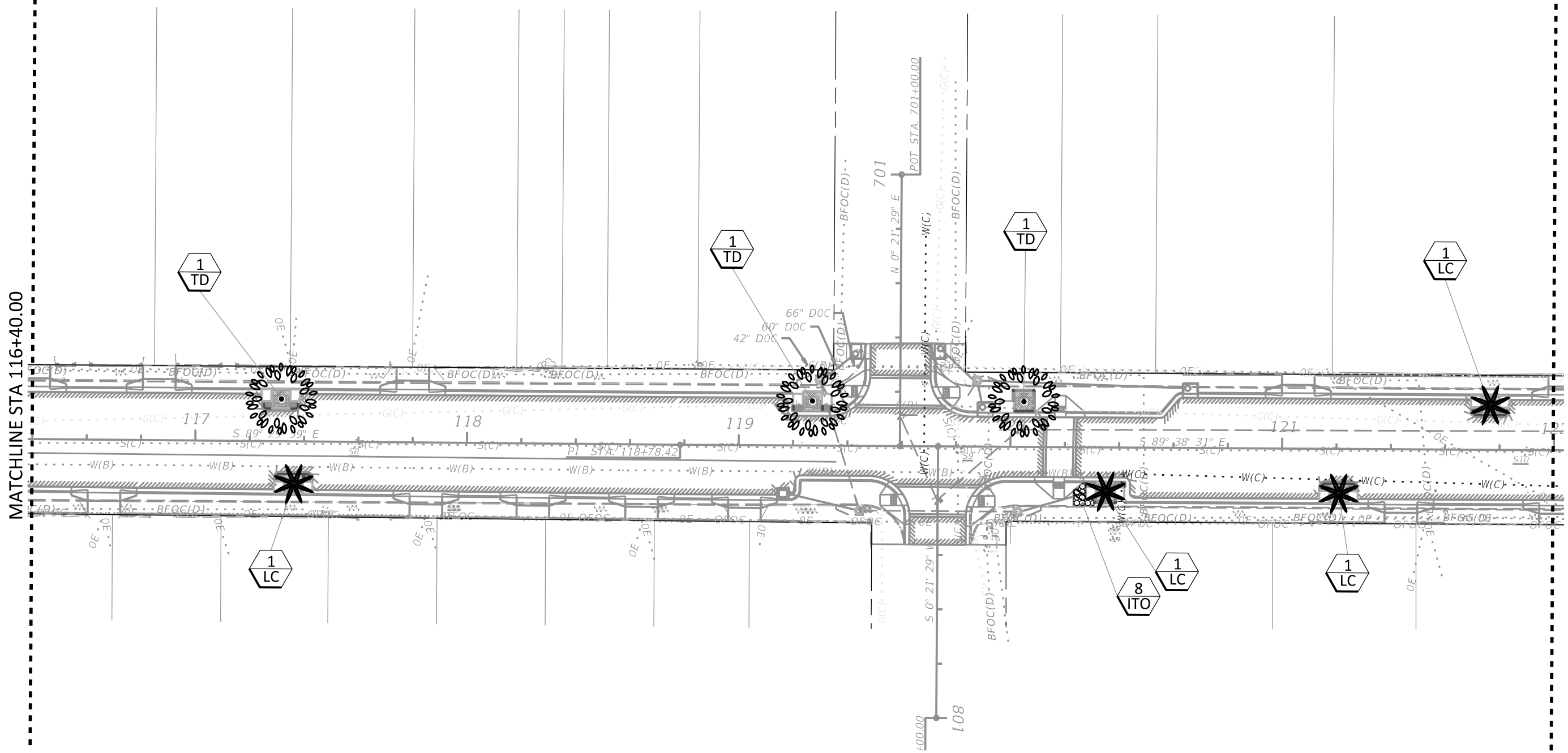
CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

<p>PLANTING PLAN 3</p>
<p>L4</p>

SHEET NO.
L4

MATCHLINE STA 116+40.00

MATCHLINE STA 122+00.00



Planting Legend	
	TD-Bald Cypress - 28' ht x 12' spread B+B
	LC-Chinese Fan Palm 16' ct
	3-gallon Dw. Orange Ixora

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

TERRA TECTONICS
 design group international, inc.
 LANDSCAPE ARCHITECTS
 ISA CERTIFIED ARBORISTS
 URBAN DESIGNERS
 1188 Kapp Drive | Clearwater, Florida 33765 | 727.441.4504

Jonathan H. Toner
 Landscape Architect
 Florida LIC #0001123

Corporate
 Authorization # 254
 33765 | 727.441.4504

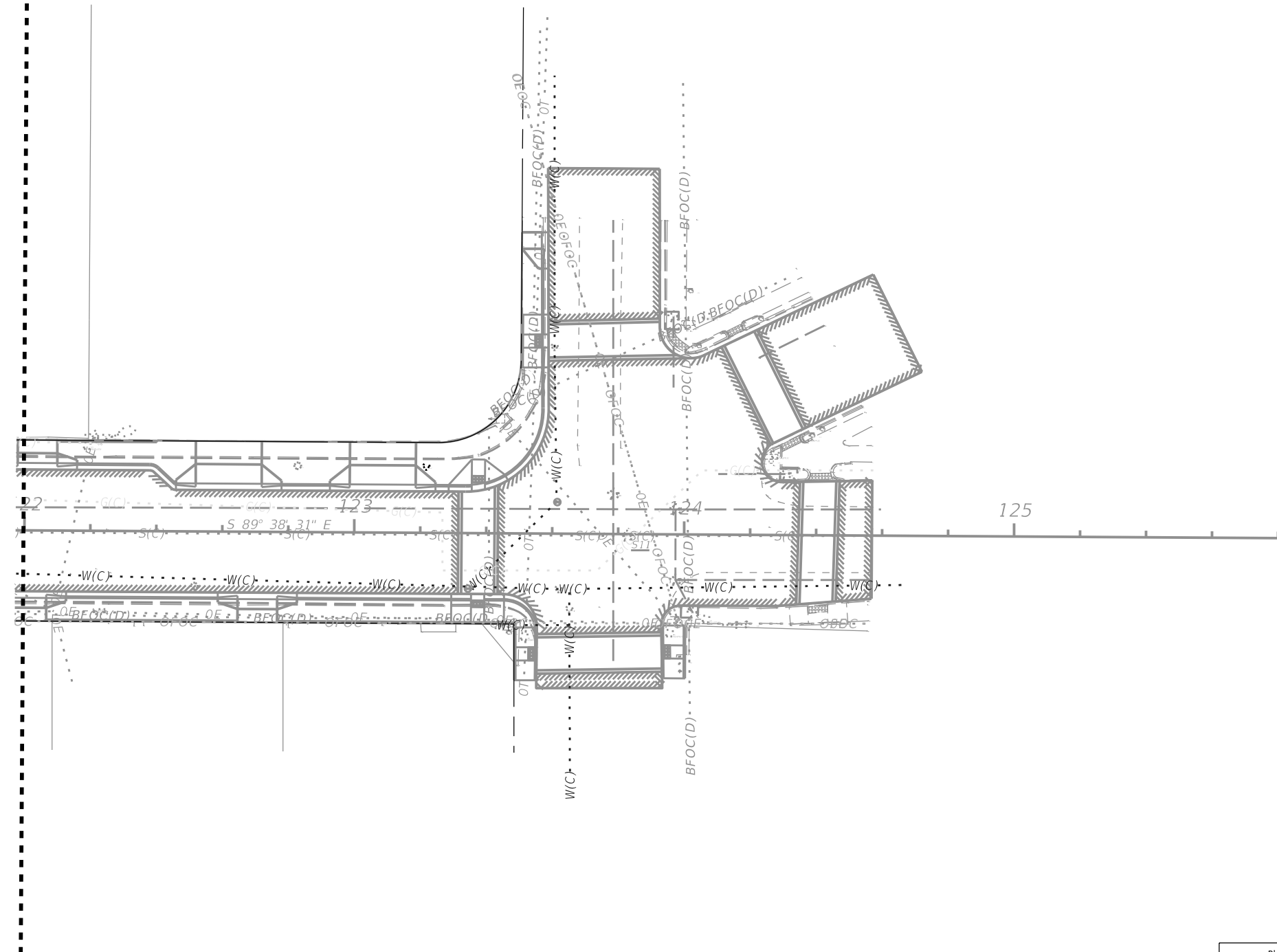
CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01




PLANTING PLAN 4

SHEET NO.
L5

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

MATCHLINE STA 122+00.00



Planting Legend	
	TD-Bald Cypress - 28' ht x 12' spread B+B
	LC-Chinese Fan Palm 16' ct
	3-gallon Dw. Orange Ixora

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

TERRA
TECTONICS
design group international, inc.
LANDSCAPE ARCHITECTS
ISA CERTIFIED ARBORISTS
URBAN DESIGNERS
1188 Kapp Drive | Clearwater, Florida | 33765 | 727.441.4504

Jonathan H. Toner
Landscape Architect
Florida LIC #0001123
Corporate
Authorization # 254
4/14/2020 11:08:55 AM \$MODELNAME\$

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01


<p>PLANTING PLAN 5</p>
<p>L6</p>

<p>SHEET NO.</p>
<p>L6</p>

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.


GENERAL LANDSCAPE NOTES

1. Prior to submission of bid, visit the site and become informed of the conditions under which the work is to be accomplished.
2. The work includes soil preparation, finish grading, supplying and planting of trees, shrubs, groundcovers and sod, of the species, sizes and quality as shown on the drawings and/or as specified herein.
3. Provided plant material to be graded Florida No.1 or better as outlined under the 2015 - Grades and Standards for Nursery Plants, Parts I and II, State of Florida, Department of Agriculture, and to conform to AAN Standards for Nursery Stock (ANSI 260.1-1980).
4. Provide any necessary truck watering to maintain the plant materials in a Florida No.1 condition, according to the 2015 Florida Nursery Grades and Standards.
5. Provide a Lump Sum Price for truck watering with potable water, as needed. The pricing is to be for potable quality water as Reclaimed water not acceptable for this project.
6. Verify all utility locations (existing and proposed), related paving, elevations, water and electrical supply, etc. prior to start of work and excavations. Notify City of Tampa Construction Representative in writing of unsatisfactory conditions prior to start of work. Start of work will indicate acceptance of conditions and full responsibility for completed work.
7. Provide sole responsibility for any and all damages that result from activities due to improper verification of utilities and/or operator error during excavations. Coordinate on-site with the City of Tampa Construction representative before digging or commencement of any work.
8. Project Site to be clear of debris and weed growth before any plantings to commence. If weed growth is still present and viable, re-spray with herbicide and wait the required time period, according to manufacturer's instructions.
9. Required erosion control measures to remain intact throughout construction. Proposed storm water runoff for the street trees and palms to be directed to the Tree Well areas by way of the roadway inlets and any surface grading within the project. Do not place silt barriers or other blockage devices between the street run-off and the tree wells, after the trees are installed.
10. Notify the City of Tampa Construction Representative of site conditions which may require planting design adjustments. Submit proposed changes for written approval to City of Tampa & Landscape Architect, prior to the installation of plant materials.
11. Planting Limits refer to FDOT Standard Index 700 and are based on project design speed and median applications for this project, which is based on <30mph.
Outside roadways: Locate trees no less than 4 feet from face of curb in accordance with Design Standard Index 546
12. Structured soils as shown on the plan consist of the following: (see specifications)
 - a. STRUCTURED SOIL:
 - i. 35% #57 Aggregate- consisting of washed crushed concrete or crushed granite. Crushed Limestone will not be acceptable.
 - ii. 35% White Builders sand
 - iii. 30% Organic Topsoil
13. All trees to be single trunked and cleared to a height of a min of 8.5' above finished grade of tree wells and sidewalks. See FDOT index 700 and FDOT Index 546.
14. If containers are used, then container size is to be as specified. A minimum of 80% of the container root ball must contain active and viable root system. Girdling or "ring" roots are prohibited and will be cause for rejection of plant material. See notes and details for root observations and corrective actions. Be responsible to demonstrate the root ball conditions of the plan materials while the plantings are either on the truck at time of delivery or in-field, to Landscape Architect to illustrate root conditions of the plant materials. Any root ball or container planted materials that cannot be corrected in field to be rejected and will need to be replaced at contractors' expense.
15. No substitutions will be made without the explicit written permission of the City of Tampa Construction Representative. Submit written verification of any plant material(s) that may be unavailable as specified during the bid process, to the City of Tampa Construction Representative.
16. Landscape Architect of Record to review, before any delivery to the construction site, all proposed trees, shrubs and ground cover materials, by means of accurate and representative photographs taken from nursery of the grower of the materials, that will be delivered to job site. Submittal to be in an electronic e-mail format sent to City of Tampa Construction representative. The project name and location to be labeled on the front of each e-mail, with the Contractor's name, address and phone number listed on the inside first page with the index of photographs.
17. The City of Tampa Construction Representative reserves the right to make minor adjustments, in the field, to the locations of trees, palms, shrubs and groundcovers. Do not remove vegetation by grubbing or place soil deposits, debris, solvents, concrete, paint, chemicals or other foreign substance in or on the soil. Required tree barricades and erosion control measures to remain intact during construction. No construction debris, construction materials, machinery or equipment of any kind placed within the dripline of a tree to remain on the site. All areas within the dripline of a protected tree to be maintained at their original grade with no trenching or cutting of any kind.
18. In the event of a variation between the plant list and the actual number of plants shown or noted on the plans, the plans to control. City of Tampa Construction Representative to be notified of any discrepancy during bid process in writing, with the plans taking precedent over tabulation list.
19. Plants and trees to be set plumb, at the same grade at which they have been grown, best side facing prime visibility and thoroughly watered-in at time of planting to eliminate air pockets. If site conditions are unfavorable to vigorous plant growth, the City of Tampa Construction Representative to be notified prior to submitting bid and commencing construction. The conditions are considered accepted, if written notification is not received by City of Tampa Construction Representative before commencement of installation of the materials.
20. Provide proper drainage for all trees and plant materials. Trees set too high or low may be rejected. Verify proposed finish grades and set trees accordingly. See details for planting, staking and guying.
21. Properly securing all trees, palms and large shrubs immediately after planting. Tree bracing to be performed by the detail shown on plans for bracing the rootball within the Tree Well. No external guy wires will be permitted.
22. Shrubs to be planted as shown on plans. Trees and palms to be backfilled with Structured Soils, as specified and shown in locations on plans and details. Remove container and all synthetic bindings from trees and palms, Upon installation of Trees and Palms in Tree Wells, a blanket of #57 stone (washed crushed concrete or granite – not limestone) and wrapped on all sides with Mirifi 140 fabric 4" deep to be laid over the rootball for erosion control as shown on details.
23. Provide a 12-month Warranty, from date of Final Acceptance, for all plantings as part of this contract. Dead plantings to be replaced within 30 days of the time they have perished.
24. Maintain the watering required for the establishment of plant materials from the date of installation to the date of the Final Acceptance. The cost of watering and its application to be borne by contractor until Final Acceptance by City of Tampa.
25. Replace all Plant Materials that are in a deteriorated and/or perished Condition or that have perished within the 12-month warranty period. Monthly inspections are required to be performed to determine deficiencies and perished items to be replaced on a Monthly basis, as needed.
26. Trees, Palms or shrubs shown in a line on the plan to have the trunks/canopies in proper alignment upon visual inspection after installation. Groundcover and shrub beds to be planted on triangular spacing with plants installed and faced for optimum growth into the bed.
27. Any areas subject to erosion (e.g. grass swales, retention area embankments) must be stabilized by solid Bahia sod.
28. The job site to be kept orderly and reasonably clean on a daily basis during construction operations. Upon daily completion of work, remove all debris and waste generated by operations on-site, including the cleaning of walks and paving.
29. The maintenance period for plantings begins at time of installation and continues until end of 12-Month Warranty period.

REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GENERAL LANDSCAPE NOTES 1	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		L7
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

30. Provide clearly delineated electronic prepared As-Built PDF drawings of landscape and irrigation, to the City of Tampa Construction representative at end of project. This consists of representations of quantities and locations all planted palms, trees, shrubs, groundcovers and turf areas prior to final acceptance. Any and all deviations from the original construction documents to be duly and accurately recorded. A PDF of the Final Construction Plans to be the basis for the As-Built mark-ups. Upon completion, deliver to City of Tampa Construction representative. Hand marked plans will not be acceptable.
31. An "As-Built" of the landscape plans to be provided by the contractor and signed and sealed by a Landscape Architect Registered in the State of Florida. The Landscape Architect to be obtained by the Contractor. Submit to the City of Tampa Construction Representative prior to the final walk-through and Final Acceptance. The "As-Built" to be up-dated daily and to be kept on-site at all times during the construction period.
32. At the time of Final Acceptance, provide the City of Tampa Construction Representative, with a maintenance manual containing instructions for the proper care of all materials specific to the job, and any pertinent manufacturer's literature.
33. All landscape material to be installed and maintained at all times in a manner whereby traffic control signage and devices are visible to motorists and pedestrians.
34. No work to be performed on City Holidays
35. All Landscape material to be maintained in accordance with FDOT Standard indices 546 and 700 and all other applicable Department standards and regulations.
<http://www.dot.state.fl.us/rddesign/DS/15/STDs.shtm>
36. Application of herbicides to be performed by a person possessing a current Florida Restricted Use Pesticide License in the Core Curriculum, Right-of-way and Aquatic Categories.
37. Pursuant to section 2.10 of the departments "Roadway and Roadside Maintenance" Procedure (topic No. 850-000-015-I of 91/01/2014), all individuals who contract the application of fertilizer to ensure that they are licensed commercial applicators who have been trained through the Green Industry BMP Program, and have obtained a limited certification for Urban commercial fertilizer application under Section 482.1562, F.S. Furnish the City of Tampa Construction representative, current copies of licenses/certifications belonging to the personnel that will be involved in the application of fertilizer on the Hillsborough County right of way prior to start of work.

REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GENERAL LANDSCAPE NOTES 2	SHEET NO. L8
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

GENERAL NOTES:

- Roadway Design Speed is **30 MPH**. Criteria for a **30 MPH** design speed for **COLUMBUS AVENUE STREETScape PROJECT** was the basis for the design setbacks criteria for this project.
- Project limits are from Nebraska Avenue to the west and 14th street to the east, as shown on plan. These have been used in order to establish Landscaping Clear Zones for the median plantings, for the roadway for the project.
- Standard Indexes 613, 616 and 619 will be used for the Maintenance of Traffic for landscaping work as well as the FDOT 2019 Design Standards.
- Criteria based on the FDOT 2019 Plans Preparation Manual and the 2007 AASHTO "Green Book".
- In accordance with Rule 14.40.003(3)(b), Florida Administrative Code, no planting is allowed which screens, or when mature will screen an outdoor advertising sign permitted under Chapter 479 F.S. billboard noticed have been issued to billboard owners by certified letter.
- No vegetation to be placed in a manner whereby official departmental traffic control signing would be discerned as being screened.
- All applicable departmental Maintenance of Traffic standards to be utilized at all times while construction and maintenance activities are being performed as a result of this project.
- A minimum vertical clearance of 14.5' between the grade of roadway and the bottom canopy of foliage to be maintained at all times.

PAY ITEM NOTES:

EXISTING LANDSCAPE

All existing landscape to remain in place unless specified on the plans. Patch existing sod in areas disturbed by construction with utilizing the existing sod type, after construction is completed.

CLEARING AND GRUBBING

Where plant beds, trees and palms are installed in sodded areas or areas with other plant growth, existing plants to be removed, and the plant bed prepared to meet the requirements below before planting. Existing sod to be treated with herbicide and follow manufacturer's directions for the appropriate waiting period to confirm the sod is dead, before continuing construction of the landscape. The plant beds to be marked, and the sod removed within the plant beds areas. Project site to be free of shrub/tree/palm paper, boards, chips, sticks, trash, or any other undesirable material. There to be no exotic or noxious weeds or weed seeds (i.e. Nut grass, Bermuda grass, Sedges and the like). In no case to there be more than 5% by volume of stones, limestone, asphalt waste to pay items ratio. Where plant beds, trees and palms are installed in sodded areas or areas with other plant growth, existing plants to be removed, and the plant bed prepared to meet the requirements below before planting. with the peanut. Plant beds to have Bahia sod removed in its entirety to a depth of 3" before planting any of the shrub and ground cover materials.

STRUCTURED SOILS

As shown on plans, backfill around the Tree Wells to be with Structured Soils. Contractor to submit sample of structured soils in 1 gal Ziplock bag along with applicable soil analysis, for approval by City of Tampa Construction Representative, before delivery to site. Structured soils shall consist of the following: Crushed Granite or washed Crushed Concrete Aggregate 35%, White Builders Sand 35% & Organic Topsoil 30%

PREPARED SOIL LAYER 3" DEPTH

All shrub planting pits to be supplemented with 3" of Prepared Planting Soils for each plant item during installation. See Specifications for Prepared Planting Soils. Maximum Soluble Salts: 200 ppm. Contractor to submit sample and soil analysis, for approval by City of Tampa Construction Representative, before delivery to site.

IRRIGATION

The Contractor to provide a Lump Sum Price for Truck watering as needed for watering the landscape shown on plans.

Supplemental watering may be needed during the establishment period, to be provided in the form of truck watering. MOT practices to be employed during truck watering practices. Inform City of Tampa Construction Representative before performing truck watering. The entire 12-month Warranty Period will require plant watering, as needed. Watering timing shall be determined by the need to keep plant materials in no less than a Florida #1 condition. Any plant materials that suffer or perish due to over or under watering will need to be replaced. Truck watering, if used, to comply with potable water standards and not be reclaimed water. Truck water costs to be the responsibility of the Contractor and shall be shown in a Lump Sum price. Watering shall be for the duration of the project, until the end of the 12-month Warranty period.

PRE-EMERGENT ON PREPARED SOIL LAYER

Prior to mulching, the proposed plant beds indicated on plans, to be treated with granular Pre-Emergent Herbicide containing 1% Benefin and 1% Oryzalin. Apply granular herbicide per manufacturer's directions. Use a properly calibrated granular applicator and do not apply chemical directly onto leaves of plants. Applicator to be licensed by State of Florida and trained for proper application.

LANDSCAPE COMPLETE - B+B Plant Materials

The B+B (Balled + Burlapped) plant materials to be field grown, hardened-off a minimum of 90 days before delivery to job site and to be balled and burlapped and of sizes according to the 2015 Florida Grade and Standards for Nursery Plants. All other material under this pay item number is to be container grown.

LANDSCAPE QUALITY STANDARD

All Plant materials to be delivered to the site in a 'Florida No.1' condition, according to the 2015 Florida Grades and Standards for Nursery Plants. Root ball, canopy spread, overall height as well as caliper inches, to comply with 'Florida No.1' requirements.

TREE PLACEMENT

Adjust trees and palms to be placed as far from utilities as possible with the 811 locator.

LANDSCAPE COMPLETE - STAKING AND GUYING

Staking and Guying to be included in the cost of the plant material. Staking and guying to be per the details shown on plans. Staking and Guying to be maintained throughout the one-year warranty period, and to be removed at the end of the one-year Warranty period at Contractors expense.

LANDSCAPE COMPLETE - MULCH - WOOD CHIPS


All new shrub beds to be mulched with 3" depth of either Pine Bark-Mini-Nuggets (1-1/2-3" pieces) or "Enviro-mulch" mulch material. Cypress mulch will not be allowed on the job site. Planting quantities do not include much in shrub beds or tree/palm beds and individual trees/palms. The mulch to be free of other vegetative yard waste, plastic, glass, metal, palm trees, sand and other foreign materials. The mulch to have the consistency of appearance. The mulch to be certified to be sterile and free from viable weed and grass seed. Submit samples in 1-gallon Ziplocs bags to Project Tampa Construction Representative, for approval before delivery to site.

LANDSCAPE COMPLETE - 12 MONTH MAINTENANCE & WARRANTY PERIOD

There will be a Landscape Establishment and Maintenance period of 12-Months after Final Acceptance, included in the contract pricing from Contractors during bidding, for the items shown in the project specifications. The date of Final Acceptance will be determined by City of Tampa Project Representative and will be based on the contract being fully and satisfactorily executed to the requirements of the plans and specifications. All plant materials to be maintained in a Florida #1 Condition. Any plant materials not found to be in this condition to be replaced, including materials and labor, at the end of every calendar month, from date of Final Acceptance until 12 months from the date of Final Acceptance.

MAINTENANCE AFTER COMPLETION

All landscape maintenance after completion of 12-month Warranty period, shall be the responsibility of Hillsborough County.


REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			GENERAL NOTES & PAY ITEM NOTES L9
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

COLUMBUS DRIVE WALK/BIKE PROJECT

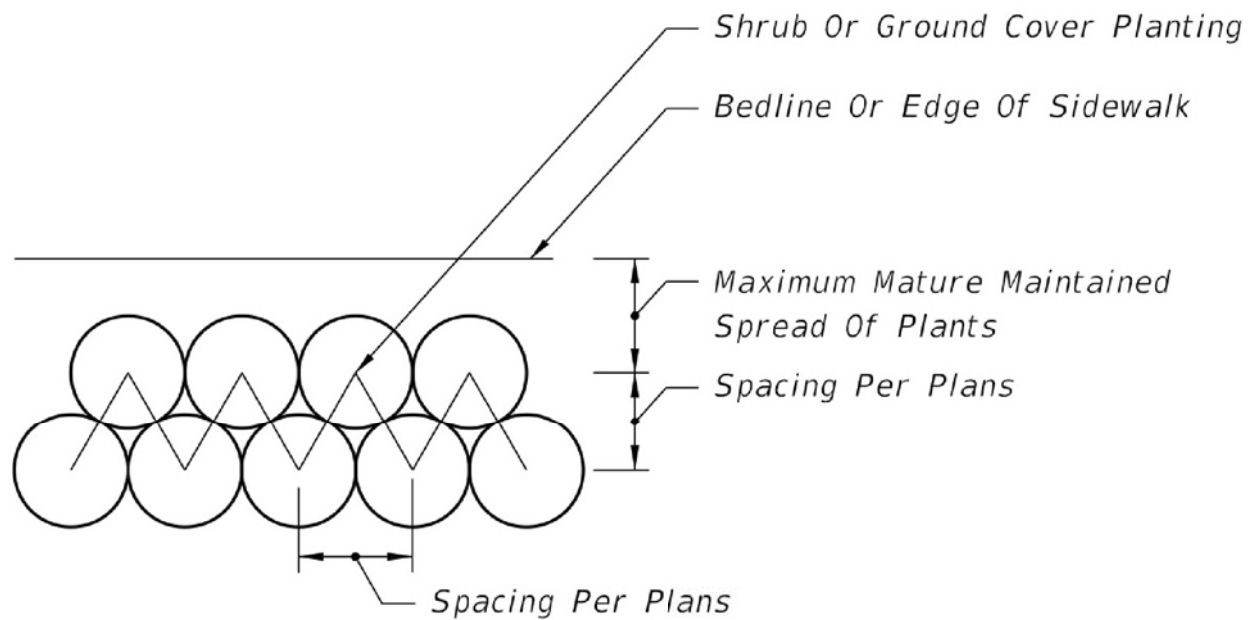
LANDSCAPE TABULATIONS

100% SUBMITTAL

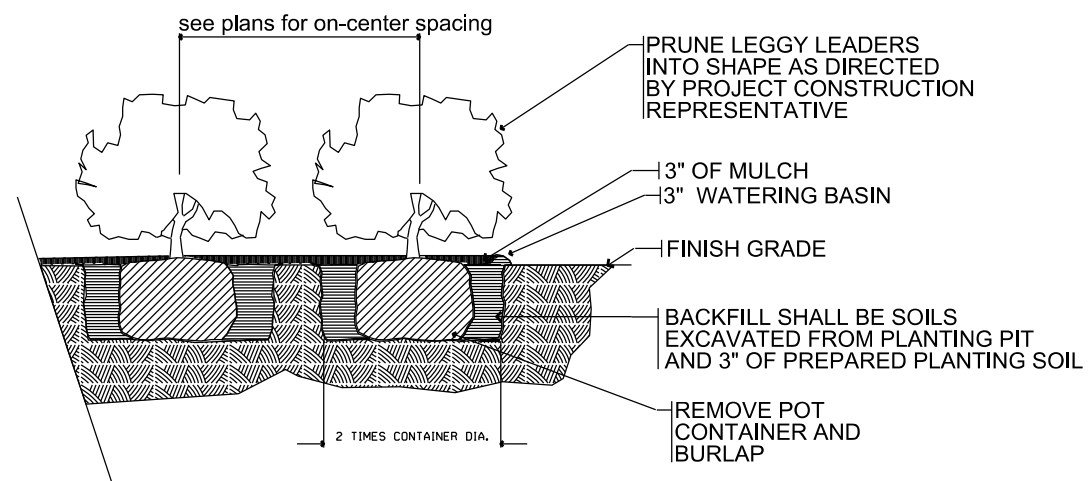
PLANTINGS:					PLAN	PLAN	PLAN	PLAN	PLAN	
SYM	COMMON NAME	BOTANICAL NAME	Container size	SPECIFICATION	1	2	3	4	5	TOTAL
LARGE TREES AND PALMS:										
LC	* Chinese Fan Palm- *FURNISH AND INSTALL *	LIVISTONA chinensis	B+B	16' CT. to frond base. Min 18" caliper	2	6	2	4	0	14
TD	* Bald Cypress *FURNISH AND INSTALL*	TAXODIUM distichum	B+B	26' ht' 10' spread, 9' ct 8" caliper B+B max 72" rootball-max 42" depth	3	4	3	3	0	13
LC	** Chinese Fan Palm - INSTALL ONLY	LIVISTONA chinensis	B+B	16' CT. to frond base. Min 18" caliper	2	6	2	4	0	14
TD	** Bald Cypress - INSTALL ONLY	TAXODIUM distichum	B+B	26' ht' 10' spread, 9' ct 8" caliper B+B max 72" rootball-max 42" depth	3	4	3	3	0	13
Small shrubs and ground covers:										
ITO	Dw Orange Ixora	IXORA taiwanensis' Orange'	3 gallon	18" ht x 12" spread	12	14	15	8	0	49
Site work soils and mulch										
	City of TAMPA BRICK BLOCK PAVERS	SEE PLANS FOR DETAILS	SF	USE COT STOCKPILE	150	300	150	210	0	810
	6' SQ X 2" - FABRIC WRAPPED #57 STONE MATT FOR ROOTBALL	SEE PLANS FOR DETAILS	EA	Crush Granite or Crushed concrete	5	10	5	7	0	27
	TREE GRATE TREE BRACING	SEE PLANS FOR DETAILS	EA	Aluminum angle - see details	5	10	5	7	0	27
	TREE GRATE 16" dia opening	FOR PALMS	EA	Cast Iron #8718a	2	6	2	4	0	14
	TREE GRATE 36" dia opening	FOR CYPRESS TREES	EA	Cast Iron #8718	3	4	3	3	0	13
	TREE GRATE FRAMES	SEE PLANS FOR DETAILS	EA	cast into tree well structure	3	4	3	3	0	13
	TREE GUARDS Type E	FOR ALL CYPRESS TREE LOCATIONS	EA	TO MATCH TREE GRATE - Assemble in-field to tree grate - for 36" dia opening	3	4	3	3	0	13
	STRUCTURAL SOILS	PREPARED STRUCTURAL SOILS -SEE SPECIFICATIONS	cu yard		45	90	45	63		243
	PREPARED PLANTING SOILS	SEE SPECIFICATIONS	cu yard		0.7	0.8	0.8	0.4	0.0	2.7
	PINE BARK MULCH	3" -SEE PLANS FOR LOCATIONS	cu yard		0.6	0.6	0.7	0.4	0.0	2.3
	1 YEAR OF TRUCK WATERING AS NEEDED	for watering of all plant materials as needed	LS	Until end of 12-month Warranty period						1
*	Trees shall be tagged in field and photographs provided to project Landscape architect and COT-Construction representative before delivery to project site.									
*	Trees shall be dug and root pruned and hardened-off, a min of 90 days before pick up and delivery to construction site.									
*	Every effort should be made to procure trees at beginning of project commencement and hold in nursery to assure trees will be available for project at time of tree placement.									
**	Price shall be for install of previously purchased and tagged Palm and Tree materials only. Pickup from nursery, install and provide bracing, soils, fertilizers as specified.									
	Coordinate with City of Tampa Construction Representative									

<table border="1"> <thead> <tr> <th colspan="4">REVISIONS</th> </tr> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				REVISIONS				DATE	DESCRIPTION	DATE	DESCRIPTION					 <p>TERRA TECTONICS design group international, inc. LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504</p>	<p align="center">CITY OF TAMPA TRANSPORTATION DEPARTMENT</p> <table border="1"> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </table>			CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	<p align="center">LANDSCAPE TABULATIONS</p>	<p>SHEET NO.</p> <p align="center">L10</p>
REVISIONS																											
DATE	DESCRIPTION	DATE	DESCRIPTION																								
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																									
1001221	HILLSBOROUGH	436639-1-58-01																									
<p>Jonathan H. Toner Landscape Architect Florida LIC #0001123</p> <p>Corporate Authorization # 254 33765 727.441.4504</p>																											

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.




GROUND COVER/SHRUB LAYOUT DETAIL

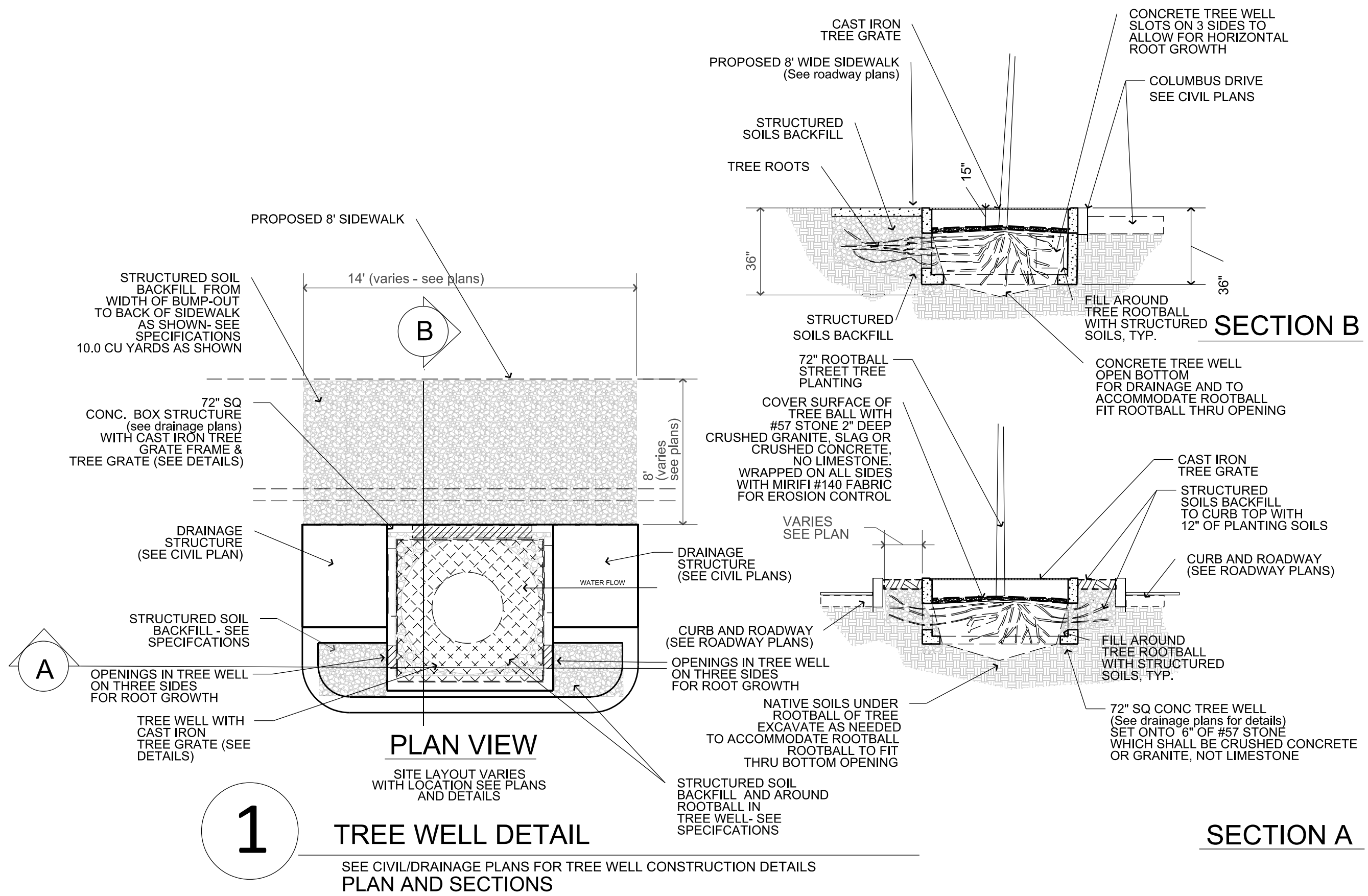


SHRUB BED PLANTING DETAIL


A

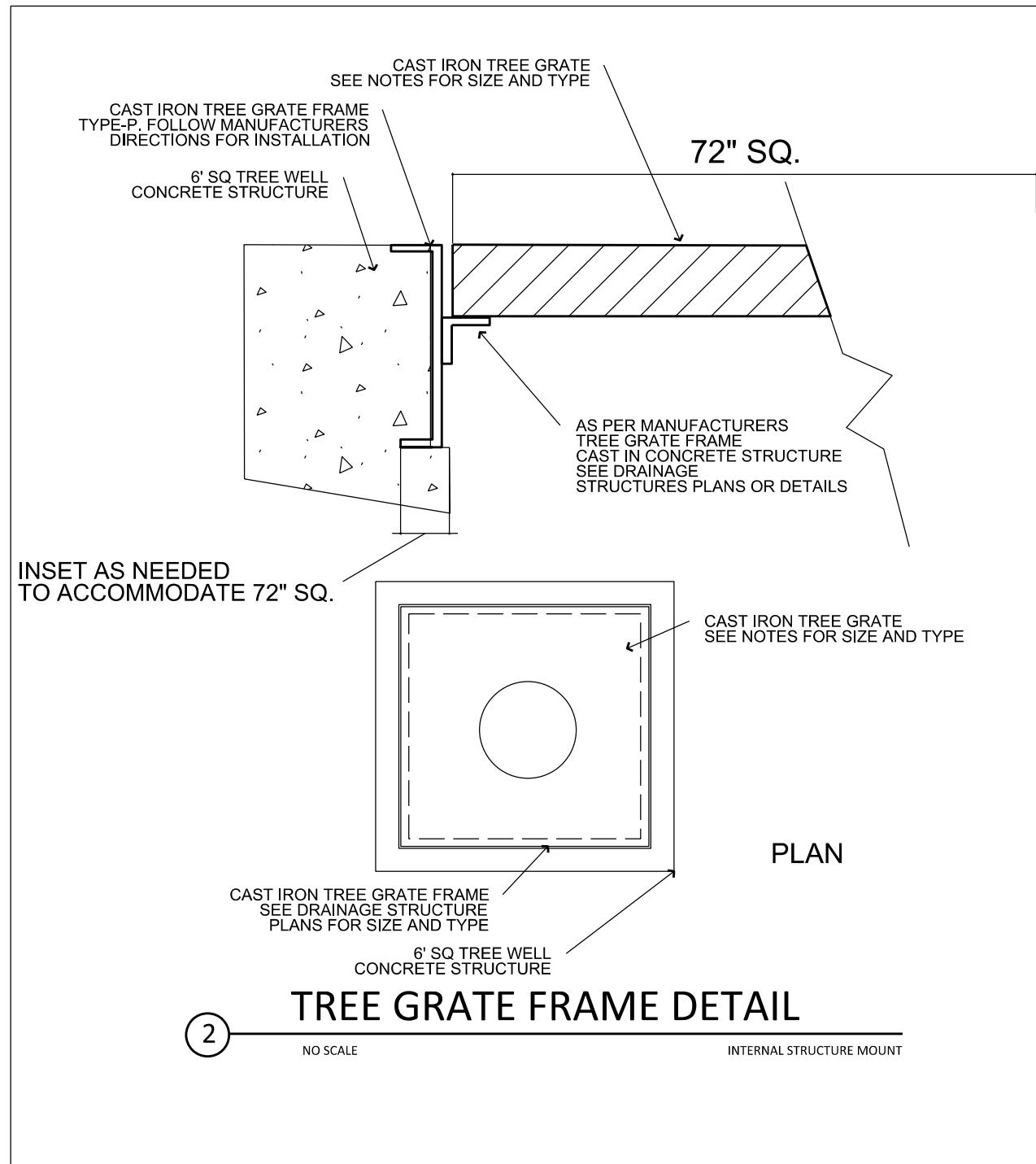
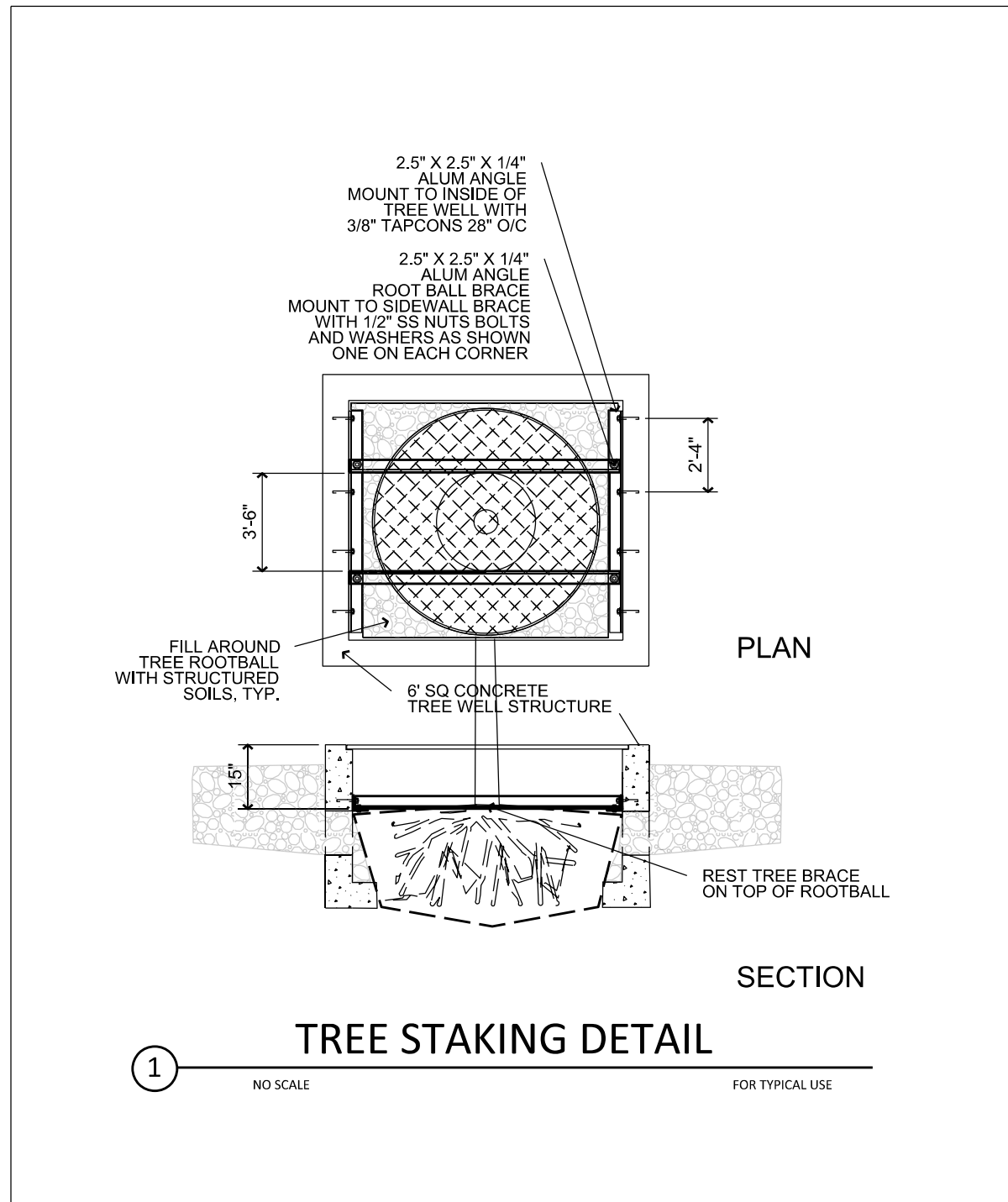
NO SCALE

REVISIONS				 <p>Jonathan H. Toner Landscape Architect Florida LIC #0001123</p> <p>Corporate Authorization # 254 33765 727.441.4504</p>	CITY OF TAMPA TRANSPORTATION DEPARTMENT			<p>PLANTING DETAILS 1</p>	<p>SHEET NO. L11</p>
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
				1188 Kapp Drive Clearwater, Florida 33765	1001221	HILLSBOROUGH	436639-1-58-01		




THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	
TREE WELL DETAILS 1							L12	



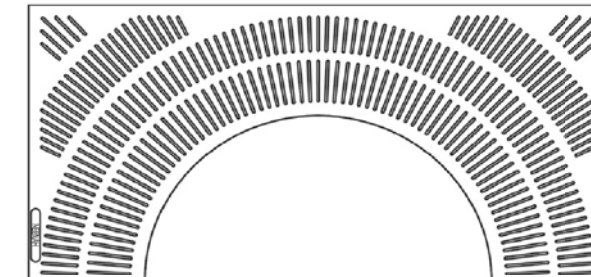
- TREE GRATE NOTES:**
1. CAST IRON R-8718A -CAST IRON POWDER COATED BLACK - 72" SQ OPENING
 2. MATCH EXISTING STYLE AND TYPE LOCATED WITHIN YBOR CITY AND APPROVED BY CITY OF TAMPA.
 3. TREE GRATE SHALL BE APPROVED IN WRITING FROM CITY OF TAMPA PRIOR TO ORDERING
 4. TREE GRATE FRAME SHALL BE CAST INTO TREE WELL STRUCTURE- SEE CIVL PLANS FOR STRUCTURAL DETAILS
 5. TREE WELL GRATE FRAME SHALL BE MOUNTING INTO OPENING OF TREE WELL AFTER TREE/PALM IS INSTALLED
 6. TREE GUARDS TO BE INSTALLED IN TREE WELLS WITH BALD CYPRESS TREES ONLY.

REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. L13
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

SQUARE

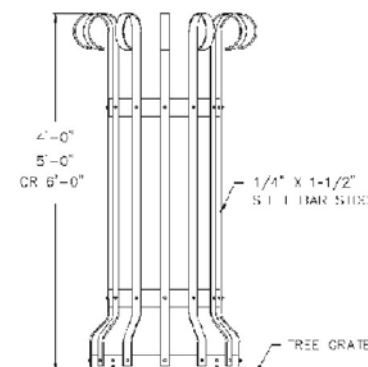
SERIES NO.	GRATE SIZE	AVAILABLE TREE OPENING SIZES	SLOT SIZE
R-8719	48" x 48"	32" dia.	0.25"
R-8717	60" x 60"	36" dia.	0.25"
--R-8717-A	60" x 60"	16" dia.	0.25"
R-8718	72" x 72"	36" dia.	0.25"
--R-8718-A	72" x 72"	16" dia.	0.25"



R-8717

DETAILS

- Available with light openings: R-8718, R-8718-A
- R-8717-A and R-8718-A use reducer grates for smaller tree opening



TYPE E

SPECIFY WHEN ORDERING:

1. Style
2. Dimension "L" (guard height as measured from top of grate - standard heights are 4', 5' or 6')
3. Tree opening diameter
4. Paint specifications if different from standard
5. Shop drawings for approval

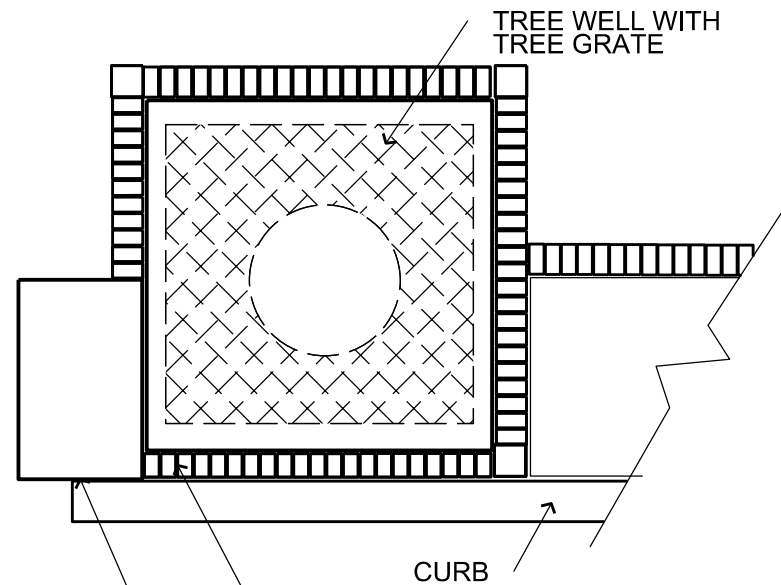
TREE GRATE NOTES:

1. CAST IRON R-8718A -CAST IRON POWDER COATED BLACK - 72" SQ OPENING
2. MATCH EXISTING STYLE AND TYPE LOCATED WITHIN YBOR CITY AND APPROVED BY CITY OF TAMPA.
3. TREE GRATE SHALL BE APPROVED IN WRITING FROM CITY OF TAMPA PRIOR TO ORDERING
4. TREE GRATE FRAME SHALL BE CAST INTO TREE WELL STRUCTURE- SEE CIVL PLANS FOR STRUCTURAL DETAILS
5. TREE WELL GRATE FRAME SHALL BE MOUNTED INTO OPENING OF TREE WELL AFTER TREE/PALM IS INSTALLED
6. TREE GUARDS TO BE INSTALLED IN TREE WELLS WITH BALD CYPRESS TREES ONLY.

REVISIONS				CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
				1001221	HILLSBOROUGH	436639-1-58-01	L14

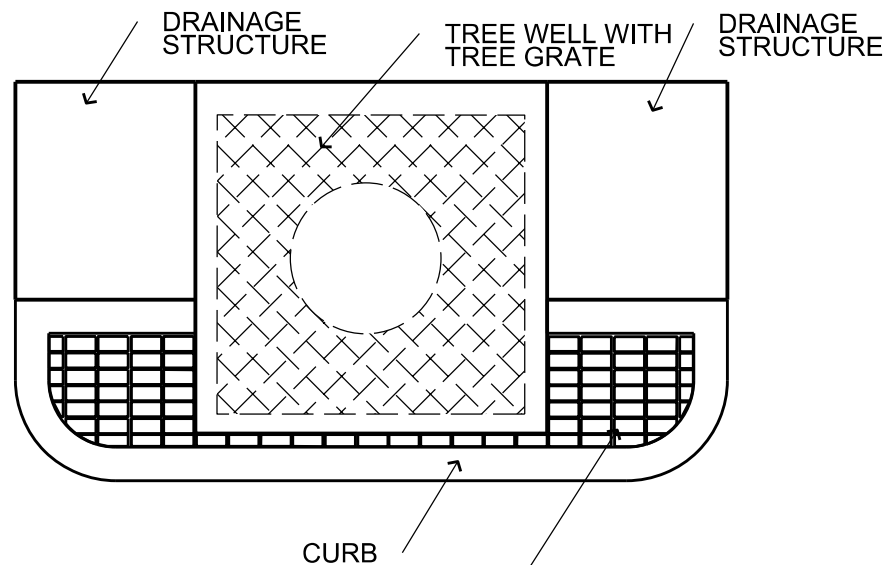

TERRA TECTONICS
 design group international, inc.
 LANDSCAPE ARCHITECTS
 ISA CERTIFIED ARBORISTS
 URBAN DESIGNERS
 1188 Kapp Drive | Clearwater, Florida | 33765 | 727.441.4504

Jonathan H. Toner
 Landscape Architect
 Florida LIC #00011223
 Corporate
 Authorization # 254
 33765 | 727.441.4504

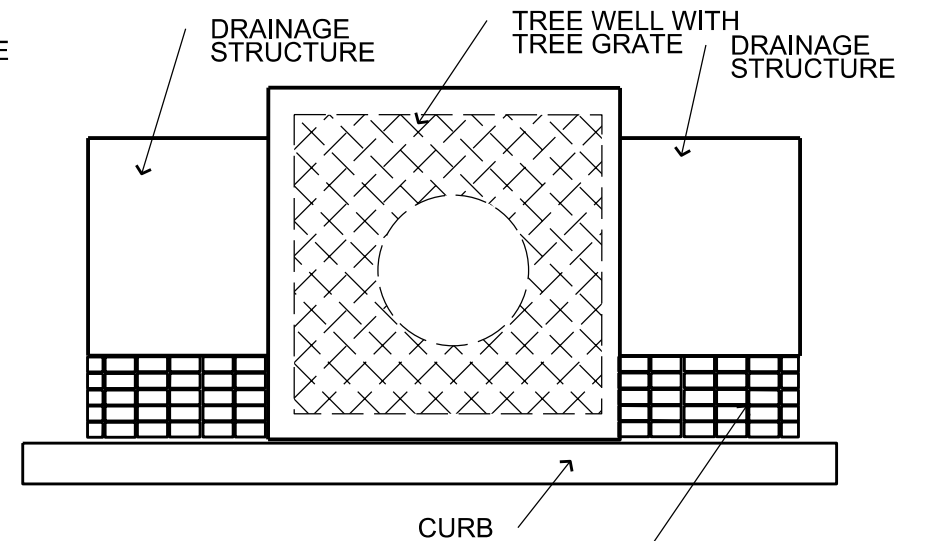


USE ONE ROW OF BRICK AROUND TREE WELL AS SHOWN. END ROW AT INLET STRUCTURE. CONTINUE ALONG PLANTER EDGE WHERE PLANTERS ARE SHOWN ON PLAN

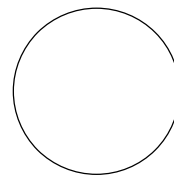
DRAINAGE STRUCTURE



USE BRICK BLOCK STACKED IN SOLDIER COURSE TO FILL IN SPACE BETWEEN TREE WELL AND BACK OF CURB. SEE PLAN FOR LOCATIONS



USE BRICK BLOCK STACKED IN SOLDIER COURSE TO FILL IN SPACE BETWEEN INLET STRUCTURES AND BACK OF CURB. SEE PLAN FOR LOCATIONS

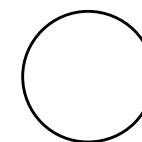
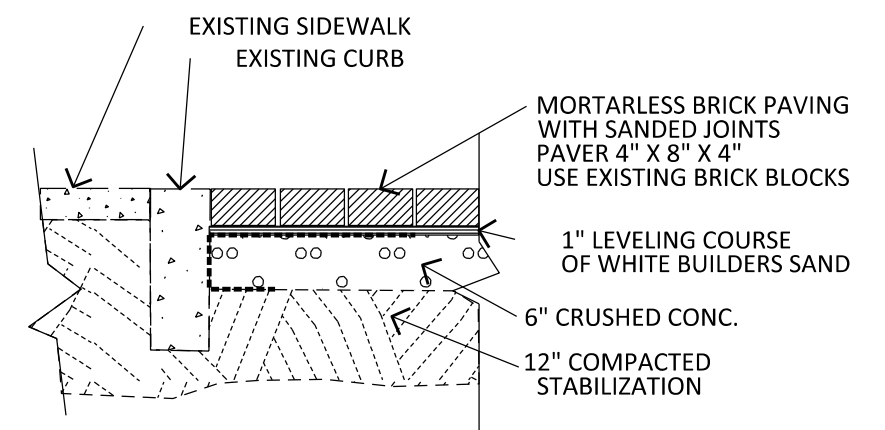


DETAIL- BRICKBLOCK PAVER APPLICATION AGAINST CURB-TREE WELL

PLAN

NTS

NOTE: SAWCUT BRICK BLOCK AS NEEDED TO FIT IN SPACES AS SHOWN. BRICK BLOCK IS AVAILABLE THROUGH CITY OF TAMPA STOCKPILE. CONTACT COT-CONSTRUCTION REPRESENTATIVE FOR COORDINATING LOCATIONS AND PICKUP OF MATERIALS.



RESTORED BRICK PAVERS IN WALK

SECTION

NTS

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION



Jonathan H. Toner
Landscape Architect
Florida LIC #0001123

Corporate
Authorization # 254
33765 | 727.441.4504

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

BRICK PAVER DETAILS

SHEET NO.
L15

Columbus Avenue Streetscape

Streetscape Maintenance Plan Narrative:

This project will be maintained by Hillsborough County upon the ending of the 12-Month Warranty Period. During the 12-Month Warranty Period, this project will be maintained by Contractor. The project falls within the USDA Zone 9-9A, with minimum temps between 26-32 degrees F, but only every few years. This project is surrounded by mostly residential and some industrial areas. It can be expected that this landscape will be subjected to incoming winter fronts from the NW and then summer daily rain from June to September with a drastic increase during tropical storms and hurricanes. Summers are typically very hot humid and frequent rainfall in the afternoons. Temperatures in the roadway edges can be harsh as it is surrounded by roadway asphalt & development. The summer warm evening temps can have the tendency to create conditions conducive to fungus production when combined with the high daily rainfall. Tree wells are design to use existing rainfall to water the trees. However, in periods of low or no rainfall, supplemental watering will be required. Supplemental truck watering if needed, will be the source of shrub landscape watering. Supplemental watering will be required to establish the plantings after installation and up to end of warranty period.

MAINTENANCE PLAN:

Maintenance to be done on the current Hillsborough County schedules. This to be on a bi-weekly basis from April through September and a month basis September through March. This includes litter pickup, mowing, edging weed removal and line trimming Pruning, fertilization and mulch replenishment to be done on an annual or semi-annual basis

Mowing:

The final project surface will be completed with Bahia sod in all areas not defined as plant bed. The mowing to be to a height of 3". This is to remove the seed heads from weeds and help control the invasive weeds. It can also be controlled by applications of specific herbicides, according to manufacturer's directions and frequency, to control initial weed growth after construction.

Edging:

Edging to be performed around the rootball perimeter of the street tree and palm root balls, with a diameter of 6' for each tree and palm. This to coincide with the mowing schedule.

Weeding:

Use of herbicides is encouraged to minimize hand pulling of weeds along the edge of the busy roadway. Care should be taken not to overspray onto the leaves of the desired landscape plantings. Correct applications of the proper herbicides have been proven to work effectively to reduce weeds, but not harm the trees and palms. Only Florida State licensed applicators will be permitted to apply herbicides.

Mulch:

Frequent observation and replacement of mini-pine bark mulch as required to maintain a 2-3" cover will help reduce invasive weeds. Spot mulch, semi-annually as needed for areas that need mulch cover. Replenish Mulch to a 3" depth at the end of the 12-month warranty period prior to turning the site over to the Hillsborough County Representative for maintenance.

Pruning:


The shrub selections are chosen for their habit of maintaining a small size and pruning should not be required other than an annual trimming of overgrown palm fronds and branches. Dead tree limbs and palm fronds need to be removed as soon as they are seen.

Fertilization:

The trees, shrubs and ground covers to be fertilized annually in March. Use a Time-release 2-8-10 Osmocote or equal, and according to manufacturer's recommendations for the particular plant material. Do not Fertilize in summer months, Check local ordinances for times of non-fertilization within City of Tampa.

Watering:

The watering will be by use of either Truck Watering or natural rainfall. Watering to be performed daily if needed, for the first month after Substantial Completion, and then weekly as needed to maintain the plantings in a Florida #1 condition up to Final Acceptance and to end of the 12-month warranty period. Watering to be the responsibility of the Landscape Contractor up to Final Acceptance and also during the entire 12-month Warranty Period. After the 12-month Warranty Period, Hillsborough County will be responsible for watering.

REVISIONS				 TERRA TECTONICS <small>design group international, inc.</small> LANDSCAPE ARCHITECTS ISA CERTIFIED ARBORISTS URBAN DESIGNERS 1188 Kapp Drive Clearwater, Florida 33765 727.441.4504	CITY OF TAMPA TRANSPORTATION DEPARTMENT			LANDSCAPE MAINTENANCE NOTES	SHEET NO. L16
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

STATE OF FLORIDA
CITY OF TAMPA

WALK-BIKE LAP PROJECT

CITY PROJECT NO. 1001221

FINANCIAL PROJECT ID 436639-1-58-01

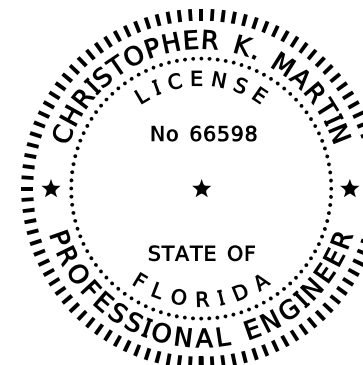
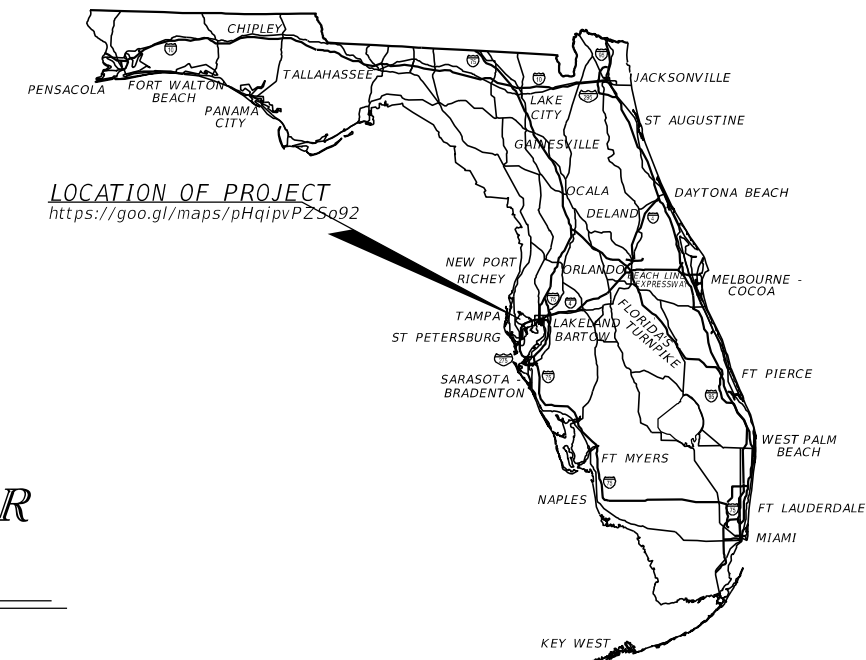
HILLSBOROUGH COUNTY

E COLUMBUS DR FROM SR 45 (N NEBRASKA AVE) TO N 14TH ST

UTILITY WORK BY HIGHWAY CONTRACTOR
WATER RELOCATION PLANS

INDEX OF WATER
RELOCATION PLANS

SHEET NO.	SHEET DESCRIPTION
U-01	KEY SHEET
U-02	TABULATION OF QUANTITIES
U-03	GENERAL NOTES
U-04 - U-08	WATER MAIN PLAN SHEETS
U-09	WATER MAIN PROFILE SHEET
U-10	WATER MAIN DRAINAGE STRUCTURE DETAIL
U-11	WATER MAIN CROSS SECTION DETAIL
U-12 - U-19	WATER MAIN STANDARD DETAILS



Christoph
er K
Martin

Digitally signed by
Christopher K. Martin
DN: c=US, o=AYRES
ASSOCIATES,
ou=A01427D00000168E77E6
FA100063AD,
cn=Christopher K. Martin
Date: 2020.05.20 14:41:06
-04'00'

CONSTRUCTION PLANS
MARCH 2020

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

WATER RELOCATION PLANS
ENGINEER OF RECORD:

CHRISTOPHER K. MARTIN, P.E.
P.E. LICENSE NUMBER 66598
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
(813) 978-8688
CERTIFICATE OF AUTHORIZATION 4356

FDOT PROJECT MANAGER:
NINA MABILLEAU, E.I.

FISCAL YEAR	SHEET NO.
21	U-01

CITY OF TAMPA
CIP NO.: 1001221 / FPID: 436639-1-58-01

SUMMARY OF UTILITIES

ITEM NUMBER	ITEM DESCRIPTION	UNIT	QUANTITY TOTAL
1050- 51-202	UTILITY PIPE-DUCTILE IRON/CAST IRON, FURNISH & INSTALL, WATER/SEWER, 2"	LF	16
1050- 51-206	UTILITY PIPE-DUCTILE IRON/CAST IRON, FURNISH & INSTALL, WATER/SEWER, 6"	LF	65
1050- 51-212	UTILITY PIPE-DUCTILE IRON/CAST IRON,, FURNISH & INSTALL, WATER/SEWER, 12"	LF	20
1055- 51-112	UTILITY FITTINGS, DUCTILE IRON/CAST IRON, FURNISH & INSTALL ELBOW, 12"	EA	4
1055- 51-412	UTILITY FITTINGS, DUCTILE IRON/CAST IRON, FURNISH & INSTALL UNION, 12"	EA	2
1080- 23-106	UTILITY FIXTURE-TAPPING SADDLE/SLEEVE, FURNISH & INSTALL, 6"	EA	1
1080- 24-106	UTILITY FIXTURE, VALVE ASSEMBLY, FURNISH AND INSTALL, 6"	EA	2
1080- 27-106	UTILITY FIXTURE-LINE STOP ASSEMBLY, FURNISH AND INSTALL, 6"	EA	1
1080- 27-112	UTILITY FIXTURE-LINE STOP ASSEMBLY, FURNISH AND INSTALL, 12"	EA	2
1080- 29-106	UTILITY FIXTURE-MECHANICAL JOINT RESTRAINT, FURNISH & INSTALL, 6"	EA	8
1080- 29-112	UTILITY FIXTURE, MECHANICAL JOINT RESTRAINT, FURNISH & INSTALL, 12"	EA	10
1644-113-08	FIRE HYDRANT , F&I, STANDARD, 2 HOSE, 1 PUMPER, 6"	EA	1
1644-900	FIRE HYDRANT, REMOVE	EA	1

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. U-02
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

CITY OF TAMPA WATER DEPARTMENT NOTES

CITY OF TAMPA WATER DEPARTMENT NOTES (CONT'D.)

GENERAL

- A. WATER SERVICE SHALL BE PROVIDED BY THE CITY OF TAMPA.
- B. ALL WORK TO BE PERFORMED ON EXISTING OR ON FUTURE WATER FACILITIES TO BE OWNED AND MAINTAINED BY THE CITY OF TAMPA SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF CITY OF TAMPA WATER DEPARTMENT TECHNICAL MANUAL. ALL CONSTRUCTION DETAILS AND STANDARDS DESCRIBED THERE WITHIN SHALL BE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS FOR THIS PROJECT.
- C. CONSTRUCTION OF ANY WATER INSTALLATIONS TO BE OWNED AND MAINTAINED BY THE CITY OF TAMPA SHALL BE COORDINATED WITH THE CITY OF TAMPA CONTRACT ADMINISTRATION DEPARTMENT PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER OF RECORD AND / OR CONTRACTOR SHALL CONTACT THE ADMINISTRATION DEPARTMENT AT (813) 635-3400 TO SCHEDULE A PRE-CONSTRUCTION MEETING FOR THE REVIEW OF INSTALLATION TECHNIQUES AND PROCEDURES A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO CONSTRUCTION.
- D. PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CITY OF TAMPA REGARDING THE PUBLIC WATER FACILITIES, THE CONTRACTOR SHALL OBTAIN THE LATEST EDITION OF THE CITY OF TAMPA WATER DEPARTMENT TECHNICAL MANUAL. ALL PRIVATELY INSTALLED PUBLIC FACILITIES, INCLUDING CONSTRUCTION, MATERIALS, AND WORKMANSHIP, ARE TO CONFORM WITH THE SPECIFICATIONS OUTLINED IN THE DEPARTMENT'S TECHNICAL MANUAL. IN THE EVENT OF A DISCREPANCY, THE MOST STRINGENT CRITERIA SHALL APPLY.
- E. BENDS SHALL BE INSTALLED ON ALL WATER MAINS AS NECESSARY TO MAINTAIN PROPER ALIGNMENT. JOINT DEFLECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-600 (LATEST EDITION) EXCEPT DEFLECTIONS ALLOWED SHALL BE LESS 80% OF THE DEFLECTION VALUES GIVEN IN THE AWWA DEFLECTION TABLE.
- F. VALVES ON EXISTING CITY OF TAMPA WATER MAINS ARE TO BE OPERATED BY CITY PERSONNEL ONLY.
- G. FIRE HYDRANT ASSEMBLIES TO BE OWNED AND MAINTAINED BY THE CITY SHALL BE 5 1/4" DNS.
- H. ALL FIRE HYDRANT ASSEMBLIES AND FIRE LINE DOUBLE DETECTOR CHECK VALVES WHICH ARE TO BE PRIVATELY OWNED AND MAINTAINED SHALL BE PAINTED RED.
- I. FOR ANY NEW, ADJUSTED, OR RELOCATED FIRE HYDRANT ASSEMBLY, HYDRANT EXTENSIONS ARE NOT PERMITTED. FIRE HYDRANT ASSEMBLY INSTALLATIONS MUST CONFIRM WITH THE WATER DEPARTMENT STANDARD. IF A NEW, ADJUSTED, OR RELOCATED FIRE HYDRANT ASSEMBLY IS NOT PROPERLY SIZED, A NEW HYDRANT MUST BE ORDERED AT THE DEVELOPER'S EXPENSE.
- J. THE DEVELOPER SHALL BE RESPONSIBLE TO LOCATE ALL EXISTING PUBLIC WATER SERVICE LINES NO LONGER TO BE SERVING THE PARCEL. THESE SERVICE LINES ARE TO BE REMOVED, AND CUT & CAPPED AT THE PUBLIC WATER MAIN BY THE DEVELOPER.
- K. ALL PROPOSED PIPE AND AFFECTED EXISTING PIPE SHALL BE RESTRAINED IN ACCORDANCE WITH THE RESTRAINT JOINT DETAILS.
- L. THE MATERIAL QUANTITIES AND CALLOUT LENGTHS ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY QUANTITIES PRIOR TO ACQUISITION AND COMMENCEMENT OF CONSTRUCTION WORK.

PIPE CLEARANCES

- A. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 36 INCHES AND SHALL MAINTAIN A MINIMUM OF THREE (3) FEET HORIZONTAL SEPARATION FROM OTHER UTILITIES, EXCEPT STORM, WASTEWATER, AND GAS WHICH SHALL MAINTAIN TEN (10) FEET HORIZONTAL SEPARATION, UNLESS OTHERWISE NOTED.
- B. WATER MAINS SHALL CROSS ABOVE OTHER PIPES. WHEN WATER MAINS CROSS ANOTHER UTILITY, 18" OF OUTSIDE-TO-OUTSIDE VERTICAL SEPARATIONS SHOULD BE PROVIDED. IN CASES WHERE THE PREFERRED SEPARATION MAY NOT BE MET, A MINIMUM OF 12" OF OUTSIDE-TO-OUTSIDE VERTICAL SEPARATION MUST BE PROVIDED.
- C. ALL WATER MAIN CROSSINGS WITH OTHER UTILITIES SHALL BE ARRANGED SO THAT THE JOINTS OF THE CROSSING PIPES ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- D. CLEARANCE BETWEEN ALL TREES AND WATER MAINS SHALL MEET CITY OF TAMPA PARKS DEPARTMENT LATEST REQUIREMENTS. NO TREE SHALL BE PLANTED WITHIN 10 FEET OF INSTALLED OR EXISTING WATER MAINS.
- E. ALL WATER MAINS SHALL MAINTAIN SEPARATION AS DESCRIBED IN F.A.C. 62-555.314.

MATERIAL

- A. ALL VALVES SHALL BE RIGHT HAND (CLOCKWISE) OPEN.
- B. ALL DUCTILE IRON PIPE (DIP) FITTINGS AND APPURTENANCES SHALL UTILIZE POLYWRAP.
- C. ALL HARDWARE SHALL BE, AT MINIMUM, 304 STAINLESS STEEL, UNLESS OTHERWISE NOTED.
- D. ALL BELOW GROUND BENDS SHALL BE MECHANICAL JOINT.
- E. ALL VALVES AND FITTINGS SHALL BE RESTRAINED.
- F. CONCRETE THRUST BLOCKS SHALL NOT BE USED TO PROVIDE THRUST RESTRAINT. RESTRAINT OF PUSH-ON DIP (OTHER THAN FOR FITTINGS AND VALVES) SHALL BE WITH APPROVED PUSH-ON "GRIPPER-TYPE" RESTRAINTS. FITTINGS AND VALVES SHALL BE CONNECTED TO PIPE WITH MEGA LUGS, OR APPROVED EQUAL.
- G. ALL POTABLE WATER SERVICE LATERALS, AIR RELEASE VALVES, AND TEMPORARY SAMPLE POINTS SHALL BE CONSTRUCTED OF BLUE SDR-9 HIGH DENSITY POLYETHYLENE (HDPE) TUBING. ALL HDPE TUBING SHALL BE INSTALLED WITHIN A CASING AS DEFINED IN THE SPECIFICATIONS AND DETAILS OF THE CITY OF TAMPA WATER DEPARTMENT TECHNICAL MANUAL.

DIRECTIONAL DRILLING

- A. HORIZONTAL ALIGNMENT SHALL BE AS SHOWN ON THE DRAWINGS. THE PIPE SHALL HAVE A MINIMUM 48-INCH COVER. THE MAXIMUM DEPTH SHALL BE DETERMINED BASED ON 36-INCH MINIMUM CLEARANCE UNDER WATER OR GAS LINES AND 24-INCH CLEARANCE UNDER ALL OTHER EXISTING OR PROPOSED UTILITIES TO BE CROSSED. COMPOUND CURVATURES MAY BE USED, BUT SHALL NOT EXCEED THE MAXIMUM DEFLECTIONS AS SET FORTH BY THE HDPE PIPE MANUFACTURE OR AWWA STANDARDS, WHICHEVER IS STRICTER.
- B. ENTRY ANGLE SHALL BE 12° - 14° IDEAL (NOT TO EXCEED 15°). EXIT ANGLE SHALL BE 6° - 12° TO FACILITATE "PULL-BACK."
- C. ENTRY AND EXIT ANGLES ARE DEFINED AS ANGLES FROM THE HORIZONTAL.
- D. A BORING LOG FOR THE VERTICAL AND HORIZONTAL ALIGNMENTS OF THE DIRECTIONAL DRILLED PIPES SHALL BE PROVIDED AND SUBMITTED ALONG WITH THE AS BUILT PACKAGE.

TESTING

- A. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL BE PROPERLY PRESSURE TESTED, WITNESSED, AND ACCEPTED BY THE CITY. PRESSURE TEST TO BE PERFORMED IN ACCORDANCE WITH CITY OF TAMPA WATER DEPARTMENT SPECIFICATIONS. CONTRACTOR TO NOTIFY THE ASSIGNED CITY INSPECTOR A MINIMUM OF THREE (3) WORKING DAYS IN ADVANCE OF PERFORMING TESTS. CONTRACTOR SHALL PRESSURE TEST WATER MAINS AT A MINIMUM OF 150 PSI FOR A PERIOD OF TWO (2) HOURS IN ACCORDANCE WITH AWWA C600-87 STANDARDS. THE CONTRACTOR SHALL MAKE ALL NECESSARY APPLICATIONS AND ARRANGEMENTS.
- B. ALL SAMPLE, PRESSURE TEST, AND CHLORINATION POINT PIPING SHALL BE COMPLETELY REMOVED PRIOR TO FINAL ACCEPTANCE. THE CORPORATION STOP SHALL BE CLOSED AND PLUGGED AT THE MAIN.
- C. CONTRACTOR SHALL PERFORM DISINFECTION AND HIRE INDEPENDENT FIRMS TO CONDUCT BACTERIOLOGICAL TESTING AS DEFINED IN F.A.C. 62-55.340. CONTRACTOR SHALL SUPPLY THE CITY WITH AS-BUILTS AND SAMPLE RESULTS NECESSARY TO OBTAIN DEP CLEARANCES.

RESTORATION

- A. ROADWAY RESTORATION SHALL BE IN CONFORMANCE WITH CORRESPONDING JURISDICTIONS LATEST'S STANDARDS. 2. ALL ASPHALT OPEN CUTS WITHIN CITY RIGHT-OF-WAY SHALL BE FULLY MILLED AND OVERLAYED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT PER THE WATER DEPARTMENT'S STANDARD DETAIL.
- B. DISTURBANCE TO ANY PROPERTY, PUBLIC OR PRIVATE, AS PART OF THE CONSTRUCTION OF PUBLIC WATER FACILITIES, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

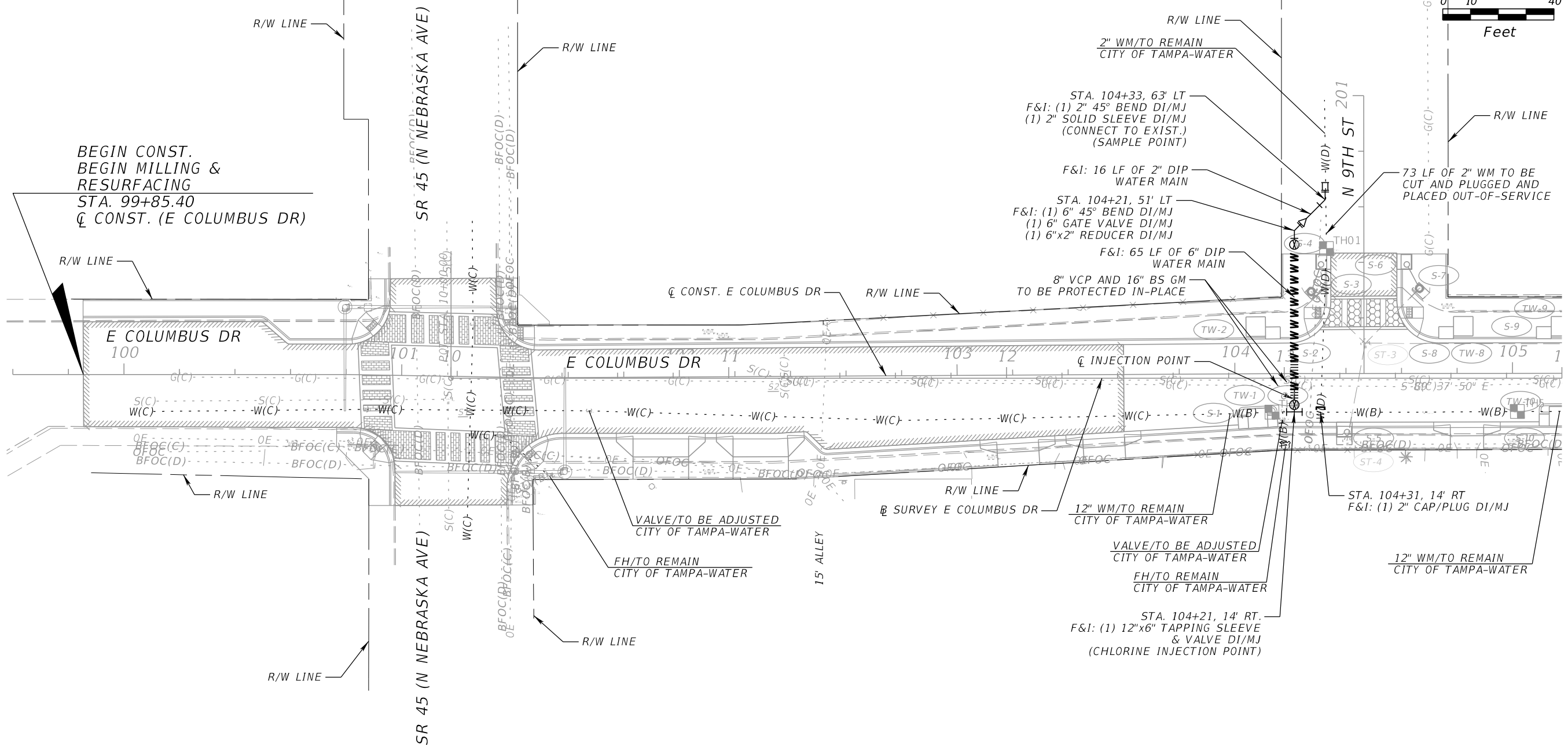
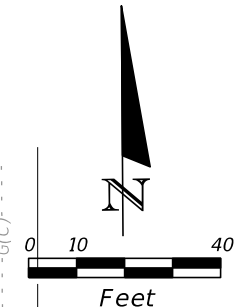
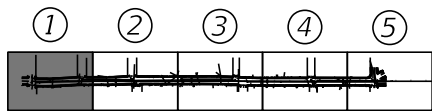
CERTIFICATE OF OCCUPANCY

THE CITY OF TAMPA WATER DEPARTMENT'S HOLD ON THE CERTIFICATE OF OCCUPANCY WILL NOT BE RELEASED UNTIL ALL CLOSEOUT REQUIREMENTS SET FORTH BY CITY OF TAMPA WATER DEPARTMENT AND CONTRACT ADMINISTRATION HAVE BEEN SATISFIED. THESE REQUIREMENTS MAY INCLUDE BY NOT BE LIMITED TO:

- A. FINAL INSPECTION IN CONJUNCTION WITH THE CONTRACT ADMINISTRATION DEPARTMENT PERSONNEL COMPLETED AND APPROVED.
- B. AS-BUILTS, BOTH HARD COPIES AND PDF, HAVE BEEN RECEIVED AND ACCEPTED.
- C. ALL NECESSARY TESTING COMPLETED AND CERTIFIED.
- D. PAYMENT OF ALL CITY OF TAMPA WATER DEPARTMENT FEES.
- E. ISSUANCE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION / HILLSBOROUGH COUNTY HEALTH DEPARTMENT CERTIFICATION OF COMPLETION APPROVAL (IF APPLICABLE).
- F. RECEIPT AND ACCEPTANCE OF ALL REQUIRED EASEMENT DEDICATION DOCUMENTS (IF APPLICABLE).
- G. RECEIPT AND ACCEPTANCE OF ALL REQUIRED TRANSFER OF OWNERSHIP DOCUMENTS (IF APPLICABLE).

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. U-03
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

GENERAL NOTES



BEGIN CONST.
 BEGIN MILLING &
 RESURFACING
 STA. 99+85.40
 CL CONST. (E COLUMBUS DR)

STA. 104+33, 63' LT
 F&I: (1) 2" 45° BEND DI/MJ
 (1) 2" SOLID SLEEVE DI/MJ
 (CONNECT TO EXIST.)
 (SAMPLE POINT)

F&I: 16 LF OF 2" DIP
 WATER MAIN
 STA. 104+21, 51' LT
 F&I: (1) 6" 45° BEND DI/MJ
 (1) 6" GATE VALVE DI/MJ
 (1) 6"x2" REDUCER DI/MJ

F&I: 65 LF OF 6" DIP
 WATER MAIN
 8" VCP AND 16" BS GM
 TO BE PROTECTED IN-PLACE

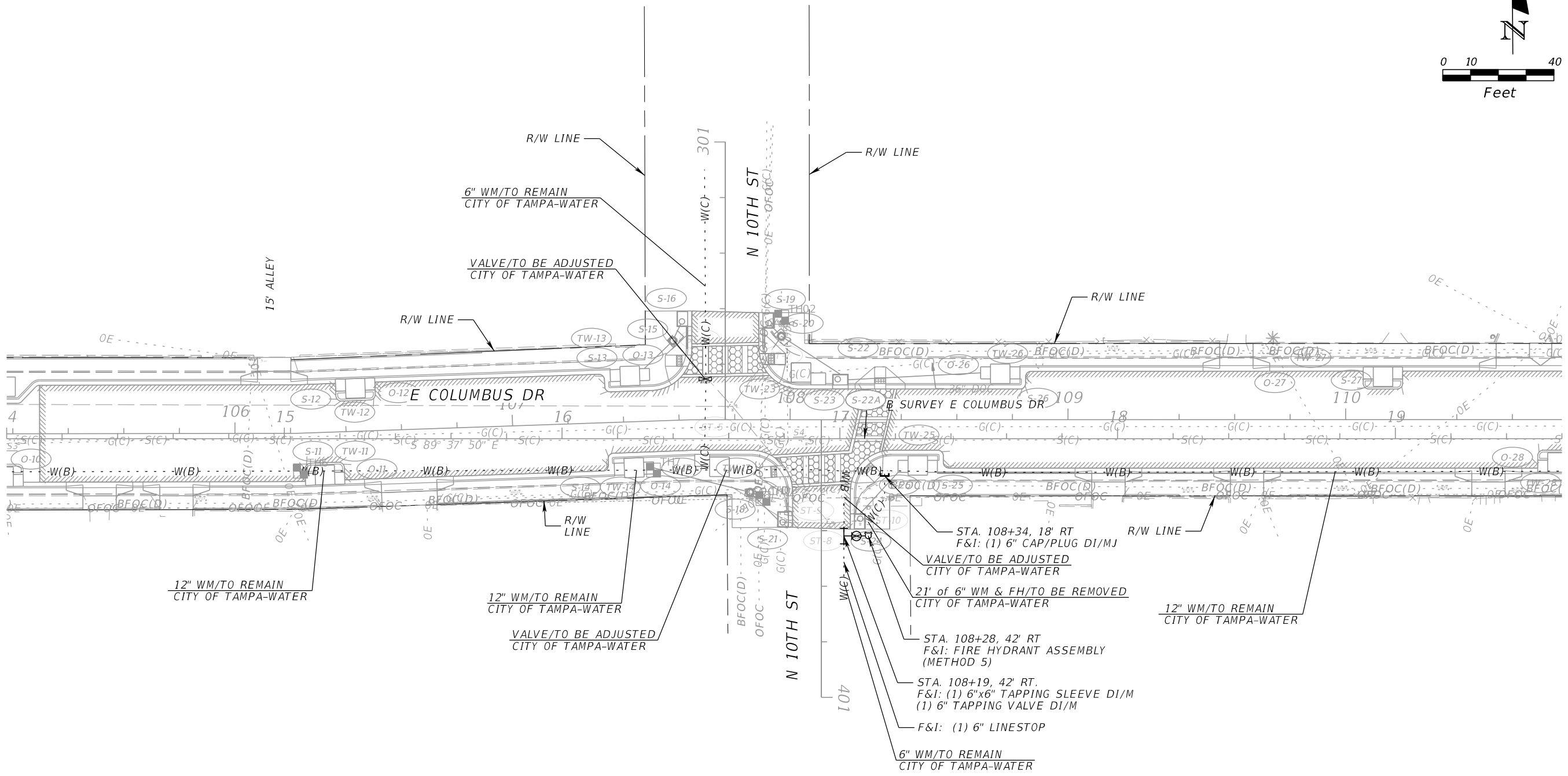
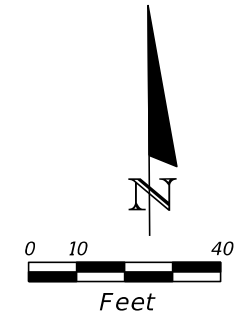
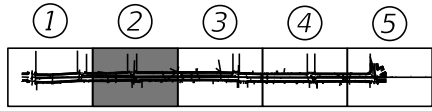
12" WM/TO REMAIN
 CITY OF TAMPA-WATER
 VALVE/TO BE ADJUSTED
 CITY OF TAMPA-WATER
 FH/TO REMAIN
 CITY OF TAMPA-WATER

STA. 104+21, 14' RT.
 F&I: (1) 12"x6" TAPPING SLEEVE
 & VALVE DI/MJ
 (CHLORINE INJECTION POINT)

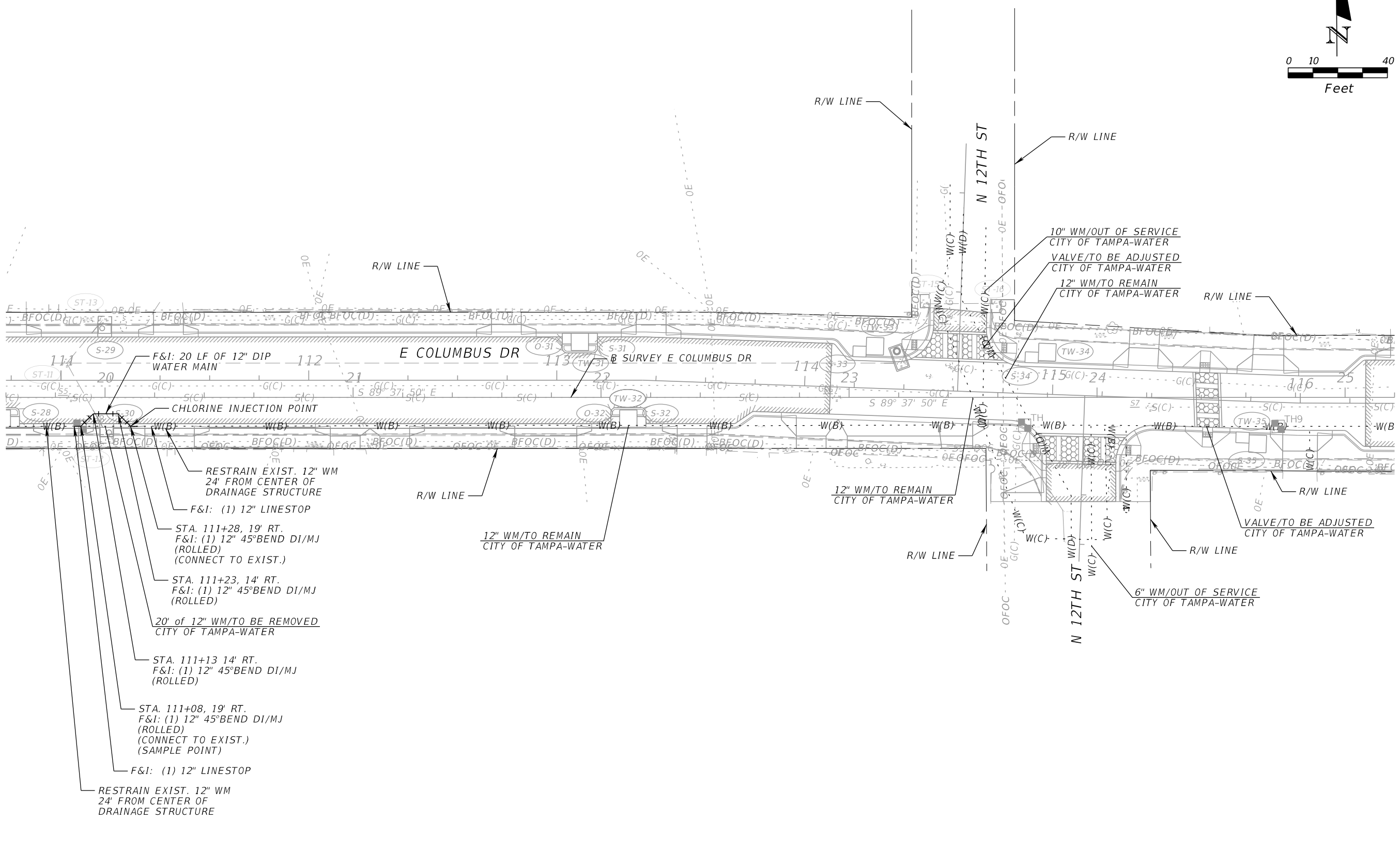
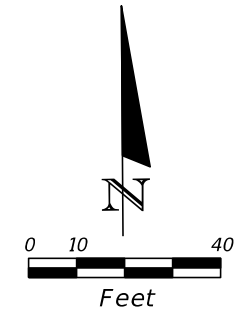
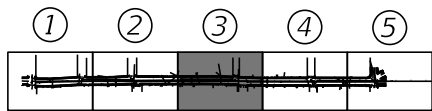
STA. 104+31, 14' RT
 F&I: (1) 2" CAP/PLUG DI/MJ

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN PLAN (1) U-04
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
					1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



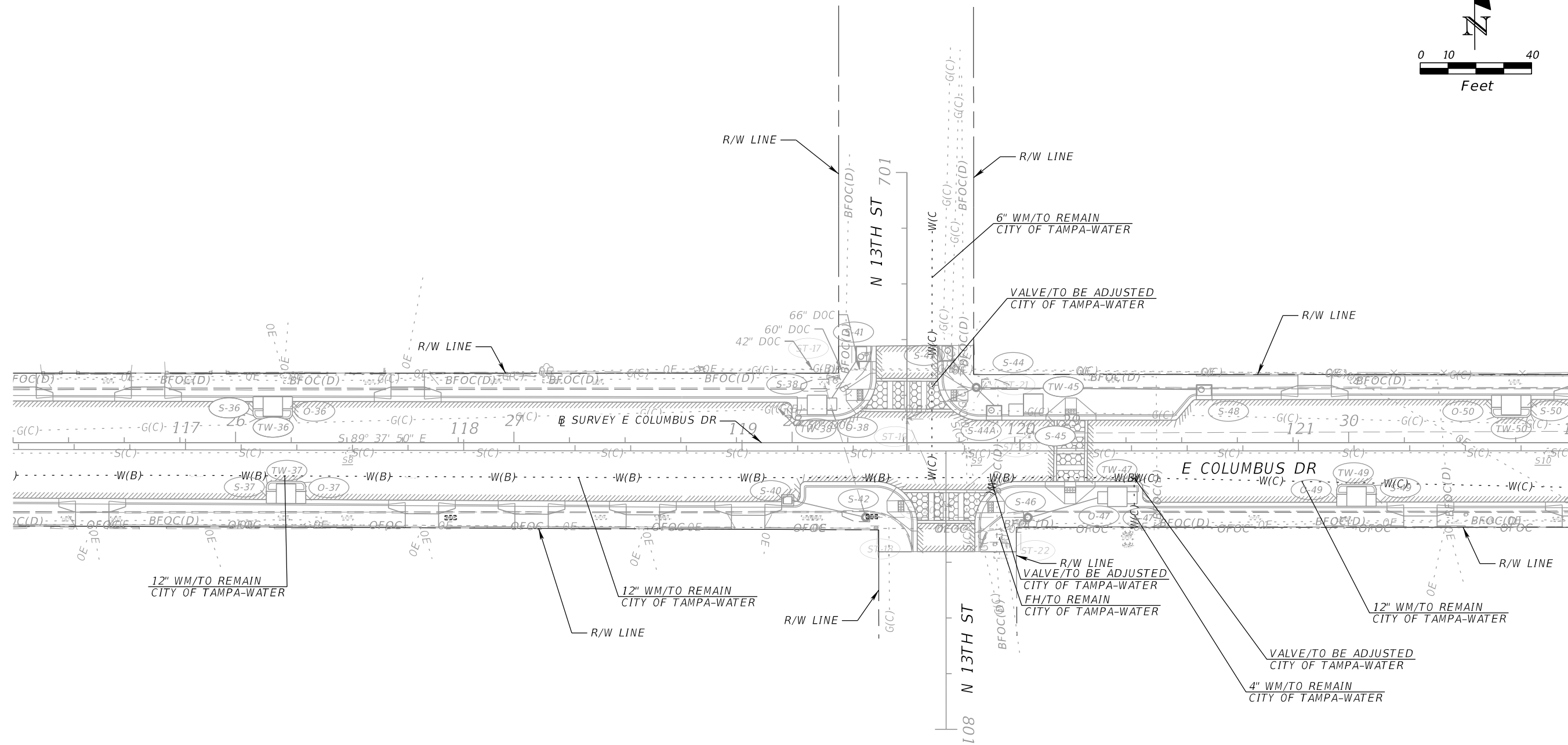
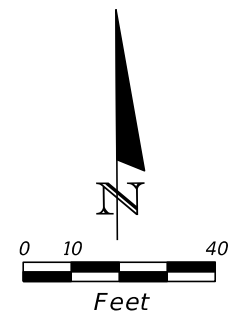
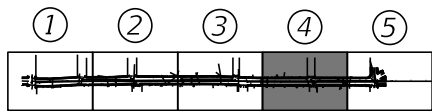
REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN PLAN (2)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		U-05



- RESTRAIN EXIST. 12" WM
24' FROM CENTER OF
DRAINAGE STRUCTURE
- F&I: (1) 12" LINESTOP
- STA. 111+28, 19' RT.
F&I: (1) 12" 45° BEND DI/MJ
(ROLLED)
(CONNECT TO EXIST.)
- STA. 111+23, 14' RT.
F&I: (1) 12" 45° BEND DI/MJ
(ROLLED)
- 20' of 12" WM/TO BE REMOVED
CITY OF TAMPA-WATER
- STA. 111+13, 14' RT.
F&I: (1) 12" 45° BEND DI/MJ
(ROLLED)
- STA. 111+08, 19' RT.
F&I: (1) 12" 45° BEND DI/MJ
(ROLLED)
(CONNECT TO EXIST.)
(SAMPLE POINT)
- F&I: (1) 12" LINESTOP
- RESTRAIN EXIST. 12" WM
24' FROM CENTER OF
DRAINAGE STRUCTURE

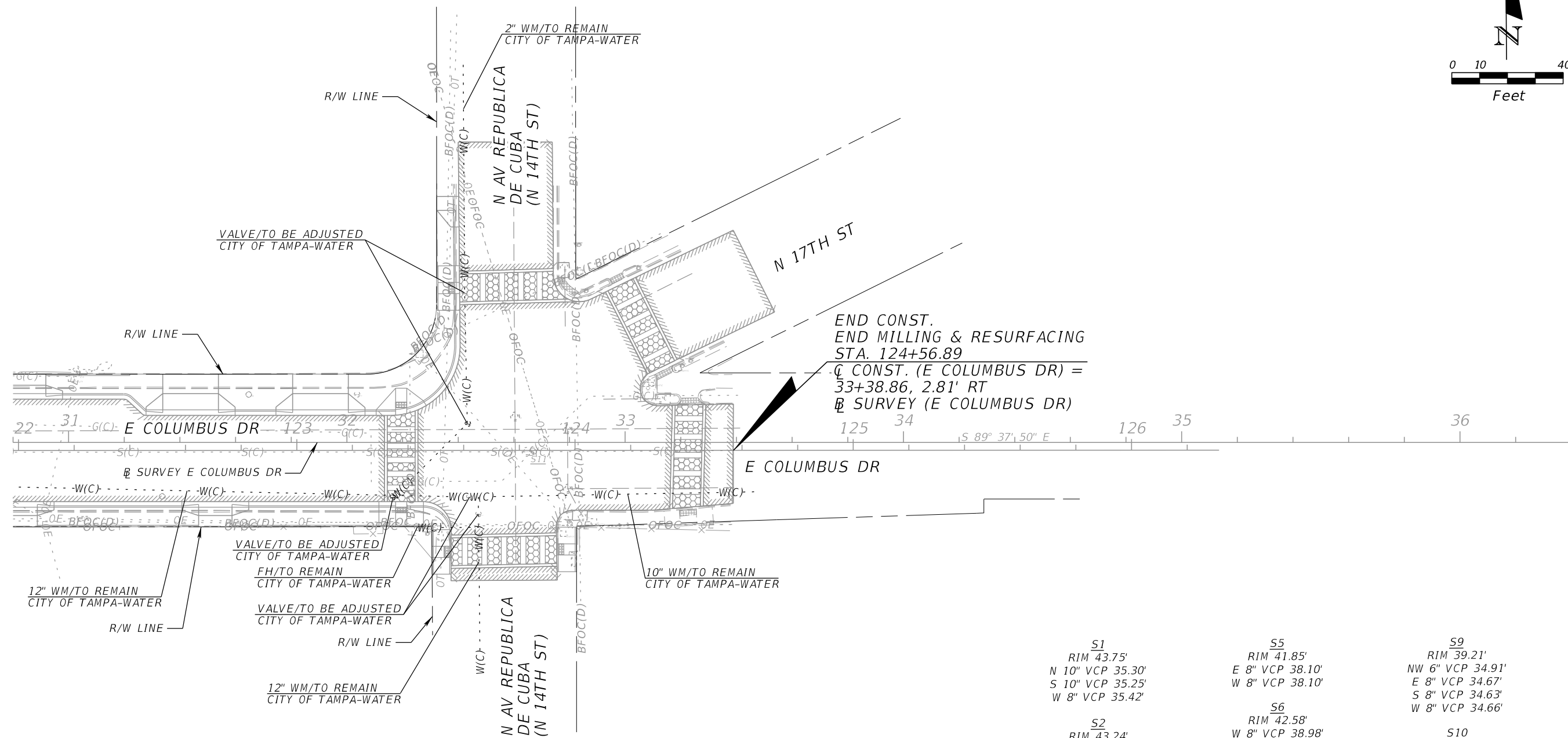
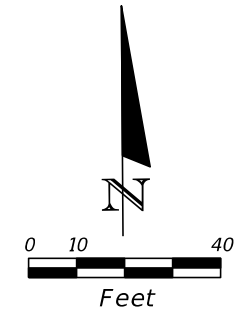
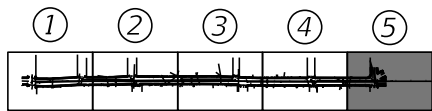
REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO. U-06
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
						1001221	HILLSBOROUGH	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN PLAN (4)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		U-07
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



END CONST.
 END MILLING & RESURFACING
 STA. 124+56.89
 C CONST. (E COLUMBUS DR) =
 33+38.86, 2.81' RT
 @ SURVEY (E COLUMBUS DR)

S1
 RIM 43.75'
 N 10" VCP 35.30'
 S 10" VCP 35.25'
 W 8" VCP 35.42'

S2
 RIM 43.24'
 NW 8" VCP 38.90'
 N 6" VCP 38.94'
 S 6" VCP 39.04'
 E 8" VCP 38.85'

S3
 RIM 42.58'
 E 8" VCP 38.11'
 W 8" VCP 38.13'

S4
 RIM 41.50'
 E 8" VCP 37.32'
 W 8" VCP 37.42'
 S 8" VCP 37.42'

S5
 RIM 41.85'
 E 8" VCP 38.10'
 W 8" VCP 38.10'

S6
 RIM 42.58'
 W 8" VCP 38.98'

S7
 RIM 42.88'
 NW 6" VCP 38.45'
 E 8" VCP 38.23'

S8
 RIM 41.53'
 W 8" VCP 36.37'
 E 8" VCP 36.37'

S9
 RIM 39.21'
 NW 6" VCP 34.91'
 E 8" VCP 34.67'
 S 8" VCP 34.63'
 W 8" VCP 34.66'

S10
 RIM 41.47'
 E 8" VCP 37.09'
 W 8" VCP 37.09'

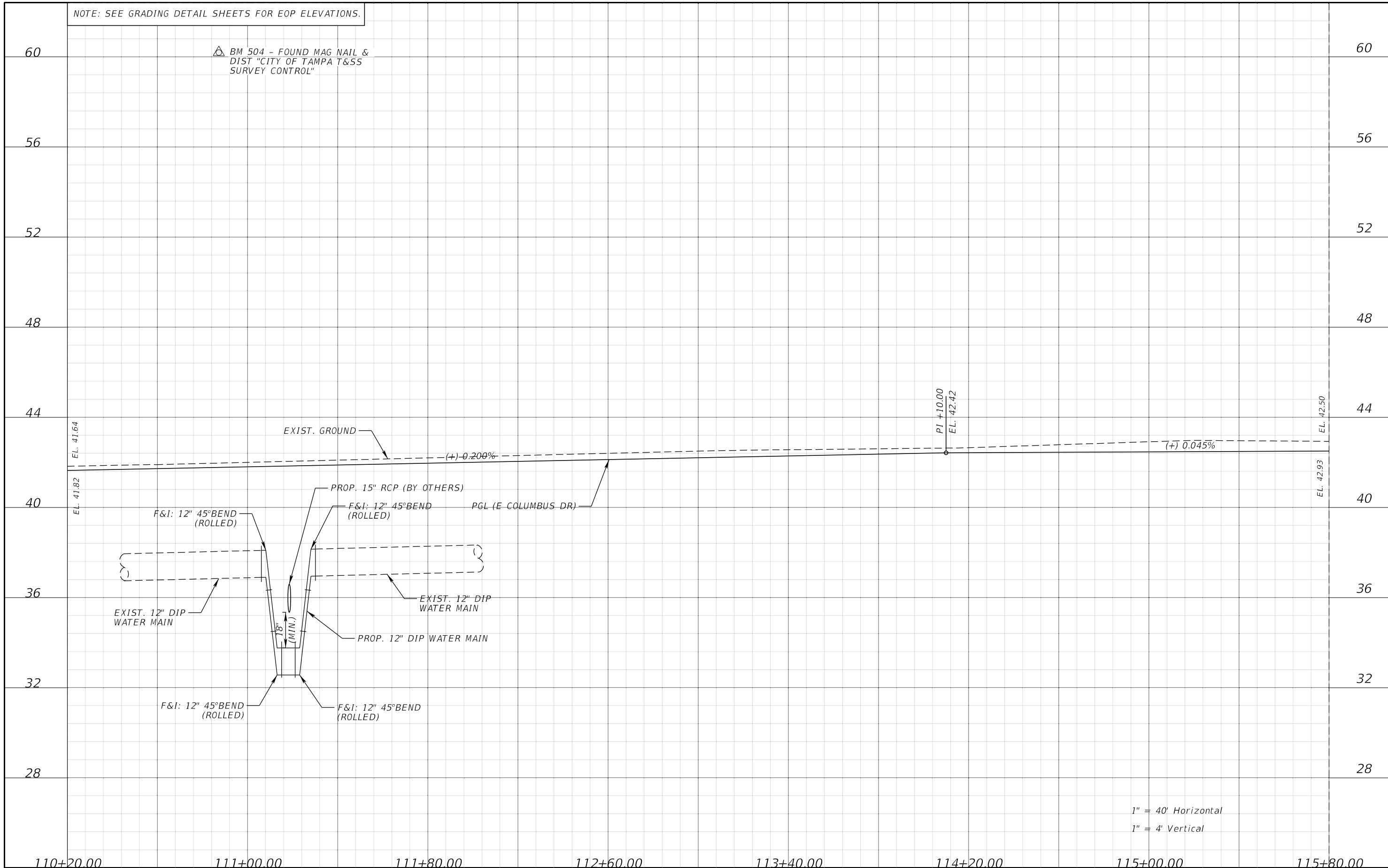
S11
 RIM 44.09'
 E 8" VCP 39.11'
 W 8" VCP 39.11'

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN PLAN (5)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		U-08
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

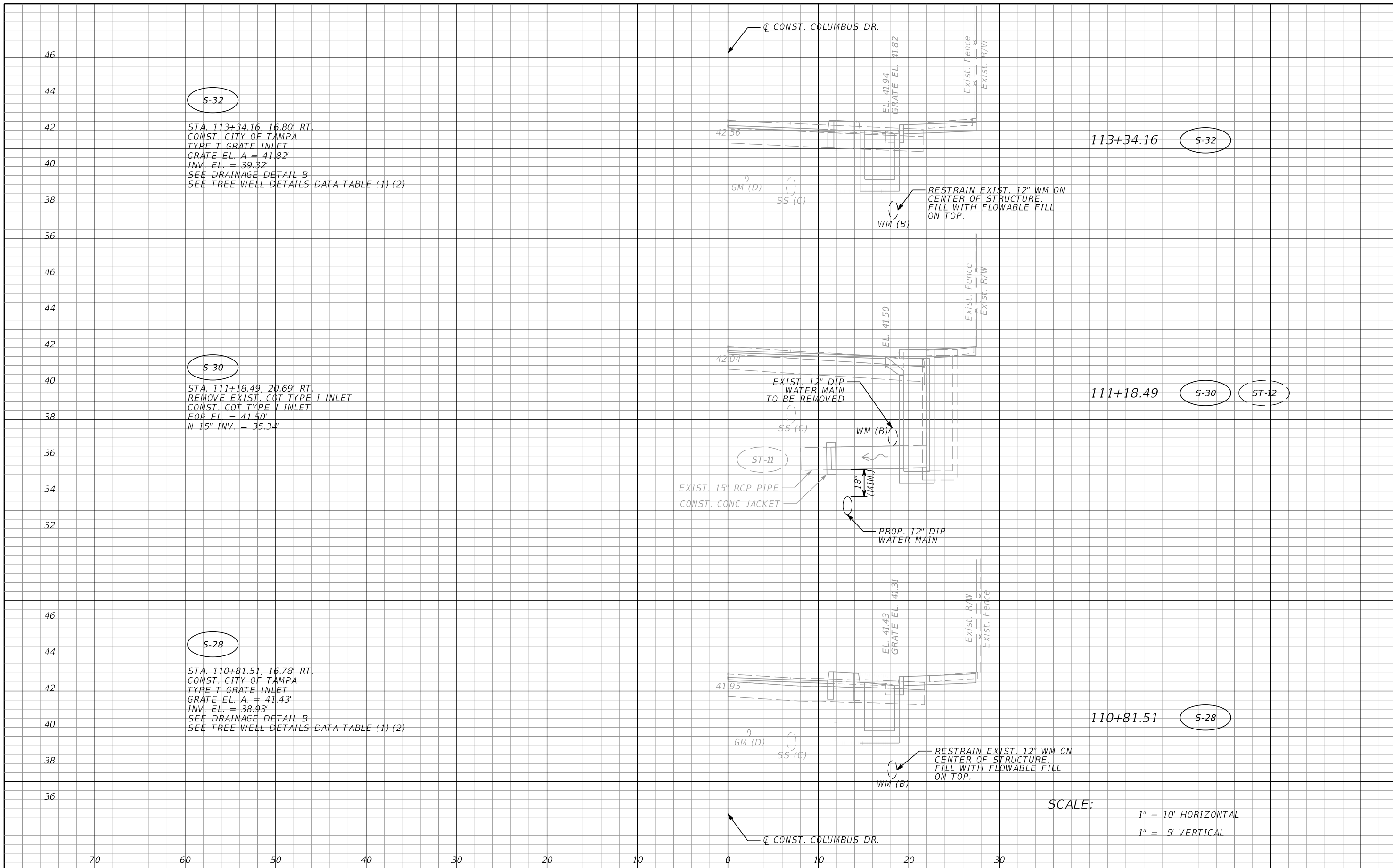
NOTE: SEE GRADING DETAIL SHEETS FOR EOP ELEVATIONS.

△ BM 504 - FOUND MAG NAIL &
DIST "CITY OF TAMPA T&SS
SURVEY CONTROL"



DATE		DESCRIPTION		REVISIONS		CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN PROFILE SHEET NO. U-09
DATE	DESCRIPTION	DATE	DESCRIPTION	CITY PROJECT NO.	COUNTY		FINANCIAL PROJECT ID			
							1001221	HILLSBOROUGH	436639-1-58-01	

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

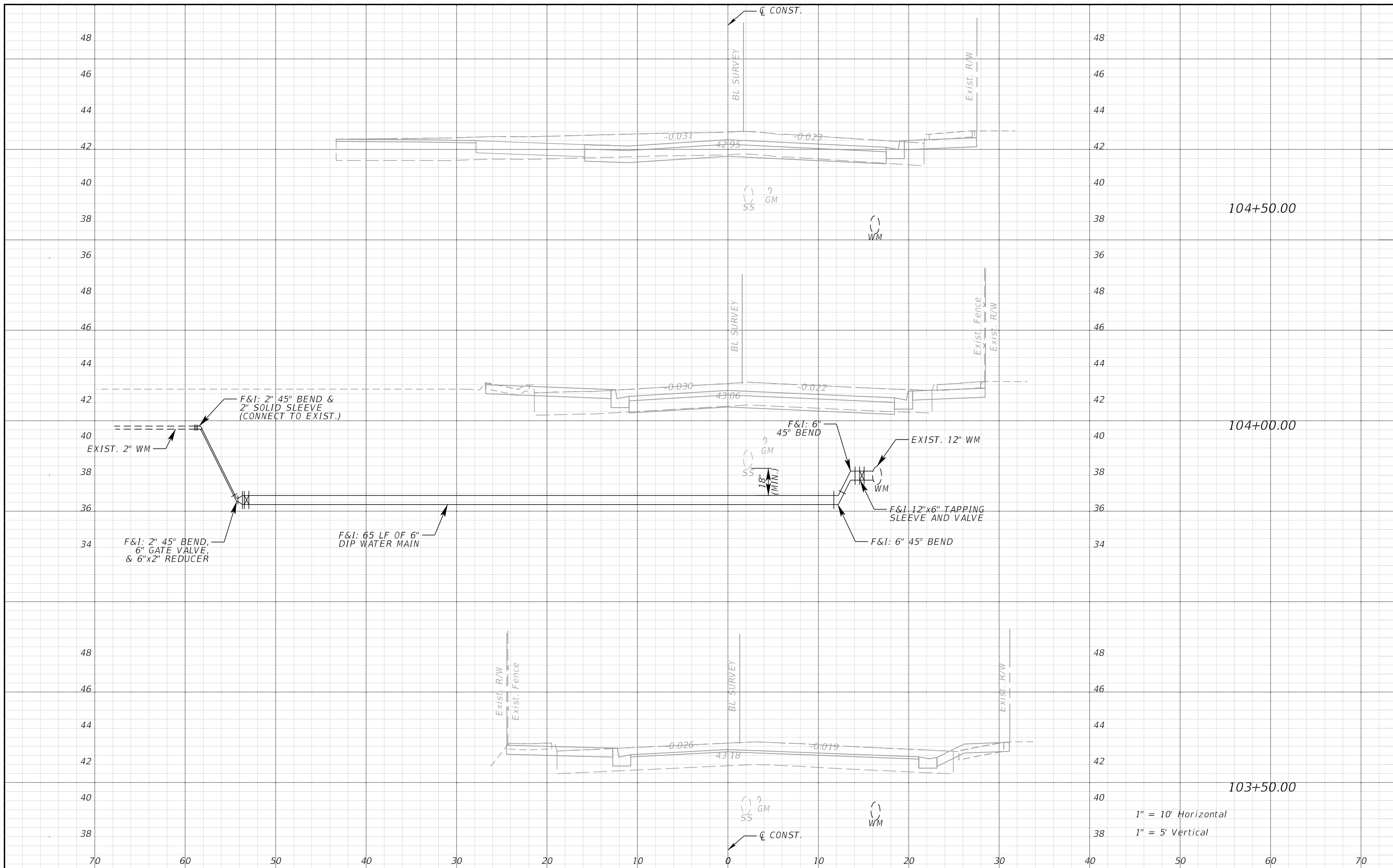
CHRISTOPHER K. MARTIN, P.E.
 P.E. LICENSE NUMBER 66598
 AYRES ASSOCIATES
 8875 HIDDEN RIVER PKWY, SUITE 200
 TAMPA, FL 33637
 CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY CONTRACT NO.	COUNTY	FINANCIAL PROJECT ID
18-D-00007	HILLSBOROUGH	437246-1-58-01

**WATER MAIN DRAINAGE
STRUCTURE DETAIL**

SHEET NO.
U-10

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



1" = 10' Horizontal
1" = 5' Vertical

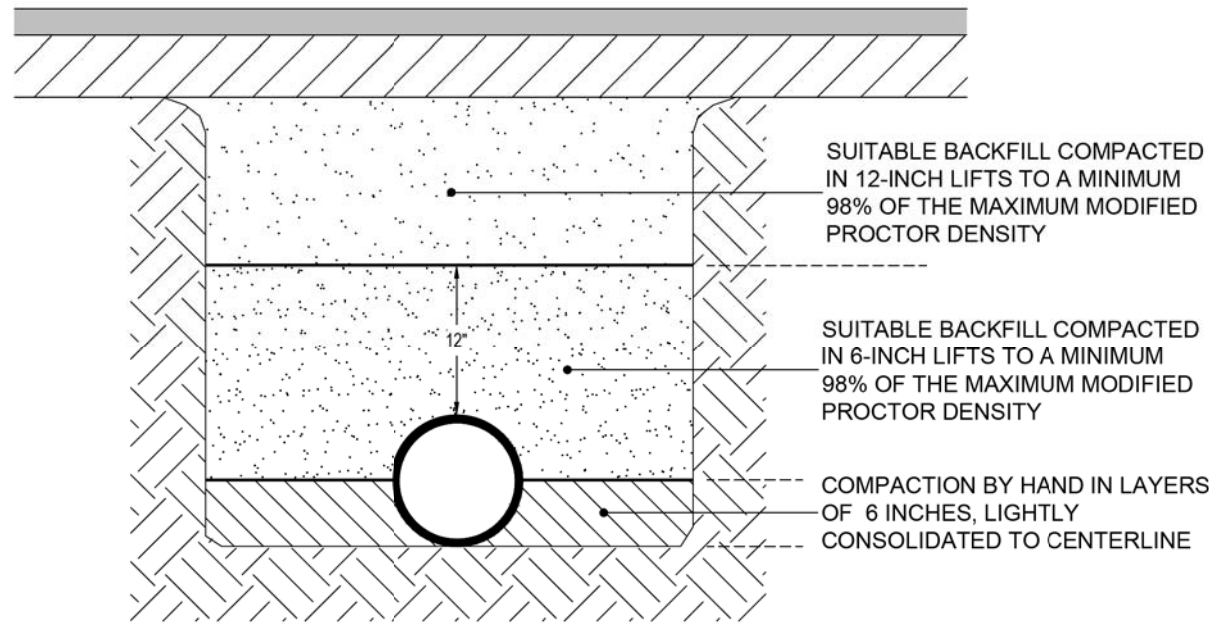
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

CHRISTOPHER K. MARTIN, P.E.
P.E. LICENSE NUMBER 66598
AYRES ASSOCIATES
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION 4356

CITY OF TAMPA TRANSPORTATION DEPARTMENT		
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID
1001221	HILLSBOROUGH	436639-1-58-01

**WATER MAIN
CROSS SECTION DETAIL**

SHEET NO.
U-11



SUITABLE BACKFILL COMPACTED IN 12-INCH LIFTS TO A MINIMUM 98% OF THE MAXIMUM MODIFIED PROCTOR DENSITY

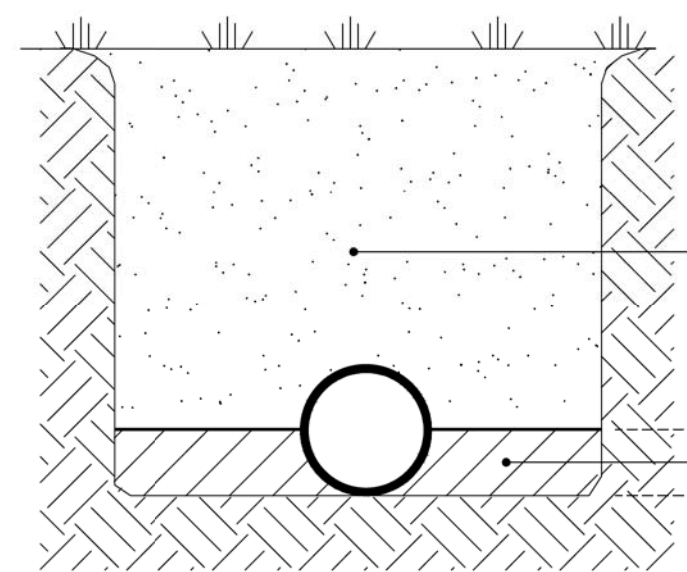
SUITABLE BACKFILL COMPACTED IN 6-INCH LIFTS TO A MINIMUM 98% OF THE MAXIMUM MODIFIED PROCTOR DENSITY

COMPACTION BY HAND IN LAYERS OF 6 INCHES, LIGHTLY CONSOLIDATED TO CENTERLINE

NOTES:

1. TYPE 2 TRENCH IS DEFINED AS A FLAT-BOTTOM TRENCH. LIGHTLY CONSOLIDATE BACKFILL TO CENTERLINE OF PIPE.
2. THIS STANDARD SHALL BE UTILIZED IN THE ABSENCE OF SPECIFIC STANDARDS. THE STANDARD OF THE AGENCY CONTROLLING THE RIGHT-OF-WAY SHALL GOVERN UNLESS OTHERWISE DIRECTED BY CITY ENGINEER.
3. SUITABLE BACKFILL SHALL BE DEFINED AS MATERIAL FREE FROM CINDERS, ASHES, REFUSE, CLAY, ORGANIC MATTER, BOULDERS, ROCKS OR STONES, OR OTHER MATERIAL THAT IN THE OPINION OF THE CITY ENGINEER IS UNSUITABLE.
4. NON-PERVIOUS AREAS SHALL MEAN ANY CONCRETE OR ASPHALT CURB, SIDEWALK, TRAIL, DRIVEWAY, OR ROADWAY.

	LAST REVISION	TRENCHING, BEDDING AND BACKFILL DETAIL FOR NON-PERVIOUS (PAVED) AREAS	2.01A
	JAN 2018		



SUITABLE BACKFILL COMPACTED IN 12-INCH LIFTS TO A MINIMUM 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY

COMPACTION BY HAND IN LAYERS OF 6 INCHES, LIGHTLY CONSOLIDATED TO CENTERLINE

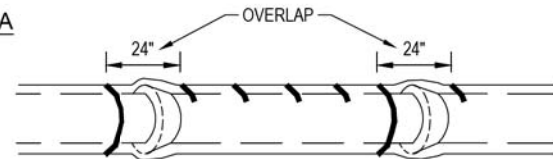
NOTES:

1. TYPE 2 TRENCH IS DEFINED AS A FLAT-BOTTOM TRENCH. LIGHTLY CONSOLIDATE BACKFILL TO CENTERLINE OF PIPE.
2. THIS STANDARD SHALL BE UTILIZED IN THE ABSENCE OF SPECIFIC STANDARDS. THE STANDARD OF THE AGENCY CONTROLLING THE RIGHT-OF-WAY SHALL GOVERN UNLESS OTHERWISE DIRECTED BY CITY ENGINEER.
3. SUITABLE BACKFILL SHALL BE DEFINED AS MATERIAL FREE FROM CINDERS, ASHES, REFUSE, CLAY, ORGANIC MATTER, BOULDERS, ROCKS OR STONES, OR OTHER MATERIAL THAT IN THE OPINION OF THE CITY ENGINEER IS UNSUITABLE.
4. NON-PAVED AREA IS A PERVIOUS AREA. IF ANY PART OF THE TRENCH IS WITHIN A CONCRETE OR ASPHALT CURB, SIDEWALK, DRIVEWAY, OR ROADWAY, THEN STANDARD DETAIL 2.01 APPLIES.

	LAST REVISION	TRENCHING, BEDDING, AND BACKFILL DETAIL FOR PERVIOUS (NON-PAVED) AREAS	2.02
	JUL 2018		

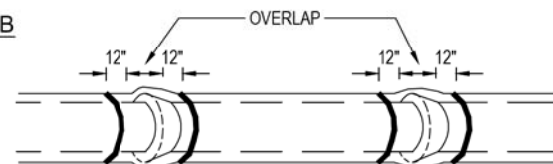
REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN STANDARD DETAILS (1)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		U-12
					1001221	HILLSBOROUGH	436639-1-58-01		

METHOD A



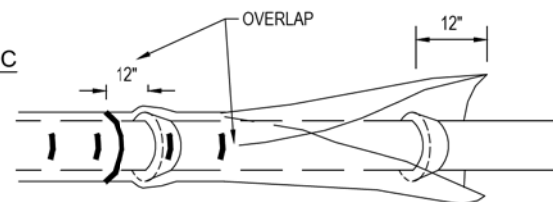
POLYETHYLENE TUBE IS CUT INTO LENGTHS APPROXIMATELY TWO FEET LONGER THAN THE PIPE SECTION AND PLACED AROUND IT. AFTER THE PIPE JOINT IS ASSEMBLED, THE POLYETHYLENE TUBE IS MADE TO OVERLAP THE JOINT AND THE OVERLAP SECURED IN PLACE. SINCE THE TUBE IS CONSIDERABLY LARGER THAN THE BARREL OF PIPE, IT IS MADE TO FIT SNUGLY BY FOLDING OVER AT THE TOP AND SECURING WITH TAPE EVERY 24" ALONG THE PIPE SECTION.

METHOD B



POLYETHYLENE TUBE IS CUT ONE FOOT SHORTER THAN THE LENGTH OF THE PIPE SECTION. AFTER PLACEMENT OF THE PIPE, IT IS FOLDED AND SECURED SNUGLY OVERALL. A THREE FOOT LENGTH OF POLYETHYLENE TUBE PLACED OVER THE END OF THE PRECEDING SECTION IS THEN PULLED IN PLACE OVER THE JOINT AFTER ASSEMBLY AND SECURED.

METHOD C

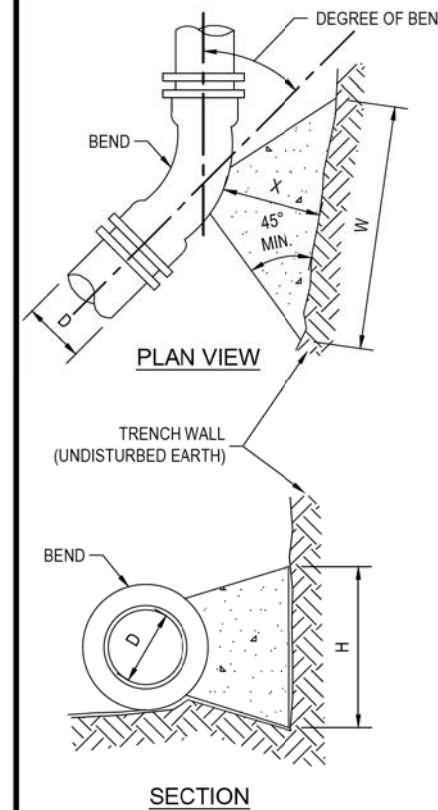


POLYETHYLENE SHEET IS CUT TO A LENGTH TWO FEET LONGER THAN THE PIPE SECTION. THE SHEET IS WRAPPED AROUND THE PIPE SO THAT IT OVERLAPS CIRCUMFERENTIALLY OVER THE TOP QUADRANT OF THE PIPE, THEN SECURED. AFTER JOINT ASSEMBLY, THE SURPLUS LENGTH OF POLYETHYLENE FILM IS SECURED AROUND THE JOINT, PROVIDING AN OVERLAP OF EACH JOINT. TAPE AT EACH JOINT AND AT 3' INTERVALS IN BETWEEN.

NOTES:

1. USE BLUE POLYETHYLENE FILM AND TAPE ONLY.
2. POLYETHYLENE FILM SHALL BE A MINIMUM OF 8 MIL. THICKNESS.
3. SPIRAL WRAP NOT REQUIRED WITH POLYWRAP.

	LAST REVISION	POLYETHYLENE ENCASEMENT INSTALLATION DETAIL	2.05
	JUL 2018		



DIMENSIONS OF THRUST BLOCKS FOR GOOD SOIL								
BEND	SIZE (D)	4"	6"	8"	12"	16"	20"	24"
	11-1/4° BEND	THRUST (LBS.)	674	1,393	2,396	5,097	8,857	13,649
BEARING AREA (FT. ²)		0.51	1.05	1.80	3.83	6.65	10.25	14.63
CONCRETE (YDS. ³)		0.005	0.015	0.033	0.104	0.239	0.459	0.783
H (FT.)		0.6	0.8	1.1	1.6	2.1	2.6	3.1
W (FT.)		0.9	1.3	1.6	2.4	3.2	3.9	4.7
22-1/2° BEND	THRUST (LBS.)	1,342	2,772	4,769	10,145	17,628	27,166	38,757
	BEARING AREA (FT. ²)	1.01	2.08	3.58	7.61	13.22	20.37	29.07
	CONCRETE (YDS. ³)	0.012	0.035	0.080	0.252	0.580	1.113	1.792
	H (FT.)	0.8	1.2	1.5	2.3	3.0	3.7	4.4
	W (FT.)	1.2	1.8	2.3	3.4	4.5	5.5	6.6
45° BEND	THRUST (LBS.)	2,632	5,437	9,355	19,901	34,579	53,288	76,024
	BEARING AREA (FT. ²)	1.97	4.08	7.02	14.93	25.94	39.98	57.04
	CONCRETE (YDS. ³)	0.029	0.087	0.198	0.620	1.387	2.301	3.517
	H (FT.)	1.2	1.7	2.2	3.2	4.2	5.2	6.2
	W (FT.)	1.7	2.5	3.2	4.7	6.2	7.7	9.3
90° BEND	THRUST (LBS.)	4,863	10,047	17,286	36,772	63,894	98,463	140,474
	BEARING AREA (FT. ²)	3.65	7.53	12.96	27.58	47.91	73.84	105.34
	CONCRETE (YDS. ³)	0.068	0.203	0.459	1.360	2.561	4.250	6.496
	H (FT.)	1.6	2.2	3.0	4.3	5.7	7.0	8.4
	W (FT.)	2.3	3.4	4.4	6.4	8.5	10.5	12.6
	X (FT.)	1.2 MIN.	1.7 MIN.	2.2 MIN.	3.0 MIN.	3.0 MIN.	3.0 MIN.	3.0 MIN.

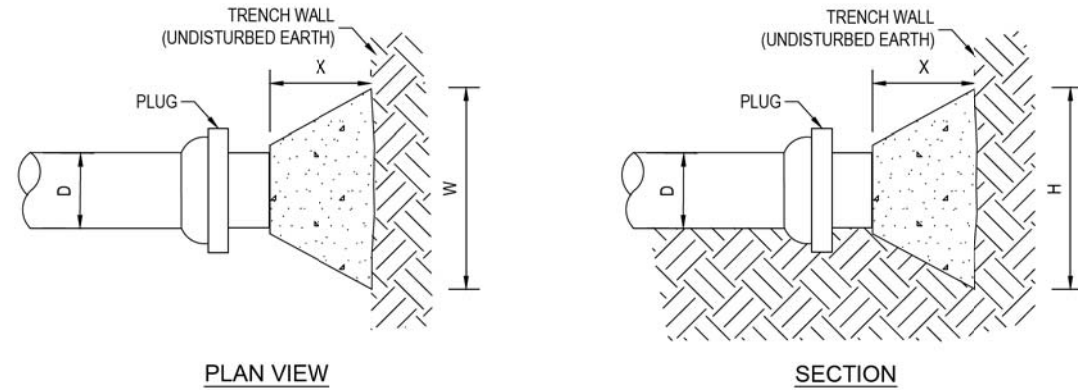
NOTES:

1. CONCRETE SHALL BE KEPT AT SUFFICIENT DISTANCE FROM JOINT FOR REMOVAL OF ALL JOINT ACCESSORIES INCLUDING BOLTS.
2. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED SOIL.
3. THIS TABLE SHOWS THE MINIMUM SIZE THRUST BLOCKS FOR SOIL BEARING PRESSURE OF 2000 PSF AND AN INTERNAL PRESSURE OF 190 PSI. COVER TO T.O.P. IS 3 FEET FOR 12" AND SMALLER MAINS; 4 FEET FOR 16" AND LARGER MAINS.
4. FITTINGS SHALL BE COMPLETELY POLYWRAPPED PRIOR TO POURING THRUST BLOCKS.

WARNING - POOR AND WET SOIL (SILTY SOILS, CLAY, MUCK AND PEAT) WILL REQUIRE LARGER THRUST BLOCKS.

	LAST REVISION	THRUST BLOCKS FOR BENDS	2.07
	JUL 2018		

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				DATE	DESCRIPTION	DATE	DESCRIPTION					<p>CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356</p>	<p>CITY OF TAMPA TRANSPORTATION DEPARTMENT</p> <table border="1"> <thead> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> </thead> <tbody> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </tbody> </table>	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	<p>WATER MAIN STANDARD DETAILS (2)</p> <p>SHEET NO. U-13</p>
DATE	DESCRIPTION	DATE	DESCRIPTION																	
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																		
1001221	HILLSBOROUGH	436639-1-58-01																		



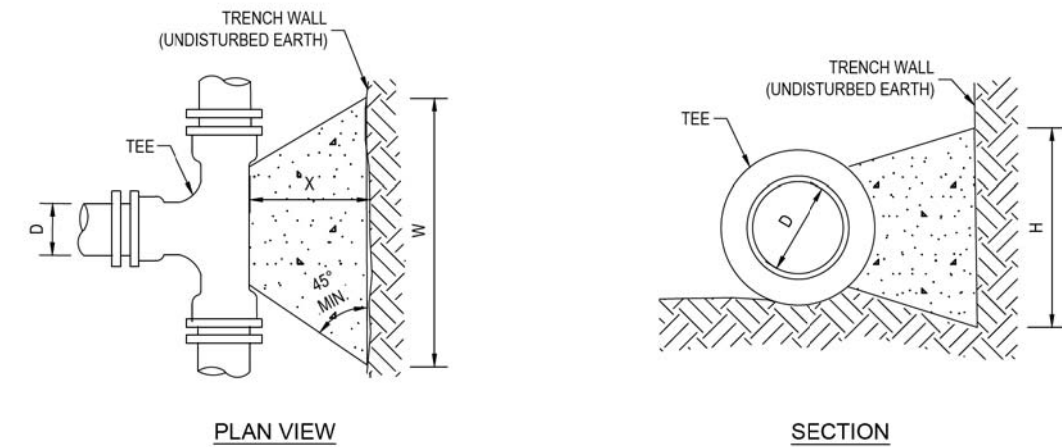
DIMENSIONS OF THRUST BLOCKS FOR GOOD SOIL								
PLUG	SIZE (D)	4"	6"	8"	12"	16"	20"	24"
	THRUST (LBS.)	3,439	7,104	12,223	26,002	45,180	69,624	99,330
	BEARING AREA (FT. ²)	2.58	5.33	9.17	19.50	33.89	52.22	74.50
	CONCRETE (YDS. ³)	0.042	0.126	0.285	0.891	1.811	3.005	4.594
	H (FT.)	1.3	1.9	2.5	3.6	4.8	5.9	7.0
	W (FT.)	2.0	2.8	3.7	5.4	7.1	8.9	10.6
	X (FT.)	1.0 MIN.	1.4 MIN.	1.9 MIN.	2.7 MIN.	3.0 MIN.	3.0 MIN.	3.0 MIN.

NOTES:

1. CONCRETE SHALL BE KEPT AT SUFFICIENT DISTANCE FROM JOINT FOR REMOVAL OF ALL JOINT ACCESSORIES INCLUDING BOLTS.
2. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED SOIL.
3. THIS TABLE SHOWS THE MINIMUM SIZE THRUST BLOCKS FOR SOIL BEARING PRESSURE OF 2000 PSF AND AN INTERNAL PRESSURE OF 190 PSI. COVER TO T.O.P. IS 3 FEET FOR 12" AND SMALLER MAINS; 4 FEET FOR 16" AND LARGER MAINS.
4. PLUGS SHALL BE COMPLETELY POLYWRAPPED PRIOR TO POURING THRUST BLOCKS.

WARNING - POOR AND WET SOIL (SILTY SOILS, CLAY, MUCK AND PEAT) WILL REQUIRE LARGER THRUST BLOCKS.

	LAST REVISION		
	JUL 2018	THRUST BLOCKS FOR PLUGS	2.08



DIMENSIONS OF THRUST BLOCKS FOR GOOD SOIL								
TEES	SIZE (D)	4"	6"	8"	12"	16"	20"	24"
	THRUST (LBS.)	3,439	7,104	12,223	26,002	45,180	69,624	99,330
	BEARING AREA (FT. ²)	2.58	5.33	9.17	19.50	33.89	52.22	74.50
	CONCRETE (YDS. ³)	0.042	0.126	0.285	0.891	1.811	3.005	4.594
	H (FT.)	1.3	1.9	2.5	3.6	4.8	5.9	7.0
	W (FT.)	2.0	2.8	3.7	5.4	7.1	8.9	10.6
	X (FT.)	1.0 MIN.	1.4 MIN.	1.9 MIN.	2.7 MIN.	3.0 MIN.	3.0 MIN.	3.0 MIN.

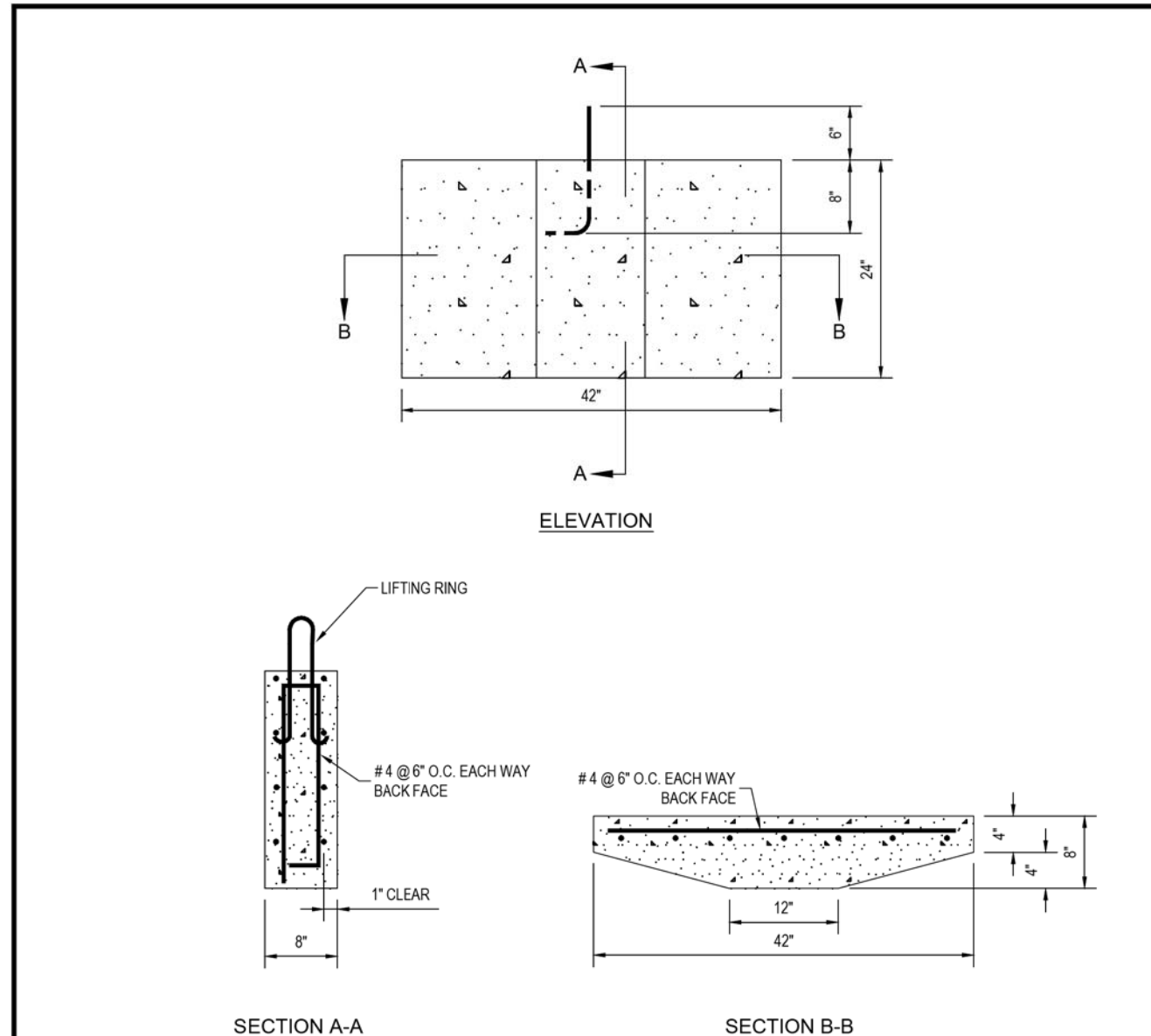
NOTES:

1. SIZE (D), SHALL BE THE BRANCH SIZE OF TEES.
2. CONCRETE SHALL BE KEPT AT SUFFICIENT DISTANCE FROM JOINT FOR REMOVAL OF ALL JOINT ACCESSORIES INCLUDING BOLTS.
3. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED SOIL.
4. THIS TABLE SHOWS THE MINIMUM SIZE THRUST BLOCKS FOR SOIL BEARING PRESSURE OF 2000 PSF AND AN INTERNAL PRESSURE OF 190 PSI.
5. TEES SHALL BE COMPLETELY POLYWRAPPED PRIOR TO POURING THRUST BLOCKS.

WARNING - COVER TO T.O.P. IS 3 FEET FOR 12" AND SMALLER MAINS; 4 FEET FOR 16" AND LARGER MAINS. POOR AND WET SOIL (SILTY SOILS, CLAY, MUCK AND PEAT) WILL REQUIRE LARGER THRUST BLOCKS.

	LAST REVISION		
	JUL 2018	THRUST BLOCKS FOR TEES	2.09

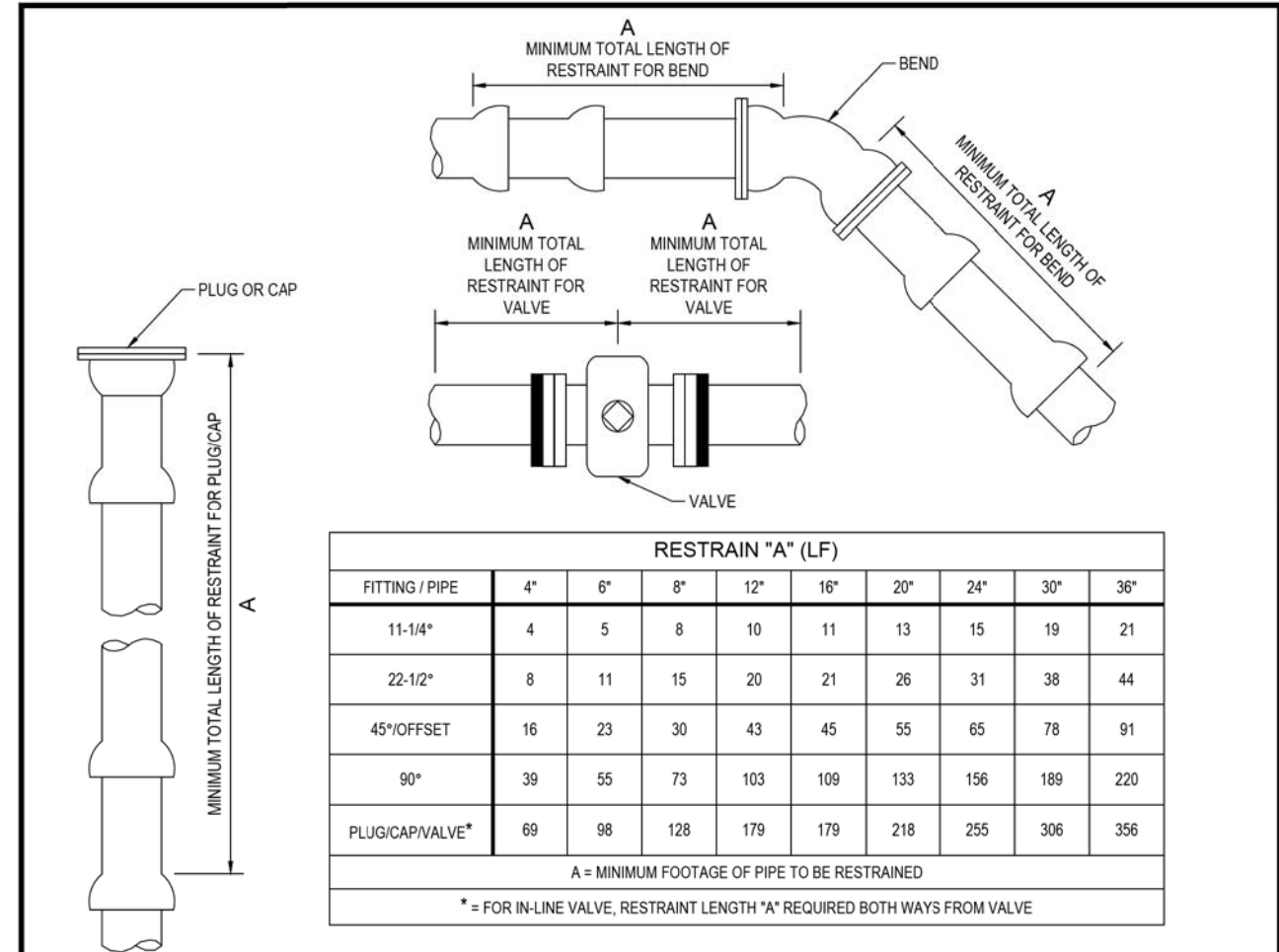
REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN STANDARD DETAILS (3)	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		U-14
					1001221	HILLSBOROUGH	436639-1-58-01		



NOTES:

1. REINFORCING TO BE STANDARD 60 KSI DEFORMED BAR.
2. CONCRETE F'C=3000 PSI
3. PRECAST THRUST BLOCKING TO BE USED ONLY ON FIRE HYDRANTS AND 8" OR SMALLER FITTINGS, IF ALLOWED BY CITY ENGINEER.
4. A 12"x18" SPACER BLOCK SHALL BE PLACED BETWEEN THE PRECAST THRUST BLOCK AND FITTING IF SO DIRECTED BY CITY ENGINEER.

	LAST REVISION	<p align="center">PRECAST CONCRETE THRUST BLOCK</p>	<p align="center">2.10</p>
	<p align="center">JUL 2018</p>		

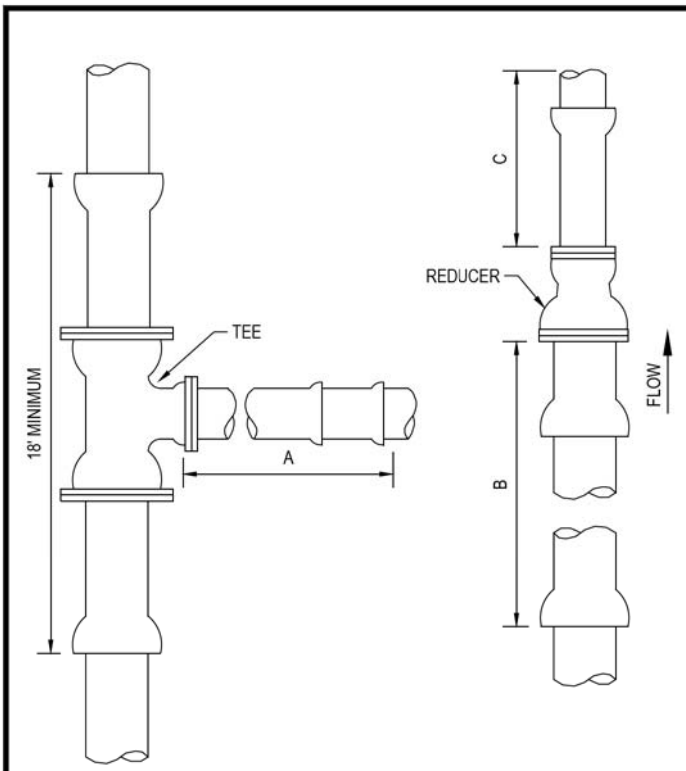


NOTES:

1. THIS TABLE IS BASED ON:
 - a. MAXIMUM TEST PRESSURE OF 190 PSI
 - b. LAYING CONDITION TYPE 2 (SEE DETAILS 2.01 AND 2.02)
 - c. POOR SOIL CONDITIONS
 - d. USING D.I.P.
 - e. 3 FEET OF COVER FOR 12" AND SMALLER MAINS; 4 FEET OF COVER FOR 16" AND LARGER MAINS
 - f. HORIZONTAL BENDS ONLY - ENGINEER TO SUBMIT CALCULATIONS FOR VERTICAL RESTRAINTS
2. "RESTRAINED" PIPE SHALL BE MANUFACTURED RESTRAINED JOINT PIPE, PUSH-ON JOINT PIPE RESTRAINED W/GASKET-TYPE "GRIPPER RESTRAINTS", OR MECHANICAL JOINT PIPE RESTRAINED BY MEGALUG (OR APPROVED EQUIVALENT).
3. ANY ADDITIONAL FITTINGS WITHIN THE RESTRAINED SECTION SHALL BE RESTRAINED ACCORDINGLY.

	LAST REVISION	<p align="center">RESTRAINED JOINT STANDARD FOR BENDS, PLUGS, CAPS, AND VALVES</p>	<p align="center">2.11</p>
	<p align="center">JUL 2018</p>		

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			<p align="center">WATER MAIN STANDARD DETAILS (4)</p>	SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		<p align="center">U-15</p>
					1001221	HILLSBOROUGH	436639-1-58-01		

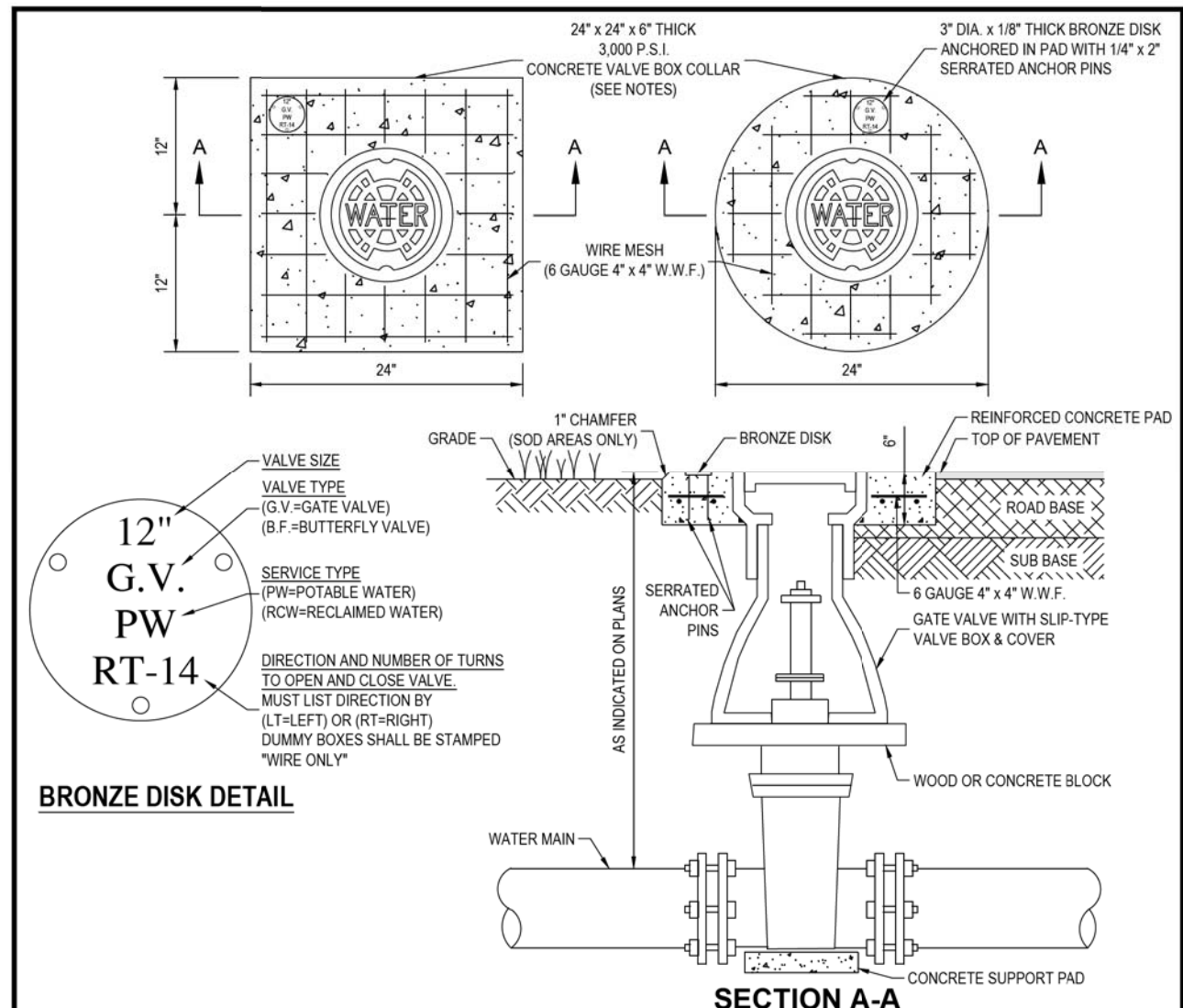


FITTING SIZE	RESTRAIN (LF)		UNRESTRAINED STRAIGHT RUN (LF)
	TEE "A"	REDUCER "B"	REDUCER "C"
4x4	31	*	*
6x4	14	50	74
6x6	60	*	*
8x4	A.T.	91	178
8x6	48	54	70
8x8	90	*	*
12x4	A.T.	155	455
12x6	24	130	260
12x8	71	95	144
12x12	143	*	*
16x6	A.T.	151	401
16x8	34	130	265
16x12	96	76	103
16x16	148	*	*
20x6	A.T.	195	659
20x8	18	180	461
20x12	85	136	233
20x16	139	76	96
20x20	186	*	*
24x6	A.T.	236	971
24x8	A.T.	224	700
24x12	74	188	391
24x16	130	139	215
24x20	180	76	93
24x24	224	*	*
30x6	A.T.	293	1534
30x8	A.T.	283	1130
30x12	56	255	678
30x16	118	216	426
30x20	169	168	260
30x24	215	108	138
30x30	275	*	*
36x6	A.T.	345	2230
36x8	A.T.	336	1660
36x12	38	314	1030
36x16	104	283	689
36x20	159	244	466
36x24	206	195	306
36x30	269	108	133
36x36	326	*	*

A.T. = RESTRAINT REQUIRED AT TEE ONLY. * = NOT APPLICABLE

- NOTES:
- THIS TABLE IS BASED ON:
 - MAXIMUM TEST PRESSURE OF 190 PSI
 - LAYING CONDITION TYPE 2 (SEE DETAILS 2.01 AND 2.02)
 - POOR SOIL CONDITIONS
 - USING D.I.P.
 - 3 FEET OF COVER FOR 12" AND SMALLER MAINS; 4 FEET OF COVER FOR 16" AND LARGER MAINS
 - HORIZONTAL BENDS ONLY - ENGINEER TO SUBMIT CALCULATIONS FOR VERTICAL RESTRAINTS
 - RESTRAINT FOR REDUCERS: IF "C" STRAIGHT RUN OF PIPE DOWNSTREAM OF REDUCER NOT AVAILABLE, THE RESTRAIN "B" UPSTREAM OF REDUCER.
 - "RESTRAINED" PIPE SHALL BE MANUFACTURED RESTRAINED JOINT PIPE, PUSH-ON JOINT PIPE RESTRAINED W/GASKET-TYPE "GRIPPER RESTRAINTS", OR MECHANICAL JOINT PIPE RESTRAINED BY MEGALUG (OR APPROVED EQUIVALENT).
 - ANY ADDITIONAL FITTINGS WITHIN THE RESTRAINED SECTION SHALL BE RESTRAINED ACCORDINGLY.

	LAST REVISION	RESTRAINED JOINT STANDARD FOR TEES AND REDUCERS	2.12A
	JUL 2018		



12" G.V.
PW
RT-14

VALVE SIZE
VALVE TYPE (G.V.=GATE VALVE) (B.F.=BUTTERFLY VALVE)
SERVICE TYPE (PW=POTABLE WATER) (RCW=RECLAIMED WATER)
DIRECTION AND NUMBER OF TURNS TO OPEN AND CLOSE VALVE. MUST LIST DIRECTION BY (LT=LEFT) OR (RT=RIGHT) DUMMY BOXES SHALL BE STAMPED "WIRE ONLY"

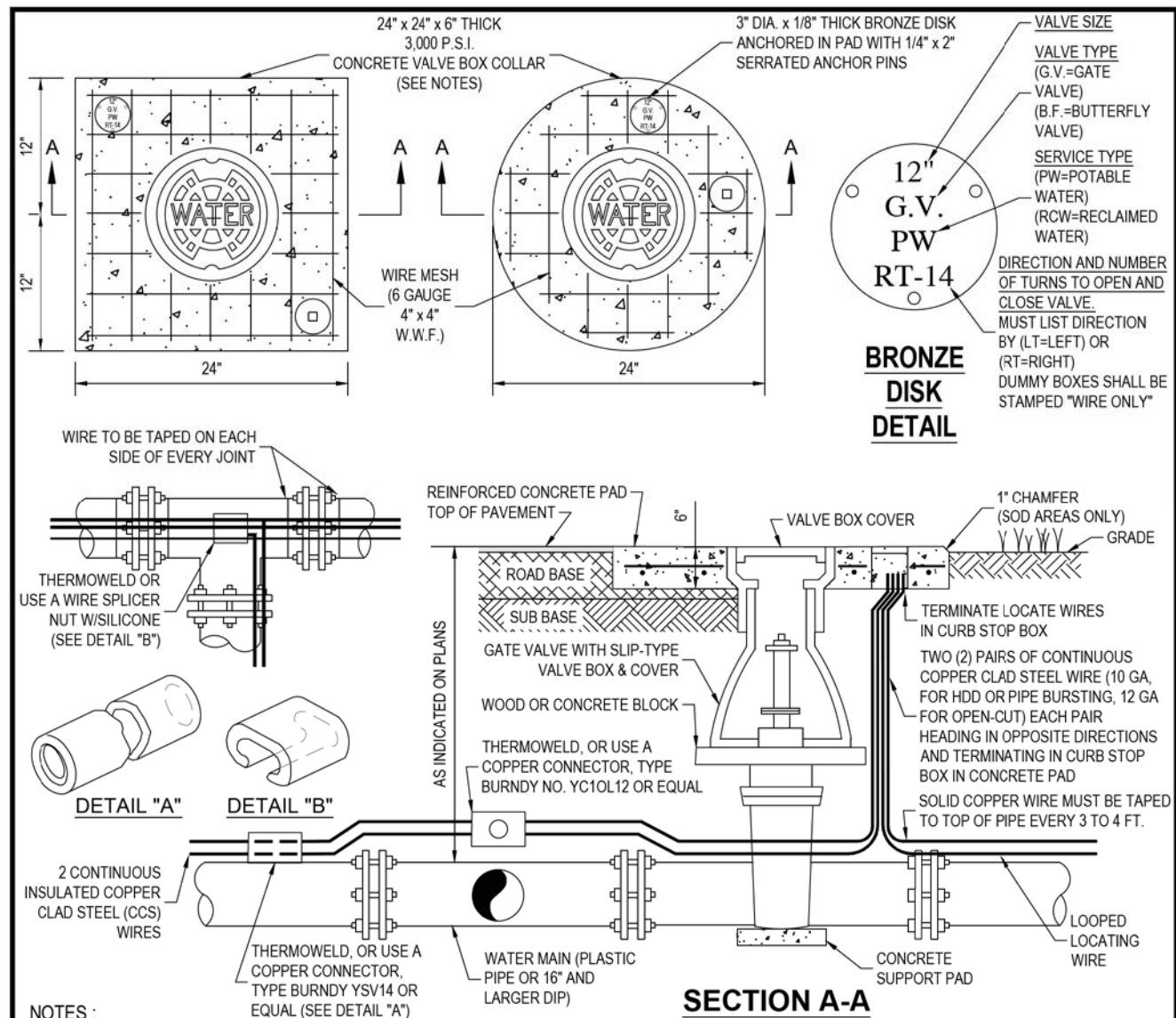
BRONZE DISK DETAIL

- NOTES:
- CIRCULAR OR SQUARE CONCRETE PAD REQUIRED FOR ALL VALVE BOX INSTALLATIONS.
 - CAST IRON VALVE BOXES SHALL BE FIRMLY SUPPORTED AND CENTERED AND PLUMB OVER THE OPERATING NUT OF THE VALVE. VALVE BOX COVER SHALL BE FLUSH WITH THE SURFACE OF THE FINISHED PAVEMENT, OR GRADE OR AT SUCH OTHER LEVEL AS MAY BE DIRECTED BY THE DEPARTMENT.
 - "BLUE" WATER VALVE LOCATE MARKERS REQUIRED FOR ALL VALVE INSTALLATIONS.
 - EMBED BRONZE VALVE INFO DISK INTO CONCRETE VALVE BOX COLLAR.
 - ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST T.W.D. APPROVED MATERIAL SPECIFICATIONS.
 - IF VALVE IS LOCATED WITHIN A SIDEWALK CONCRETE COLLAR MAY BE ELIMINATED AND DISK SET FLUSH DIRECTLY IN SIDEWALK.
 - BRONZE DISK REQUIRED FOR ALL VALVES AND DUMMY BOXES.

	LAST REVISION	VALVE INSTALLATION W/VALVE BOX & PAD FOR DI OR CI PIPE	3.01
	JUL 2018		

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN STANDARD DETAILS (5)	SHEET NO. U-16
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

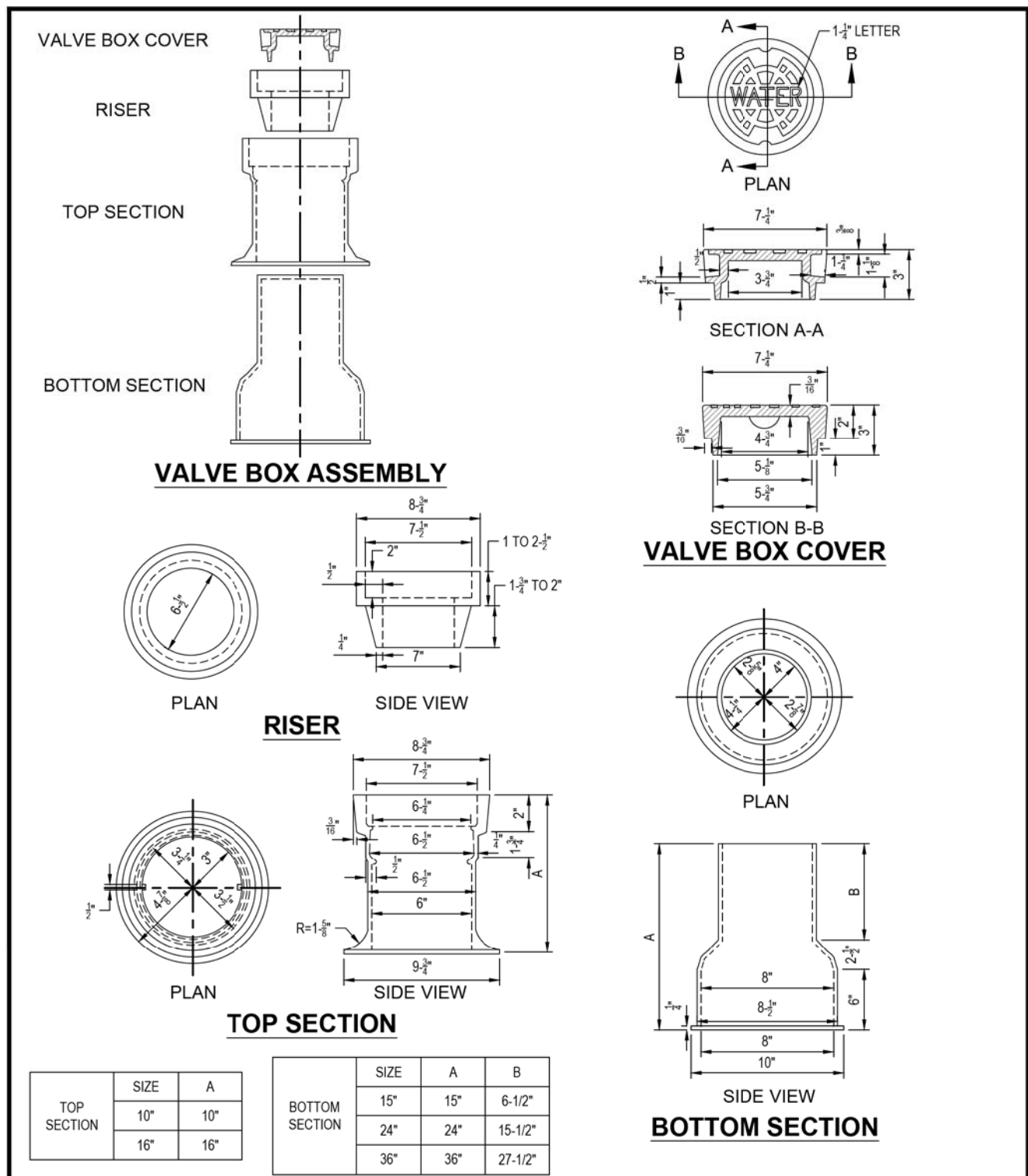
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



NOTES:

1. CIRCULAR OR SQUARE CONCRETE PAD REQUIRED FOR ALL VALVE BOX INSTALLATIONS.
2. CAST IRON VALVE BOXES SHALL BE FIRMLY SUPPORTED AND CENTERED AND PLUMB OVER THE OPERATING NUT OF THE VALVE. VALVE BOX COVER SHALL BE FLUSH WITH THE SURFACE OF THE FINISHED PAVEMENT, OR GRADE OR AT SUCH OTHER LEVEL AS MAY BE DIRECTED BY THE DEPARTMENT.
3. "BLUE" WATER VALVE LOCATE MARKERS REQUIRED FOR ALL VALVE INSTALLATIONS.
4. EMBED BRONZE VALVE INFO DISK INTO CONCRETE VALVE BOX COLLAR.
5. ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST T.W.D. APPROVED MATERIAL SPECIFICATIONS.
6. IF VALVE IS LOCATED WITHIN A SIDEWALK CONCRETE COLLAR MAY BE ELIMINATED AND DISK SET FLUSH DIRECTLY IN SIDEWALK.
7. BRONZE DISK REQUIRED FOR ALL VALVES AND DUMMY BOXES.
8. ALL CONNECTIONS SHALL BE SEALED WITH A BITUMINOUS COATING FOR CORROSION PROTECTION.

	LAST REVISION	VALVE INSTALLATION W/VALVE BOX & PAD FOR PLASTIC PIPE WITH DOUBLE COPPER TRACER WIRE ON PIPE	3.02
	JUL 2018		

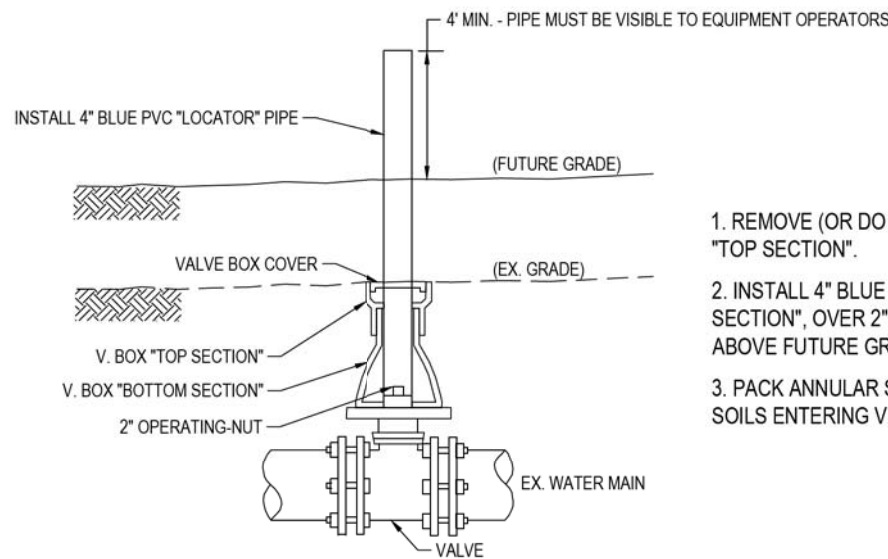


	LAST REVISION	VALVE BOX, SLIP TYPE	3.04
	JUL 2018		

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				DATE	DESCRIPTION	DATE	DESCRIPTION					<p>CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356</p>	<p>CITY OF TAMPA TRANSPORTATION DEPARTMENT</p> <table border="1"> <tr> <th>CITY PROJECT NO.</th> <th>COUNTY</th> <th>FINANCIAL PROJECT ID</th> </tr> <tr> <td>1001221</td> <td>HILLSBOROUGH</td> <td>436639-1-58-01</td> </tr> </table>	CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	1001221	HILLSBOROUGH	436639-1-58-01	<p>WATER MAIN STANDARD DETAILS (6)</p> <p>SHEET NO. U-17</p>
DATE	DESCRIPTION	DATE	DESCRIPTION																	
CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID																		
1001221	HILLSBOROUGH	436639-1-58-01																		

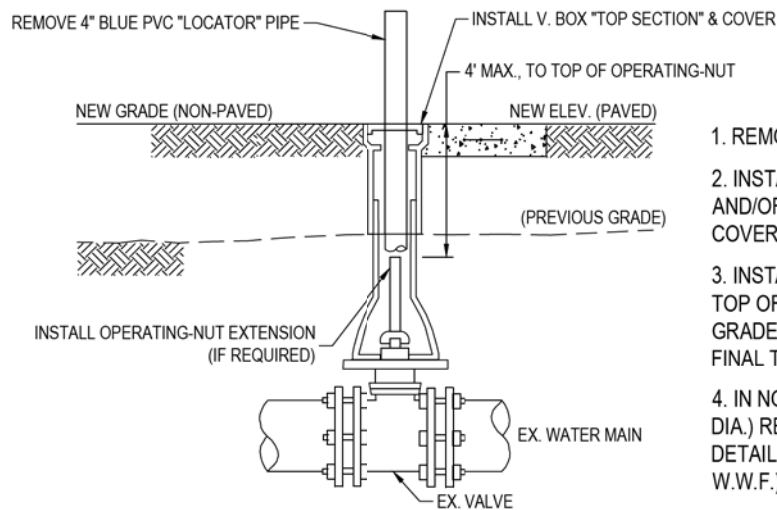
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

TO PROTECT VALVE BOX LOCATION DURING CLEARING & GRUBBING



1. REMOVE (OR DO NOT INSTALL) V. BOX COVER & "TOP SECTION".
2. INSTALL 4" BLUE PVC PIPE INTO V. BOX "BOTTOM SECTION", OVER 2" OPERATING-NUT, & TO 4" MIN. ABOVE FUTURE GRADE.
3. PACK ANNULAR SPACE TO PREVENT BACKFILL SOILS ENTERING V. BOX "BOTTOM SECTION".

TO ADJUST HEIGHT OF VALVE BOX FOR CHANGED GRADE

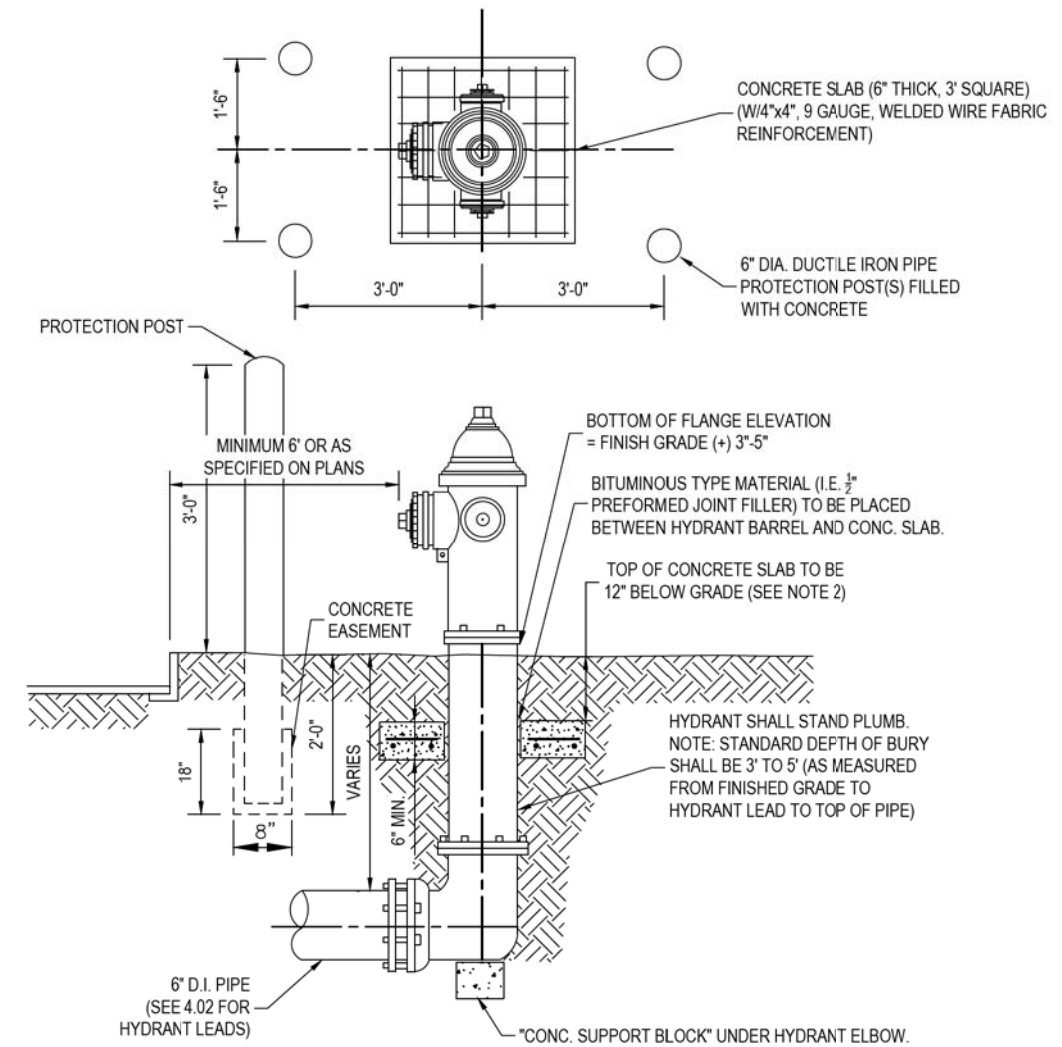


1. REMOVE PVC LOCATOR PIPE.
2. INSTALL APPROVED V. BOX "TOP SECTION" AND/OR RISER & COVER, SUCH THAT TOP OF COVER MATCHES NEW GRADE ELEVATION.
3. INSTALL STD CI OPERATING-NUT EXTENSION IF TOP OF OPERATING-NUT (T.O.N.) > 4' BELOW GRADE. FINAL T.O.N. TO BE < 4' DEEP.
4. IN NON-PAVED AREAS, CONSTRUCT 2'X2' (OR 2' DIA.) REINFORCED CONCRETE PAD, PER STD. DETAIL 3.01 (3000 P.S.I. CONCRETE, 6-GAUGE 4"X4" W.W.F.)

NOTES:

1. MATERIALS FOR & INSTALLATION OF VALVE BOXES & PADS SHALL CONFORM TO TAMPA WATER DEPT. SPECIFICATIONS & STD. CONSTRUCTION DETAILS (DETAILS 3.01 & 3.03)

	LAST REVISION	VALVE BOX (V. BOX) ADJUSTMENTS FOR GRADE CHANGE	3.05
	JAN 2018		

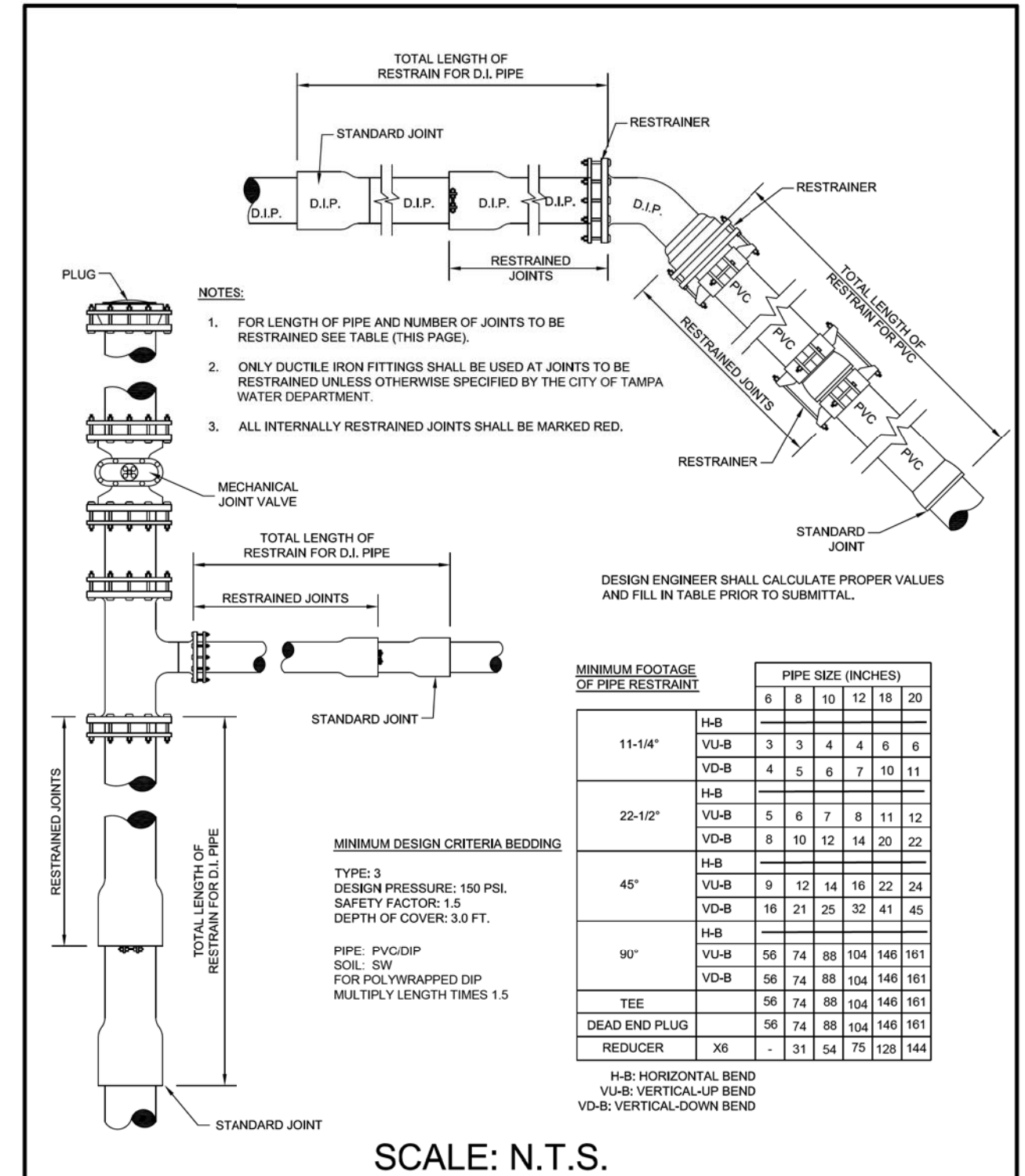
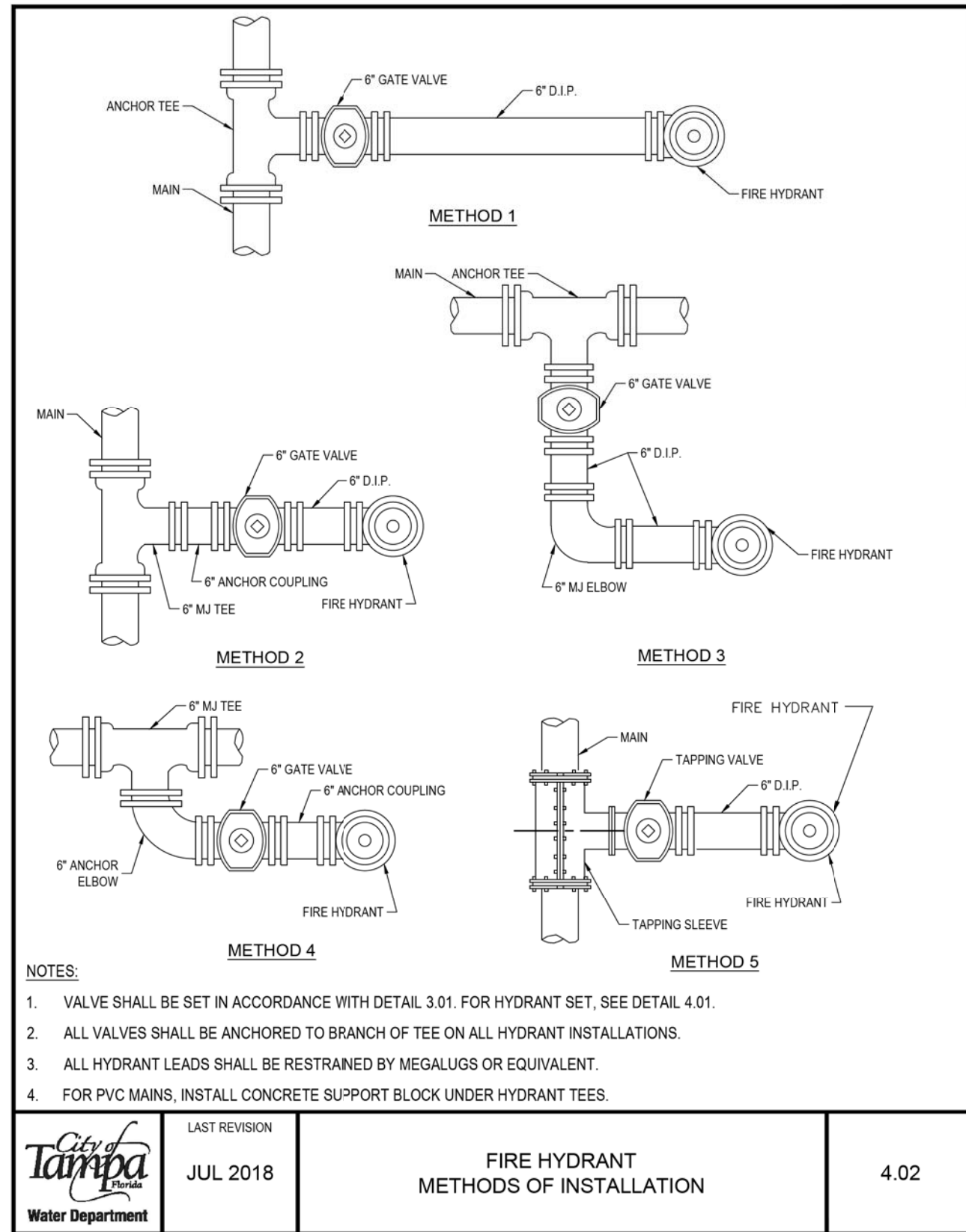


NOTES:

1. FIRE HYDRANT BARREL ABOVE THE GROUND LINE SHALL BE PAINTED WITH A HIGH-GRADE ENAMEL PAINT, FEDERAL SAFETY YELLOW (OSHA APPROVED), AND THE HYDRANT BONNET SHALL BE PAINTED OSHA GREEN.
2. CONCRETE SLAB MAY BE ELIMINATED IN AREAS WHERE HYDRANT IS SET IN SIDEWALK AND SIDEWALK HAS BEEN INSTALLED PRIOR TO FINAL ACCEPTANCE OF THE HYDRANT.
3. THRUST RESTRAINT FOR HYDRANT:
 - a) HYDRANT SHALL BE FIRMLY SUPPORTED UNDER ELBOW IN ALL METHODS BY SUPPORT BLOCK
 - b) ALL BACKFILL SHALL BE THOROUGHLY COMPACTED UNDER SUPPORT BLOCK AND UNDER THRUST COLLAR
 - c) ALL HYDRANT LEADS SHALL BE RESTRAINED BY MEGALUGS OR EQUIVALENT MECHANICAL RESTRAINTS
4. PROTECTION POSTS ARE REQUIRED WHEN HYDRANT IS LESS THAN 6 FEET FROM EDGE OF PAVEMENT, OR AS DIRECTED BY THE ENGINEER.
5. FOR PVC MAINS, INSTALL CONCRETE SUPPORT BLOCK UNDER ALL HYDRANT TEES.

	LAST REVISION	FIRE HYDRANT INSTALLATION	4.01
	JUL 2018		

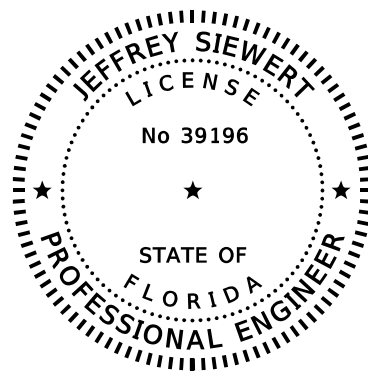
REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN STANDARD DETAILS (7)	SHEET NO. U-18
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		



	LAST REVISION	FIRE HYDRANT METHODS OF INSTALLATION	4.02
	JUL 2018		

REVISIONS				CHRISTOPHER K. MARTIN, P.E. P.E. LICENSE NUMBER 66598 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			WATER MAIN STANDARD DETAILS (8)	SHEET NO. U-19
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID		
					1001221	HILLSBOROUGH	436639-1-58-01		

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

AYRES ASSOCIATES INC
8875 HIDDEN RIVER PKWY, SUITE 200
TAMPA, FL 33637
CERTIFICATE OF AUTHORIZATION: 4356
JEFFREY SIEWERT, P.E. NO. 39196

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE
FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION</u>
1	KEY SHEET
2A	SIGNATURE SHEET

REVISIONS				JEFFREY SIEWERT, P.E. P.E. LICENSE NUMBER 39196 AYRES ASSOCIATES 8875 HIDDEN RIVER PKWY, SUITE 200 TAMPA, FL 33637 CERTIFICATE OF AUTHORIZATION 4356	CITY OF TAMPA TRANSPORTATION DEPARTMENT			SHEET NO.
DATE	DESCRIPTION	DATE	DESCRIPTION		CITY PROJECT NO.	COUNTY	FINANCIAL PROJECT ID	
07-09-20	△ ADDED SHEET				1001221	HILLSBOROUGH	436639-1-58-01	SIGNATURE SHEET
								2A



CONTAMINATION LOCATOR MAP

Search Criteria: Sites in tampa. Cleanup types: ▲ Brownfields ▲ Petroleum ▲ Superfund

For further information, please call the Waste Cleanup Hotline at (866)282-0787. If you wish to search again, please [click here](#)

Search Results Print ✕

DEP Cleanup Sites: 3 found.

COLUMBUS FOOD MART
1312 E COLUMBUS DR
TAMPA, FL 33605
Facility id: 8624765
ACTIVE Petroleum Cleanup
[Watch This Site](#)
[Documents](#)

DANNY'S GENERATORS
1023 E COLUMBUS DR
TAMPA, FL 33605
Facility id: 8508982
ACTIVE Petroleum Cleanup
[Watch This Site](#)
[Documents](#)

GOLDSTAR FOODS
2317 N NEBRASKA AVE
TAMPA, FL 33602
Facility id: 8944840
ACTIVE Petroleum Cleanup
[Watch This Site](#)
[Documents](#)

Phase I Environmental Assessment Report

Performed at:

**Former Danny's Generators Site
1023 East Columbus Drive
Tampa, FL 33605**

Report Prepared For:

**Mr. Jeff Siewert, Senior Project Manager
Ayres Associates
8875 Hidden River Parkway – Suite 200
Tampa, Florida 33637-1035**

Report Prepared By:



**OHC Environmental Engineering, Inc.
101 South Hoover Blvd, Suite 101
Tampa, Florida 33609**

OHC Project #190238-ES

November 24, 2019

November 17, 2019

Mr. Jeff Siewert
Senior Project Manager
Ayres Associates
8875 Hidden River Parkway – Suite 200
Tampa, FL 33637-1035

RE: Phase I Environmental Site Assessment Report
Danny's Generators Site
1023 East Columbus Drive
Tampa, Hillsborough County, FL 33605

Dear Mr. Siewert,

OHC Environmental Engineering, Inc., (OHC), is pleased to submit this Phase I Environmental Site Assessment Report for the above referenced property. The following information summarizes our findings.

Executive Summary

OHC was retained by Mr. Jeff Siewert, Senior Project Manager of Ayres Associates, and acting project manager for the City of Tampa's future right of way construction to conduct a Phase I Environmental Assessment of one tax parcel totaling approximately one eighth of an acre located on the corner of East Columbus Drive and North 12th Street. The tax parcel PIN ID # is A-18-29-19-51A-000001-00001.0 OHC performed the Phase I Environmental Site Assessment of the property formerly operating as Danny's Generators, Inc. (DGI), herein known as the property, or site. The property is currently an active commercial office and apartment facility which consists of one building encompassing approximately 1950 square feet. The property is currently owned by Deborah Lisa Ramos.

The purpose of this Phase I Environmental Assessment (ESA) is to assess current site conditions and render an opinion as to the presence of exterior recognized environmental conditions (REC) at the property. The building's interior was not accessible, and therefore not inspected. OHC performed this Phase I in general conformance with the scope and limitations of the ASTM

Practice E1527-13 and 40 CFR part 312. The following findings which are potential REC's are listed below, along with supporting opinions and recommendations:

Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8508982 and the Florida DEP Cleanup Site Key # is 59734501. The site is listed as a closed site, therefore it is not an active retail site. The site is listed as having an open discharge cleanup status from a discharge reported on 3/29/1991. This means the cleanup is not completed. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location and closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. The well closure should be coordinated with the EPC case manager. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately three feet below grade. Therefore, if any soil or groundwater contamination exists (>3 feet below grade) in the vicinity of the future remediation area, it would not be expected to impact the proposed construction activities.

No other REC's were identified on the exterior of the site. The undersigned declares that he meets the definition of Environmental Professional as stated in 40 CFR part 312 and that he has conducted the assessment in accordance with same. OHC appreciates the opportunity to be of service to you on this project. If you have any further questions, please contact me.

Respectfully Submitted,
OHC ENVIRONMENTAL ENGINEERING, INC.



Thomas Martinelli
Environmental Professional

PHASE I ASSESSMENT

OHC PROJECT #: 190238-ES

CLIENT NAME: Mr. Jeff Siewert
Ayres Associates

PROJECT LOCATION: Danny's Generators
1023 East Columbus Drive
Tampa, FL 33605

DATE OF SURVEY: November 12, 2019

CONSULTING FIRM: OHC Environmental Engineering, Inc.
101 South Hoover Blvd, Suite 101
Tampa, Florida 33609

***ENVIRONMENTAL
PROFESSIONAL:*** Thomas Martinelli

OHC PROJECT MANAGER: Christina Jones

CONSULTANT:



James F. Rizk, CIH

TABLE OF CONTENTS

EXECUTIVE SUMMARY.....	4
1.0 INTRODUCTION.....	5
1.1 PURPOSE	
1.2 PROJECT SCOPE	
1.3 PROJECT LIMITATIONS	
1.4 SPECIAL TERMS AND CONDITIONS	
2.0 SITE DESCRIPTION.....	8
2.1 LOCATION AND LEGAL DESCRIPTION	
2.2 ENVIRONMENTAL SETTING	
2.3 GENERAL SITE AND VICINITY CHARACTERISTICS	
2.4 ON-SITE STRUCTURES AND IMPROVEMENTS	
2.5 CURRENT SITE USAGE AND ADJOINING PROPERTIES	
3.0 RECORDS REVIEW.....	9
3.1 SITE HISTORY & OWNERSHIP	
3.2 EDR FEDERAL AND STATE ENVIRONMENTAL RECORD SEARCH	
3.3 LOCAL/STATE ENVIRONMENTAL RECORD SEARCH	
3.4 OTHER ENVIRONMENTAL RECORD SEARCHES	
3.5 SANBORN MAP SEARCH	
3.6 HISTORIC TOPOGRAPHIC MAP SEARCH	
3.7 AERIAL PHOTOGRAPH REVIEW	
4.0 SITE RECONNAISSANCE.....	13
4.1 GENERAL SITE OBSERVATIONS	
4.2 EXTERIOR OBSERVATIONS	
4.3 INTERIOR OBSERVATIONS	
4.4 NON-SCOPE OBSERVATIONS	
5.0 INTERVIEW INFORMATION.....	14
6.0 FINDINGS, CONCLUSIONS AND RECOMMENDATIONS.....	15
7.0 EXCEPTIONS/DATA GAPS.....	16
8.0 NON-SCOPE ISSUES.....	16
ATTACHMENT I USER QUESTIONNAIRE.....	18
ATTACHMENT II SITE MAPS/TAX ASSESSMENT INFORMATION.....	23
ATTACHMENT III SITE PHOTOGRAPHS.....	27
ATTACHMENT IV EDR REGULATORY DATABASE REPORT.....	34
ATTACHMENT V LOCAL/STATE SEARCH INFORMATION.....	69
ATTACHMENT VI SANBORN MAP REPORT.....	84
ATTACHMENT VII HISTORIC TOPOGRAPHIC MAPS.....	89
ATTACHMENT VIII AERIAL PHOTOGRAPHS.....	102
ATTACHMENT IX CONSULTANT CREDENTIALS.....	119

EXECUTIVE SUMMARY

OHC was retained by Mr. Jeff Siewert, Senior Project Manager Ayres Associates, and acting project manager for the City of Tampa's future right of way construction at the above referenced property, to conduct a Phase I Environmental Assessment of one tax parcel totaling approximately one eighth of an acre located on the corner of East Columbus Drive and North 12th Street. The tax parcel ID # is A-18-29-19-51A-000001-00001.0 OHC performed the Phase I Environmental Site Assessment of the property formerly operating as Danny's Generators, Inc. (DGI), herein known as the property, or site. The property is currently an active commercial office and apartment facility which consists of one building encompassing approximately 1950 square feet. The property is currently owned by Deborah Lisa Ramos.

The purpose of this Phase I Environmental Assessment (ESA) is to assess current site conditions and render an opinion as to the presence of exterior recognized environmental conditions (REC) at the property. The building's interior was not accessible, and therefore not inspected. OHC performed this Phase I in general conformance with the scope and limitations of the ASTM Practice E1527-13 and 40 CFR part 312. The following findings which are potential REC's are listed below, along with supporting opinions and recommendations:

Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8508982 and the Florida DEP Cleanup Site Key # is 59734501. The site is listed as a closed site, therefore it is not an active retail site. The site is listed as having an open discharge cleanup status from a discharge reported on 3/29/1991. This means the cleanup is not completed. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location and closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. The well closures should be coordinated with the EPC case manager. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately three feet below grade. Therefore, if any residual soil or groundwater contamination

exists (>3 feet below grade) in the vicinity of the future remediation area, it would not be expected to impact the proposed construction activities.

1.0 INTRODUCTION

OHC Environmental Engineering, Inc. (OHC) was retained by Mr. Jeff Siewert, Senior Project Manager of Ayres Associates, and City of Tampa's construction project manager for the future right of way improvements at the site, ("user"), to prepare a Phase I Environmental Site Assessment of the subject property ("site") in general conformance with ASTM Standard E1527-13 and 40 CFR part 312. This report documents OHC's findings from our Phase I Investigation of the site. The site currently consists of one tax parcel which is zoned Commercial Class 4. The site is currently an active commercial office and apartment type structure. The site is located in a primarily commercial/light industrial setting with residential properties nearby.

1.1 Purpose

The purpose of this Phase I Environmental Site Assessment (ESA) is to determine whether there are "recognized environmental conditions" (REC), historical REC's (HREC) or controlled REC's (CREC) on the property, which may have an impact on the future construction along the City of Tampa right of way at the site and liability of the user from a governmental or private party. The purpose of this assessment is to evaluate current exterior environmental conditions. Since the purpose of this assessment is to evaluate potential subsurface contamination issues present at the proposed right of way construction, access to the interior of the building on site was not granted by the owner. This ESA will therefore document current environmental conditions so either party, user or owner, will be able to establish their impact to the site, if any. Evidence for recognized environmental conditions were sought through environmental and historical records searches, interviews, and a site reconnaissance, etc.

1.2 Project Scope

This ESA is designed to generally conform to the American Society for Testing and Materials (ASTM) Practice E 1527-13, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process in terms of levels of inquiry, standard regulatory record search distances and site reconnaissance

methodology. The All Appropriate Inquiry document outlined in 40 CFR 312 was also referenced in preparing this report.

The following issues were not evaluated within the scope of this Phase I ESA: 1) regulatory compliance or permitting of facility operations, 2) off-site waste disposal tracking, 3) integrity of on-site sewage disposal systems, 4) geotechnical/structural concerns with underlying soil or fill, 5) wetlands delineation, 6) the potential for naturally-occurring elements or their products that exceed applicable regulatory standards, 7) radon, 8) underground storage tank testing, 9) electromagnetic fields, 10) agricultural practices, 11) the potential for biological hazards and (12) building interior.

Phase I ESA's do not generally include field or laboratory analyses of building materials, air, soil or water samples, which may yield additional information unforeseen in a Phase I ESA. OHC completed this study under the regulatory framework known to be in effect as of the date of this report; and the investigation, findings and conclusions as set forth are predicated upon those laws and regulations.

1.3 Project Limitations

According to ASTM Practice E 1527-13, a Phase I ESA is intended to reduce, not necessarily eliminate, uncertainty regarding the potential environmental conditions in connection with the subject property. The standard states that it recognizes “reasonable limits of time and cost” in this process. Consequently, assessments cannot be judged solely on whether they missed some existing contamination, but instead on “the reasonableness of the judgments made at the time and under the circumstances in which they were made.”

This report is based upon the application of scientific principles and professional judgment to certain facts with resultant subjective interpretations. Professional judgments expressed herein are based on the facts currently available within the limit or scope of work, budget and schedule. The work described in this report was carried out in accordance with the Terms and Conditions in the proposal. An environmental lien and activity use limitation search was not performed or requested by the user.

In preparing this report, OHC may have relied on certain information provided by Environmental Data Resources (EDR), federal, state and local officials and other parties referenced therein, and on information contained in the files of state agencies, local agencies, or both, available to OHC at the time of this site assessment. Although there

may have been some degree of overlap in the information provided by these various sources, OHC did not attempt to independently verify the accuracy or completeness of all the information reviewed or received during the course of this site assessment.

Observations were made of the site and of the structure exterior on the site as indicated in this report. While access to interior portions of the site or to structures on the site was unavailable or limited, OHC renders no opinion as to the presence of indirect evidence relating to petroleum substance, hazardous substances, or both, in that portion of the site and structure. In addition, OHC renders no opinion as to the presence or indirect evidence relating to hazardous material storage or oil, where direct observation of the interior/exterior walls, ground surface, floors, ceiling or a structure is obstructed by objects or vegetation covering on or over these surfaces.

As part of this assessment, OHC has submitted a request for an informal file review with the Hillsborough County Environmental Protection Commission (EPC) and Fire Marshalls offices and the City of Tampa Fire Marshalls office. Information from these inquiries are found in Attachment V.

1.4 Special Terms and Conditions

Terms as defined by ASTM E 1527 are used, as appropriate, in this report. ASTM defines recognized environmental conditions as: “the presence or likely presence of any hazardous substances or petroleum products in, on or at a property (1) due to a release to the environment, (2) under conditions indicative of a release to the environment or (3) under conditions that pose a material threat of a future release to the environment. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de-minimus conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de-minimus are not recognized environmental conditions. Within the context of the ASTM standard, the “site” is the Danny’s Generators property and the “user” of this report is Mr. Jeff Siewert. Ms. Deborah Lisa Ramos, owner of the site, declined to complete the User Questionnaire found in Attachment I. OHC would normally rely on information from the questionnaire to assist in determining if REC’s were present on site.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

The subject property, consisting of the aforementioned tax parcel, is described as approximately one eighth of an acre of commercially developed property. The site is located at 1023 East Columbus Drive, Ybor City section of the City of Tampa, Hillsborough County, Florida, herein known as the property, or site. The property is currently owned by Deborah Lisa Ramos. Refer to the tax assessment/site maps in Attachment II and site photographs in Attachment III for visual reference.

2.2 Environmental Setting

The site is located in a mixed light industrial/commercial/residential setting. According to the EDR FEMA Flood Hazard Area Map, the site is not located within a flood plain. According to the EDR provided wetland inventory map, no wetland areas are present. According to the EDR provided information from the 1994 United States Geological Survey, the rock stratigraphic unit at the site is of the Miocene Series of the Tertiary system which was formed in the Cenozoic era. Metamorphic rock formation consists of limestone. Native soil types of the area are primarily Tavares fine sands that are moderate to well drained. The site may consist of urban land. The survey does not identify any depressions or sinkholes on the site. The elevation of the site is approximately 40 feet above mean sea level. The natural topography of the site generally slopes slightly to the east.

2.3 General Site and Vicinity Characteristics

Located within the Ybor City section of the City of Tampa, the surrounding area was initially developed in the early 1880's as primarily industrial or residential in nature. Commercial, light industrial, recreational and residences are located in the vicinity. Water in the vicinity is provided by municipal sources. The site is serviced by the city sanitary sewer system. Municipal waste disposal in the vicinity is contracted. Electric & telephone are available at the street. The site consists of one rectangular shaped parcel consisting of approximately one eighth of an acre.

The surrounding area was partially developed by at least the early 1850's. By 1895, surrounding properties to the west included residential structures. The immediate surrounding area is currently mixed light industrial, commercial and residential.

2.4 On-site structures/Improvements

The one eighth acre site is approximately 30% used for exterior storage space including sidewalk/road/parking areas, 40% improved with the building and 30% is a vacant grass covered lot. The improved area consists of one building. The building is described as follows:

Commercial/Residential Building

The commercial building is a two-story structure constructed in 1924 on concrete slab at grade. The first level consists of office spaces and a garage. The second floor appears to be a residential apartment. There is a canopy on the north end of the building which has a number of parking spaces below. The building is of concrete block construction with a masonry finish. The structure is wood framed with a flat built-up roof on the canopy and a pitched metal roof on the apartment.

2.5 Current Site Usage and Adjoining Properties

The site is currently an active commercial office and residential apartment facility. The adjoining properties to the south are residences. Further south are commercial areas. The adjoining property to the north is East Columbus Drive. Further north is a vacant lot and residences. The adjoining property to east is North 12th Street. Further east are commercial and residential properties. The adjoining property to the west is a residence. Further west are residences. Surrounding land use is primarily commercial, light industrial or residential.

3.0 RECORDS REVIEW

3.1 Site History & Ownership

Information obtained through the Hillsborough County Tax Assessment search indicates that the most recent deed activity for the site consists of a Deed issued to Deborah Lisa Ramos in 2019, (Deed Book 26846, page 1327).

3.2 Federal and State Environmental Database Search (EDR)

A search of federal and state records was conducted according to ASTM standards by contracting a commercial database service, EDR, in order to identify any property within a designated proximity to the site that may pose a risk of contamination of the site.

Definitions for selected database sites were identified and are described along with each

identified site in the following sections. See Attachment IV for definitions and the Executive Summary of the EDR database report.

Pertinent Federal ASTM Records

The site was not listed as any type of site as described in the federal database descriptions. The following are designated by the ASTM Standard as search databases with the number of sites identified in the search area:

NPL	<u>US EPA National Priorities List - 0</u>
CERCLIS/SEMS	<u>US EPA Comprehensive Environmental Response, Compensation and Liability Act Information System - 1</u>
RCRA CORRACTS	<u>Facilities Subject to Corrective Action Under the Resource Conservation and Recovery Act -0</u>
RCRA non-CORRACTS	<u>Facilities Not Subject to Corrective Action Under the Resource Conservation and Recovery Act - 0</u>
RCRA generators	<u>Generators Under the Resources Conservation and Recovery Act -0</u>
NRI/ERNS	<u>National Response Incidents – 0</u>

Based on proximity and a cursory drive by, none of the federal mapped or unmapped sites identified in the EDR report would be expected to impact the subject property or the proposed right of way construction. However, any contamination issues present on adjacent or nearby properties migrating to the site would be the responsibility of the adjacent site owner to rectify through the applicable regulatory guidelines.

Florida Records

No state hazardous waste sites, five solid waste facilities/historic landfill sites, fifteen LUST sites and three Brownfields sites were identified by EDR within a designated proximity to the site according to ASTM standards. The target property is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site named Latin American Service Station, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8508982 and the Florida DEP Cleanup Site Key # is 59734501. The site is listed as a

closed site, therefore it is not an active retail site. The site is listed as having an ongoing discharge cleanup status from a discharge reported on 3/29/1991. Based on proximity, a cursory drive by and the fact that the EDR reports do not identify non-reported leaking tanks, none of these types of state properties or unmapped properties would be expected to impact the site. Based on the involvement of the Hillsborough County EPC, if subsurface contamination has migrated to the target property, the current owner should have been notified.

3.3 Local and State Environmental Record Search

As part of this assessment, OHC has submitted a request for an informal file review with the Hillsborough County EPC and Fire Marshalls offices and the City of Tampa Fire Marshalls Office. Information obtained from these requests is as follows:

- The Hillsborough County EPC office responded back stating that there were no air management, wetlands management or water management files associated with the subject property. The waste management division did locate files including Small Quantity Generator files, Tank and Cleanup files which were reviewed on 11/22/19. Information obtained from the file review is as follows:

Waste Generator File

This file identifies Danny's Generators as a conditionally exempt small quantity generator of hazardous waste which included used motor oil.

Enforcement File

No significant documents were located in this file.

Storage Tank File

There were at least nine UST's located on the site at one time. The tanks have been removed and the site does not have any registered tanks currently present. A gasoline and used motor oil discharge notification dated 3-29-1991 was reviewed. See the site map in Attachment II outlining the former tank locations, plume outline and the current remedial action plan location.

Cleanup File

- The cleanup file contained a storage tank closure assessment, a site characterization report and a partial remedial action plan. As part of the closure, soil samples were

- collected and groundwater monitoring wells were installed. Groundwater samples were collected. Groundwater was encountered at 24 feet below grade surface (bgs). Soil sample results from the characterization indicate soil contamination above the ECP soil cleanup target levels at 2 to 8 feet bgs. Groundwater sample results were found to be above the ECP groundwater cleanup target levels (GCTL).
- The City of Tampa and Hillsborough County Fire Marshalls offices were contacted. Hillsborough stated the site was outside of their response jurisdiction. The Tampa request was not completed due to time constraints associated with this report.

File review requests and information is found in Attachment V.

3.4 Other Environmental Record Sources

OHC conducted a review of geological maps, land use and zoning maps at the Hillsborough County Planning Commission office. The site is zoned commercial class 4 and the land use is currently 1217 mixed use office. The geology is as stated in section 2.2. A City Directory Search was performed which identifies business entities which have had phone numbers associated with the site address. The listings for 1023 East Columbus Drive are as follows:

- 1934 to 2010 Latin American Auto Service
- 1949 Manuel Amiella Filling Station

See the pertinent City Directory Search information in Attachment V.

3.5 Sanborn Maps

JMT conducted a Sanborn Fire Insurance Map search through EDR. The search conducted revealed that maps produced for the subject area in 1915, 1931, 1950, 1976 & 1979. The Sanborn search report and maps are found in Attachment VI. The information from the maps is as follows:

The 1915 map reveals the site is partially developed with a small residential structure located on the south side of the property. The 1931 and 1950 maps reveal the residence does not exist, and the site is developed with a gasoline filling station that has three UST's and an auto service facility. The 1976 and 1979 maps reveal a gasoline filling station, tire service and auto service facility. Surrounding land use is primarily residential with some commercial properties nearby.

3.6 Topographic Maps

Historic topographic maps for the years 1944, 1947, 1956, 1969, 1979, 1981, 1995 and 2012 were obtained and reviewed for the subject area. The 1944 through 1995 maps reveal the site is located in a developed urban setting. The maps produced do not show building structures, only topographic features. No useful data depicting site usage can be derived from the maps searched. The map search data is found in Attachment VII.

3.7 Aerial Photograph Review

Historic aerial photographs for the years 1938, 1950, 1957, 1965, 1973, 1976, 1980, 1987, 1991, 1995, 1998, 2007, 2010, and 2017 were obtained and reviewed of the subject area. The aerials were at varying scales which have varying levels of resolution. The 1938 through 1957 aerials reveal that the site is developed. Interstate 4 does not exist to the south. Less residential and commercial development as compared to today exists in all directions. The 1965 aerial reveals the site is developed and Interstate 4 exists to the south. The remaining aerials indicate the site is developed and significant residential, commercial and industrial development has taken place in surrounding areas. The 2017 aerial depicts the site as it is today. The photos obtained are found in Attachment VIII.

4.0 SITE RECONNAISSANCE

On November 13, 2019 OHC Environmental Professional, Mr. Thomas Martinelli, performed site reconnaissance at the subject property. Remarkable observations as a result of the reconnaissance are discussed in the following sections of the report.

4.1 General Site Observations

The site was observed to have the characteristics outlined in Section 2.3 and 2.4. The site was an active office and apartment building at the time of the site reconnaissance.

Specific items were observed:

4.1.1 Storage Tanks

No evidence of aboveground or underground storage tanks, (i.e. vent/fill pipes), were observed.

4.1.2 Polychlorinated Biphenyls (“PCBs”)

The use of PCBs in newly manufactured electrical equipment and oils has been banned since 1979. Therefore, this type of equipment (pole mounted transformers, fluorescent

light ballasts) which were installed at the site near or prior to this date may contain parts which may be filled with PCB-contained dielectric fluid. No pole mounted transformers or ballasts were present on the exterior of the site.

4.2 Exterior Observations

Exterior areas of the site include exterior storage, a small concrete parking area under the canopy, concrete sidewalks and an empty grass covered lot to the south of the building. The roof stormwater is either conveyed directly to the concrete sidewalks or via sheet flow from the rooftops. Some stormwater percolates to site soils. A number of groundwater monitoring wells are located on the north, south and east sides of the building. These observation wells are associated with the ongoing subsurface contamination discharge monitoring from former LUST's on the site.

Indicators Not Observed

The following indicators of possible recognized environmental conditions under the ASTM standard were not observed at the site during the external site reconnaissance: stressed vegetation, material storage ponds or lagoons.

4.3 Interior Observations

No access to the building interior was granted for this assessment.

4.4 Non-Scope Observations

4.4.1 Lead-Based Paint

Lead-based paint was not physically evaluated as part of this ESA. Exterior painted areas were observed to be in good condition.

4.4.2 Asbestos-Containing Material (ACM)

ACM was not physically evaluated as part of this ESA. Exterior suspect asbestos containing materials were observed which included roofing materials, masonry stucco, caulking, etc. All materials were observed to be in fair to good condition.

4.4.3 Radon

Radon was not physically evaluated as part of this ESA. Since the site is zoned commercial class 4, radon would not be expected to be considered a concern.

5.0 INTERVIEW INFORMATION

Mr. Whit Council (Hillsborough County EPC Case Manager), was contacted and he stated that he was the current Case Manager for the site. He stated that the site does have soil and

groundwater contamination present. He reported that the site is in the cleanup stage as the site characterization study has been completed and a remedial action plan has been approved by the EPC. The construction of the air sparging soil vapor extraction remediation system will begin in the coming weeks. He did know the vertical and lateral extent of the contamination. He stated that no significant soil or groundwater contamination has migrated north of the site onto East Columbus Drive. The plume is migrating in a westerly direction. He did state that static groundwater was approximately 25 feet bgs.

Ms. Jeanette Figari (Hillsborough County EPC), was contacted and stated that she is the point of contact at the EPC to prepare right to know requests. She prepared the request to the air, waste, water and wetland management divisions. She stated that the only files found were in the waste division. A file review was scheduled for 11-22-19.

Ms. Gabrielle Williams, (City of Tampa Emergency Mgt.), stated that there is now a fifteen dollar charge to perform the right to know request. Due to time constraints associated with this project, this request was not performed. She did state that the Hillsborough County Fire Marshalls office be contacted as well.

Ms. Miguelina Rodriguez, (Hillsborough County Fire/Rescue), stated that she researched her files and found that the City of Tampa Fire Marshalls office responds to the site.

6.0 FINDINGS, CONCLUSIONS & RECOMMENDATIONS

OHC Environmental Engineering, Inc. has performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E1527-13 and 40 CFR 312 of the former Danny's Generators site located in the Ybor City section of the City of Tampa, Hillsborough County, FL. Any exceptions to or deletions from this practice are described in Section 7.0, Exceptions/Data Gaps section of this report. This assessment has revealed evidence of the following potential recognized environmental conditions (REC) in connection with the property:

Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8508982 and the Florida DEP Cleanup Site Key # is 59734501. The site is listed as a closed site, therefore it is not an active retail site. The site is listed as having an open

discharge cleanup status from a discharge reported on 3/29/1991. This indicates that the cleanup is not completed. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location and closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. The well closure should be coordinated with the EPC case manager. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately three feet below grade. Therefore, if any residual soil or groundwater contamination exists (>3 feet below grade) in the vicinity of the future remediation area, it would not be expected to impact the proposed construction activities.

7.0 EXCEPTIONS/DATA GAPS

Section Reference 3.1: Explanation

A complete, thorough 50 year chain of title was not obtained for the site due to the county deed records becoming too complex to trace back. Also, the microfilm viewing machine was not operating properly at the time of the records search. If a thorough chain of title is required, an abstract company should be retained. Also, data gaps are present which determine exact site usage of the site for every year dating back to when the site was undeveloped.

Section Reference 4.3: Explanation

This assessment is limited to exterior observations only as no access was granted to observe interior conditions.

8.0 NON-SCOPE ISSUES

Radon

The EPA has established 4 picocuries per liter (“pCi/L”) of radon gas in indoor air as a guidance level for residences. Accumulations above 4 pCi/L are considered to represent a health risk to occupants. Hillsborough County is known to lie within an area that has elevated radon levels. The EDR Report has identified 50% of the structures tested in the basements of Hillsborough County residences are above the guidance level. Only 14% of the structures tested within the 33605 zip code area were above the EPA level. Actual radon concentration can only be determined by actual

on-site measurement. Radon was not evaluated as part of this EA. The possible presence of naturally occurring radon is a non-scope issue, as it is not included in CERCLA's definition of hazardous substances and does not otherwise present potential CERCLA liability.

Asbestos

The issue of asbestos is outside the scope of the Phase I ESA standard practice. Effective October 11, 1994, the Occupational Safety and Health Administration ("OSHA") expanded the scope of its general industry standard for asbestos, 29 CFR 1910.1001. The standard requiring asbestos building surveys now applies to virtually all buildings constructed before 1980 and brings OSHA's enforcement power to an issue which was previously regulated by the EPA's National Emission Standards for Hazardous air Pollutants ("NESHAPS"). Since the building on site was constructed around 1929, suspect asbestos materials may be expected to be a business risk. Suspect materials may include but not be limited to drywall ceilings and walls, suspended ceiling tiles, thermal system insulation, roofing materials, etc. If renovation or demolition of the site building is planned, the areas or building involved should be inspected by an accredited building inspector prior to disturbance.

Lead Based Paint

Lead-based paint was not evaluated as part of this EA. Since the building on site was reportedly constructed before 1978, lead paint may be expected to be a business issue. The possible presence of lead-containing paint is a non-scope issue, as lead-containing paint is not included in CERCLA's definition of hazardous substances and does not otherwise present potential CERCLA liability. Due to the age of the building on site, suspect lead based paint may be located within the building. Lead based paint inspections relating to human exposure are not required in commercial or industrial settings. However, OSHA regulates lead as it relates to employee exposure if the material is disturbed. The condition of painted surfaces is in fair to good condition.

ATTACHMENT I

User Questionnaire



PHASE I ENVIRONMENTAL ASSESSMENT USER QUESTIONNAIRE

Purchaser: _____

Purchaser's Telephone No.: _____

Owner's Name: _____

Owner's Telephone No.: _____

Subject Property: _____

1. **Land use:** Is the property or adjoining property currently used for manufacturing or industrial use?
Adjoining properties include those that border the immediate site and include properties across the street from the property.
YES NO (If "YES", please describe)

Subject Property: _____
Adjoining property north: _____
Adjoining property south: _____
Adjoining property east: _____
Adjoining property west: _____

2. Has the property or adjoining property been used for manufacturing or industrial purposes in the past?
YES NO (If "YES", please describe)

Owner / Use / Date(s) Subject Property Previous use: _____
Previous use (north): _____
Previous use (south): _____
Previous use (east): _____
Previous use (west): _____

3. Are there any pesticides, automotive or industrial batteries, paints or other chemicals stored on the property or at the facility other than undamaged containers of consumer products under five gallons in total volume?
YES NO (If "YES", please describe)





4. Are there any plastic or metal industrial drums (typically 55-gallon) located on the property or at the facility?
YES NO (If "YES", please describe)

5. Has fill dirt been brought onto the site that could be contaminated?
YES NO (If "YES", please describe)

6. Have any construction debris, substances identified as hazardous, unidentified waste materials, tires, automotive or industrial batteries or any other waste materials been dumped above grade, buried and/or burned on the site?
YES NO (If "YES", please describe)

7. Are there any pits, ponds or lagoons located on the property in connection with waste treatment or waste disposal?
YES NO (If "YES", please describe)

- Is there any soil on the property that has been obviously stained? YES NO (If "YES", please describe)
Are storage tanks above or underground located on the property? YES NO (If "YES", please describe)

10. Are vent pipes protruding from the ground or buildings at the property or adjacent to any structure located on the property?
YES NO (If "YES", please describe)

11. Does the property discharge waste water, other than storm water, directly to a ditch or stream on or adjacent to the property?
YES NO (If "YES", please describe)

12. If the property is served by a private well or non-public water system has the well or water system been designated as contaminated by a governmental environmental or health agency?
YES NO (If "YES", please describe)

13. **Asbestos:** Does the property or any buildings located on the property contain any asbestos?
YES NO (If "YES", please describe)

14. **Polychlorinated biphenyls (PCBs):** Have polychlorinated biphenyls been used in electrical transformers, capacitors or other equipment at the property?
YES NO (If "YES", please describe)

OHC ENVIRONMENTAL ENGINEERING, INC.
101 SOUTH HOOVER BLVD, SUITE 101 • TAMPA, FLORIDA 33609
PHONE: (813) 626-8156 • FAX: (813) 623-6702
WEBSITE: WWW.OHCNET.COM

Page 2 of 4





15. Is there a transformer that is not owned by a public or private utility or group and for which there are no records indicating the absence of PCBs?
YES NO (If "YES", please describe)
16. **Radon:** Has the property or any buildings located on the property been tested for radon?
YES NO (If "YES", please describe)
17. **Urea-Formaldehyde:** Does the property or any buildings located on the property contain any urea-formaldehyde materials?
YES NO (If "YES", please describe)
18. **Lead:** Does the property or any buildings located on the property contain any lead-based paint or lead plumbing?
YES NO (If "YES", please describe)
19. **Miscellaneous:** Does the owner of the property or operator of the facility have any knowledge of environmental liens, activity/use limitations or governmental notification relating to violations of environmental laws on the property or any facility located on the property?
YES NO (If "YES", please describe)
20. Has the owner of the property or operator of the facility been informed of the presence of hazardous substances or environmental violations in regards to the property or any facility located on the property?
YES NO (If "YES", please describe)
21. Are you aware of any environmental assessment of the property that indicated the presence of hazardous substances on the site or recommended further assessment of the property?
YES NO (If "YES", please describe)
22. Are there past, current or pending lawsuits or administrative proceedings for alleged environmental damages involving the property or any owner or tenant of the property? YES NO (If "YES", please describe)
23. Does the purchase and/or sales price of this property reflect the presence of hazardous substances on the property?
YES NO (If "YES", please describe)

OHC ENVIRONMENTAL ENGINEERING, INC.
101 SOUTH HOOVER BLVD, SUITE 101 • TAMPA, FLORIDA 33609
PHONE: (813) 626-8156 • FAX: (813) 623-6702
WEBSITE: WWW.OHCNET.COM

Page 3 of 4





24. **Agricultural Land:** Have pesticides, herbicides or other agricultural chemicals been stored, mixed on or applied to the property? YES NO (If "YES", please describe)

This questionnaire was completed by the property owner (*required*):

Owner's/Seller's Signature: _____

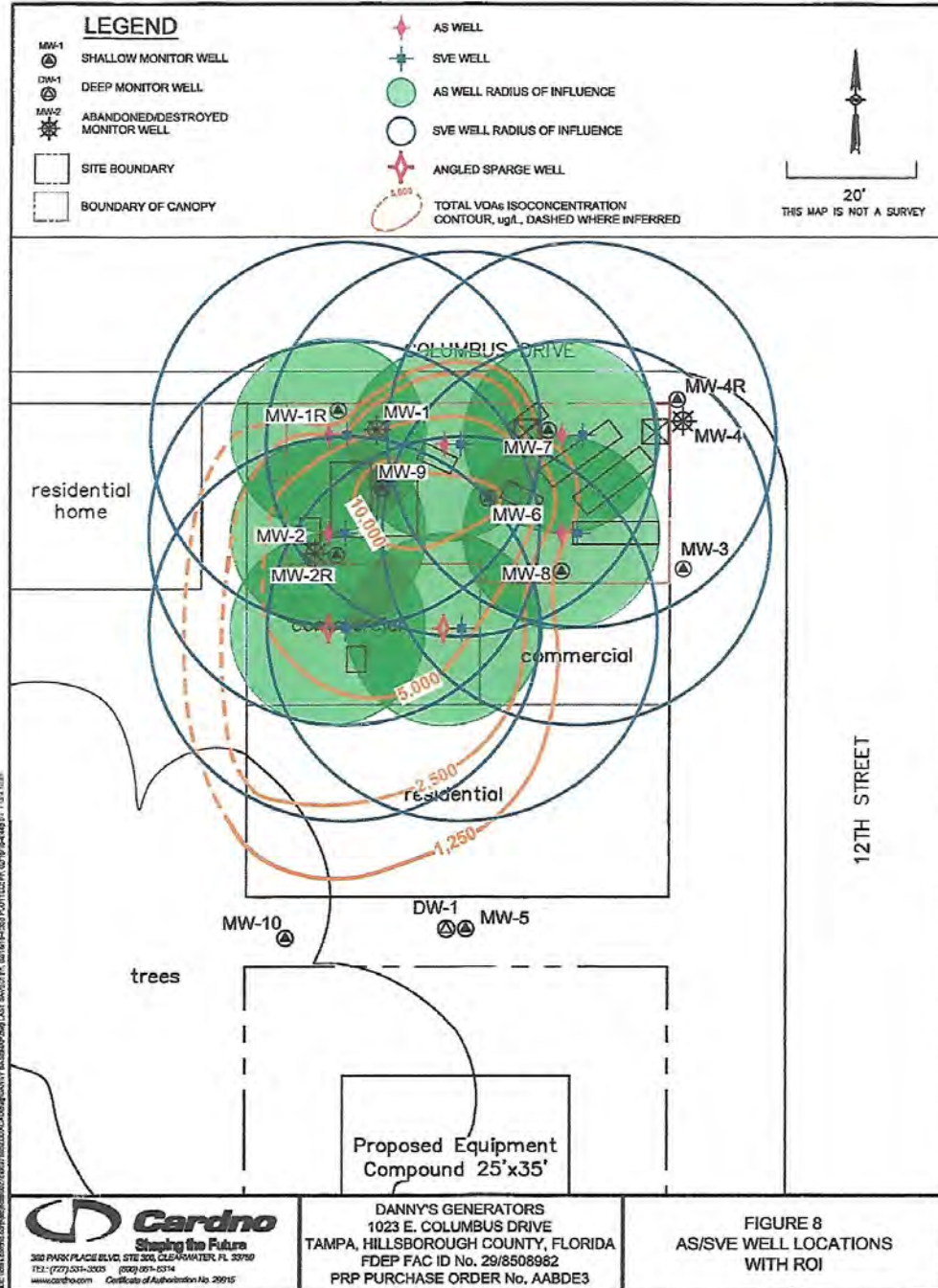
Owner's Printed Name: _____

Address:



ATTACHMENT II

Site Maps/Tax Assessment Information





Bob Henriquez
 Hillsborough County Property Appraiser

<https://www.hcpaf.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 198262-0000



Owner Information	
Owner Name	RAMOS DEBORAH LISA
Mailing Address	2606 N 12TH ST TAMPA, FL 33605-3307
Site Address	1023 E COLUMBUS DR, TAMPA
PIN	A-18-29-19-51A-000001-00001.0
Folio	198262-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	TA - TAMPA
Property Use	1217 MIXED USE OFFICE
Plat Book/Page	1/35
Neighborhood	205003 00 Ybor Area N of I-4
Subdivision	51A MERRIAMS

Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$402,612	\$393,480	\$50,000	\$343,480
Public Schools	\$402,612	\$393,480	\$25,000	\$368,480
Municipal	\$402,612	\$393,480	\$50,000	\$343,480
Other Districts	\$402,612	\$393,480	\$50,000	\$343,480

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information							
Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
26846	1327	08	2019	QC	Unqualified	Improved	\$358,500
20071	1884	09	2010	WD	Qualified	Improved	\$150,000
19644	1398	12	2009	CT	Unqualified	Improved	\$100
17771	0456	05	2007	WD	Unqualified	Improved	\$100
16899	0202	08	2006	WD	Unqualified	Improved	\$100
16716	1318	07	2006	WD	Qualified	Improved	\$365,000
11377	0694	01	2002	WD	Unqualified	Improved	\$150,000
6537	1224	03	1992	QC	Unqualified	Improved	\$100
1316	0559	05	1945	WD	Unqualified	Vacant	\$100
0446	0103	08	1924		Qualified		\$0

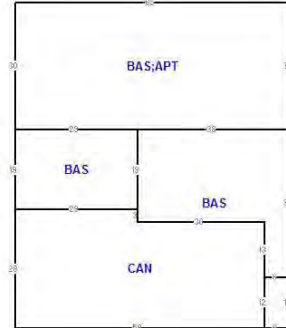


Building Information

Building 1	
Type	49 OFFICE <3 STORY
Year Built	1924

Building 1 Construction Details

Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	7	Masonry Frm: Stucco
Roof Structure	4	Truss (Wood/Metal)
Roof Cover	4	Blt.up Tar & Gravel
Roof Cover	9	Metal
Interior Walls	1	Masonry or Minimum
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	4	Good
Stories	2.0	
Units	2.0	
Wall Height	12.00	



Building 1 subarea

Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,950	1,950	\$121,416
APT	1,950	1,950	\$133,557
BAS	551	551	\$34,308
CAN	1,562		\$29,202
BAS	72	72	\$4,483
BAS	870	870	\$54,170
Totals	6,955	5,393	\$377,136

Extra Features

OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0060	CONCRETE PAVEMENT	1	1924	0	0	640.00	\$1,440

Land Information

Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
COD1	Comm Class 4	YC-2	65.00	86.00	SF SQUARE FEET	5,590.00	\$24,037

Legal Description

MERRIAMS LOT 1 LESS R/W ON N BLOCK 1

ATTACHMENT III

Site Photographs



North Side of Building



West Side of Building



East Side of Building



South Side of Building



Monitoring Wells in Sidewalk



Water Meter in Sidewalk

ATTACHMENT IV

EDR Regulatory Database Report

November 24, 2019
Mr. Jeff Siewert – Ayres Associates
1023 East Columbus Drive
Phase I Environmental Assessment
OHC Project No. 190238-ES

Dannys Generators
1023 East Columbus Drive
Tampa, FL 33605

Inquiry Number: 5864603.2s
November 11, 2019

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

FORM-LBC-DVV



TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary.....	ES1
Overview Map.....	2
Detail Map.....	3
Map Findings Summary.....	4
Map Findings.....	8
Orphan Summary.....	149
Government Records Searched/Data Currency Tracking.....	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum.....	A-1
Physical Setting Source Summary.....	A-2
Physical Setting SSURGO Soil Map.....	A-6
Physical Setting Source Map.....	A-9
Physical Setting Source Map Findings.....	A-11
Physical Setting Source Records Searched.....	PSGR-1

Thank you for your business.
 Please contact EDR at 1-800-352-0050
 with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission. EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.



EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

1023 EAST COLUMBUS DRIVE
TAMPA, FL 33605

COORDINATES

Latitude (North): 27.9666640 - 27° 57' 59.99"
Longitude (West): 82.4471250 - 82° 26' 49.65"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 357660.0
UTM Y (Meters): 3094181.2
Elevation: 40 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5655712 TAMPA, FL
Version Date: 2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20150510
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
 1023 EAST COLUMBUS DRIVE
 TAMPA, FL 33605

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	DANNY'S GENERATORS	1023 E COLUMBUS DR	RGALUST		TP
A2	DANNY'S GENERATORS	1023 E COLUMBUS DR	LUST, UST, CLEANUP SITES, DWM CONTAM		TP
A3	LATIN AMERICAN SERVI	1023 E COLUMBUS DR	EDR Hist Auto		TP
Reg	CENTRO ASTURIANO PLA		BROWNFIELDS	Same	1488, 0.282, NNE
A4	DIEZ GARAGE	2606 12TH ST	EDR Hist Auto	Higher	74, 0.014, SSE
A5	TAMPA CITY-FIRE DEPT	2611 N 12TH ST	UST	Higher	136, 0.026, East
B6	LATIN AMERICAN SERVI	1032 E COLUMBUS DR	EDR Hist Auto	Higher	158, 0.030, NW
B7	LATIN AMERICAN SERVI	1022 E COLUMBUS DRIV	EDR Hist Auto	Higher	166, 0.031, NW
B8	GENERAL GARAGE	1017 E COLUMBUS DR	EDR Hist Auto	Lower	175, 0.033, West
9	TRAILER SERVICE INC	1213 17TH AVE	SWF/LF	Higher	439, 0.083, NE
C10	PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	VCP, FI Sites, CLEANUP SITES, DWM CONTAM, RESP...	Lower	736, 0.139, SSE
C11	PEOPLES GAS SYSTEM I	1200 N 13TH ST	UST	Lower	736, 0.139, SSE
12	COLUMBUS FOOD MART	1312 E COLUMBUS DR	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	861, 0.163, East
13	TAMPA CITY-YBOR GRAM	1407 E COLUMBUS AVE	LUST, UST	Lower	1138, 0.216, East
14	R10 - FOLIO NO. 1868	2813 NORTH 9TH STREE	US BROWNFIELDS, FINDS	Higher	1147, 0.217, NW
15		2812 N 9TH STREET	DEDB	Higher	1208, 0.229, WNW
D16	3 WAY CLEANERS	1420 E COLUMBUS DR	RCRA NonGen / NLR, FINDS, ECHO	Lower	1232, 0.233, East
D17	BAYPRO DRY CLEANERS	1420 E COLUMBUS DR	DRYCLEANERS	Lower	1232, 0.233, East
18	GOLDSTAR FOODS	2317 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Higher	1246, 0.236, West
19	COASTAL MART #643	2309 N NEBRASKA AVE	UST	Higher	1267, 0.240, West
20	TRINITY CAFE	2801 N NEBRASKA AVE	LUST, UST, Financial Assurance	Higher	1287, 0.244, WNW
E21	SOUTHERN HYDRAULIC S	1502 E COLUMBUS DR	LUST, UST, CLEANUP SITES, DWM CONTAM	Lower	1419, 0.269, East
E22	COLUMBUS TIRES INC.	1502 E. COLUMBUS DR.	SWF/LF	Lower	1419, 0.269, East
23	EAST TAMPA AFFORDABL	906 EAST 19TH AVENUE	US BROWNFIELDS	Higher	1439, 0.273, NW
24	JOSUE BETANCOURT	1315 HOLMES AVENUE	SWF/LF	Higher	1486, 0.281, NE
25	CENTRO AUSTURIANO HO	1302 E 21ST AVE	VCP, RESP PARTY	Higher	1825, 0.346, NNE
F26	GIGLIO PROPERTY	2007 NEBRASKA AVE	LUST, UST	Higher	1937, 0.367, SW
27	CUSCADEN PARK STATIO	3002 N 15TH ST	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Higher	1947, 0.369, NE
28	TAMPA ELECTRIC CO-TE	1898 NUCCIO PKY	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	1983, 0.378, South
29	TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	LUST, UST, AST, CLEANUP SITES, DWM CONTAM...	Higher	2021, 0.383, NW
F30	TORRES TRANSMISSIONS	2002 N NEBRASKA AVE	LUST, UST	Higher	2057, 0.390, SW
31	EASTELL & CORNELL TH	909 E 23RD AVE	SWF/LF	Higher	2135, 0.404, NNW
32	EAST 23RD BATTERY	903 EAST 23RD AVENUE	SEMS, PRP, ICIS	Higher	2217, 0.420, NNW
33	VIMAL INVESTMENT LLC	3115 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Higher	2471, 0.469, NNW
G34	EL ENCANTO CLEANERS	1818 N 15TH ST	DWM CONTAM	Lower	2488, 0.471, SSE
G35	EL ENCANTO CLEANERS	1818 N 15TH ST	RCRA-SQG, PRIORITYCLEANERS	Lower	2488, 0.471, SSE
36	7TH AVENUE YBOR CITY	1410, 1412, 1414, 14	US BROWNFIELDS	Lower	2503, 0.474, SSE
37	STAR #1229	1802 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM CONTAM	Lower	2562, 0.485, SSW
G38	TRACKS	1430 E 7TH AVE	LUST, UST	Lower	2585, 0.490, SSE

MAPPED SITES SUMMARY

Target Property Address:
1023 EAST COLUMBUS DRIVE
TAMPA, FL 33605

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
39	CHANDRA PATEL	3201 N NEBRASKA AVE	SWF/LF	Higher	2616, 0.495, NNW
40	KWIK STOP	934 E HENDERSON AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial	Lower	2617, 0.496, SSW
41	DEVOE & RAYNOLDS COM	1010-26 NORTH 19TH S	FI Sites	Higher	2830, 0.536, NNW
42	PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	EDR, MGP	Lower	3719, 0.704, South
43	FORT BROOKE		FUDS	Lower	4958, 0.939, South

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report

Site	Database(s)	EPA ID
DANNY'S GENERATORS 1023 E COLUMBUS DR TAMPA, FL	RGA LUST Facility ID: 8508982	N/A
DANNY'S GENERATORS 1023 E COLUMBUS DR TAMPA, FL 33605	LUST UST Database: UST, Date of Government Version: 05/17/2019 Tank Status: B Facility-Site Id: 8508982 Facility Status: CLOSED CLEANUP SITES DEP Cleanup Site Key: 59734501 DWM CONTAM Program Site Id: 8508982	N/A
LATIN AMERICAN SERVI 1023 E COLUMBUS DR TAMPA, FL	EDR Hist Auto	N/A

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
 Proposed NPL..... Proposed National Priority List Sites
 NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing

EXECUTIVE SUMMARY

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators

RCRA-SQG..... RCRA - Small Quantity Generators

RCRA-VSQG..... RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

US ENG CONTROLS..... Engineering Controls Sites List

US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... Florida's State-Funded Action Sites

State and tribal leaking storage tank lists

LAST..... Leaking Aboveground Storage Tank Listing

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FF TANKS..... Federal Facilities Listing

FEMA UST..... Underground Storage Tank Listing

AST..... Storage Tank Facility Information

INDIAN UST..... Underground Storage Tanks on Indian Land

TANKS..... Storage Tank Facility List

State and tribal institutional control / engineering control registries

ENG CONTROLS..... Institutional Controls Registry

INST CONTROL..... Institutional Controls Registry

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

EXECUTIVE SUMMARY

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Recycling Centers
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
ODI..... Open Dump Inventory
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
US CDL..... National Clandestine Laboratory Register
PFAS..... PFOS and PFOA stand for perfluorooctane sulfonate and perfluorooctanoic acid

Local Land Records

LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Oil and Hazardous Materials Incidents
SPILLS 90..... SPILLS 90 data from FirstSearch
SPILLS 80..... SPILLS 80 data from FirstSearch

Other Ascertainable Records

DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
2020 COR ACTION..... 2020 Corrective Action Program List
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
ROD..... Records Of Decision
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PRP..... Potentially Responsible Parties
PADS..... PCB Activity Database System
ICIS..... Integrated Compliance Information System
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS..... Material Licensing Tracking System
COAL ASH DOE..... Steam-Electric Plant Operation Data
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
RADINFO..... Radiation Information Database
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS..... Incident and Accident Data
CONSENT..... Superfund (CERCLA) Consent Decrees

EXECUTIVE SUMMARY

INDIAN RESERV.	Indian Reservations
FUSRAP	Formerly Utilized Sites Remedial Action Program
UMTRA	Uranium Mill Tailings Sites
LEAD SMELTERS	Lead Smelter Sites
US AIRS	Aerometric Information Retrieval System Facility Subsystem
US MINES	Mines Master Index File
ABANDONED MINES	Abandoned Mines
FINDS	Facility Index System/Facility Registry System
DOCKET HWC	Hazardous Waste Compliance Docket Listing
ECHO	Enforcement & Compliance History Information
UXO	Unexploded Ordnance Sites
FUELS PROGRAM	EPA Fuels Program Registered Listing
AIRS	Permitted Facilities Listing
ASBESTOS	ASBESTOS
Financial Assurance	Financial Assurance Information Listing
FL Cattle Dip. Vats	Cattle Dipping Vats
SITE INV SITES	Site Investigation Section Sites Listing
TIER 2	Tier 2 Facility Listing
UIC	Underground Injection Wells Database Listing
NPDES	Wastewater Facility Regulation Database
MINES MRDS	Mineral Resources Data System

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR Hist Cleaner..... EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS..... Recovered Government Archive State Hazardous Waste Facilities List
RGA LF..... Recovered Government Archive Solid Waste Facilities List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in *bold italics* are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

EXECUTIVE SUMMARY

STANDARD ENVIRONMENTAL RECORDS

Federal CERCLIS list

SEMS: SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the SEMS list, as provided by EDR, and dated 07/19/2019 has revealed that there is 1 SEMS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EAST 23RD BATTERY Site ID: 0409761 EPA ID: FLN000409761	903 EAST 23RD AVENUE	NNW 1/4 - 1/2 (0.420 mi.)	32	107

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the Department of Environmental Protection's Facility Directory (Solid Waste Facilities).

A review of the SWF/LF list, as provided by EDR, has revealed that there are 5 SWF/LF sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TRAILER SERVICE INC Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 96603 Class Status: INACTIVE (I)	1213 17TH AVE	NE 0 - 1/8 (0.083 mi.)	9	19
JOSUE BETANCOURT Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 103806 Class Status: INACTIVE (I)	1315 HOLMES AVENUE	NE 1/4 - 1/2 (0.261 mi.)	24	69
EASTELL & CORNELL TH Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 97087 Class Status: INACTIVE (I)	909 E 23RD AVE	NNW 1/4 - 1/2 (0.404 mi.)	31	106
CHANDRA PATEL Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 95720 Class Status: REGISTERED (R)	3201 N NEBRASKA AVE	NNW 1/4 - 1/2 (0.495 mi.)	39	140
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
COLUMBUS TIRES INC Database: SWF/LF, Date of Government Version: 07/16/2019	1502 E. COLUMBUS DR.	E 1/4 - 1/2 (0.269 mi.)	E22	66

EXECUTIVE SUMMARY

Facility-Site Id: 100206
 Class Status: INACTIVE (I)

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Protection's PCTO1--Petroleum Contamination Detail Report.

A review of the LUST list, as provided by EDR, and dated 07/30/2019 has revealed that there are 14 LUST sites within approximately 0.5 miles of the target property.

Equal/Higher Elevation	Address	Direction / Distance	Map ID	Page
GOLDSTAR FOODS	2317 N NEBRASKA AVE	W 1/8 - 1/4 (0.236 mi.)	18	46
TRINITY CAFE	2801 N NEBRASKA AVE	WNW 1/8 - 1/4 (0.244 mi.)	20	56
GIGLIO PROPERTY	2007 NEBRASKA AVE	SW 1/4 - 1/2 (0.367 mi.)	F26	71
CUSCADEN PARK STATIO	3002 N 15TH ST	NE 1/4 - 1/2 (0.369 mi.)	27	76
TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	NW 1/4 - 1/2 (0.383 mi.)	29	94
TORRES TRANSMISSIONS	2002 N NEBRASKA AVE	SW 1/4 - 1/2 (0.390 mi.)	F30	101
VIMAL INVESTMENT LLC	3115 N NEBRASKA AVE	NNW 1/4 - 1/2 (0.468 mi.)	33	109
Lower Elevation	Address	Direction / Distance	Map ID	Page
COLUMBUS FOOD MART	1312 E COLUMBUS DR	E 1/8 - 1/4 (0.163 mi.)	12	23
TAMPA CITY-YBOR GRAM	1407 E COLUMBUS AVE	E 1/8 - 1/4 (0.216 mi.)	13	36
SOUTHERN HYDRAULIC S	1502 E COLUMBUS DR	E 1/4 - 1/2 (0.269 mi.)	E21	60
TAMPA ELECTRIC CO-TE	1898 NUCCIO PKY	S 1/4 - 1/2 (0.376 mi.)	28	81
STAR #1229	1802 N NEBRASKA AVE	SSW 1/4 - 1/2 (0.485 mi.)	37	132
TRACKS	1430 E 7TH AVE	SSE 1/4 - 1/2 (0.490 mi.)	G38	137
KWIK STOP	934 E HENDERSON AVE	SSW 1/4 - 1/2 (0.496 mi.)	40	141

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. Shortly after the September 11 event, the DEP was instructed to remove the detail about some of the storage tank facilities in the state from their reports. Federal-owned facilities and bulk storage facilities are included in that set.

A review of the UST list, as provided by EDR, has revealed that there are 7 UST sites within approximately 0.25 miles of the target property.

Equal/Higher Elevation	Address	Direction / Distance	Map ID	Page
TAMPA CITY-FIRE DEPT Database: UST, Date of Government Version: 05/17/2019 Tank Status: B Facility-Site Id: 8842520 Facility Status: CLOSED	2611 N 12TH ST	E 0 - 1/8 (0.026 mi.)	A5	18
GOLDSTAR FOODS Database: UST, Date of Government Version: 05/17/2019 Tank Status: B	2317 N NEBRASKA AVE	W 1/8 - 1/4 (0.236 mi.)	18	46

EXECUTIVE SUMMARY

Tank Status: U				
Facility-Site Id: 8944840				
Facility Status: OPEN				
COASTAL MART #643	2309 N NEBRASKA AVE	W 1/8 - 1/4 (0.240 mi.)	19	54
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 8508941				
Facility Status: CLOSED				
TRINITY CAFE	2801 N NEBRASKA AVE	WNW 1/8 - 1/4 (0.244 mi.)	20	56
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 9813324				
Facility Status: CLOSED				
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM I	1200 N 13TH ST	SSE 1/8 - 1/4 (0.139 mi.)	C11	22
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Tank Status: A				
Facility-Site Id: 8625257				
Facility Status: CLOSED				
COLUMBUS FOOD MART	1312 E COLUMBUS DR	E 1/8 - 1/4 (0.163 mi.)	12	23
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Tank Status: U				
Facility-Site Id: 8624765				
Facility Status: OPEN				
TAMPA CITY-YBOR GRAM	1407 E COLUMBUS AVE	E 1/8 - 1/4 (0.216 mi.)	13	36
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 9805466				
Facility Status: CLOSED				

State and tribal voluntary cleanup sites

VCP: The Florida Voluntary Cleanup Program database

A review of the VCP list, as provided by EDR, and dated 06/28/2019 has revealed that there are 2 VCP sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO AUSTURIANO HO	1302 E 21ST AVE	NNE 1/4 - 1/2 (0.346 mi.)	25	70
Status: CLOSED				
Comet Site Id: 268895				
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	SSE 1/8 - 1/4 (0.139 mi.)	C10	20
Status: OPEN				

EXECUTIVE SUMMARY

Comet Site Id: 65122

State and tribal Brownfields sites

BROWNFIELDS: Brownfields are defined by the Florida Department of Environmental Protection (FDEP) as abandoned, idled, or underused industrial and commercial facilities where expansion or redevelopment is complicated by real or perceived environmental contamination.

A review of the BROWNFIELDS list, as provided by EDR, has revealed that there is 1 BROWNFIELDS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO ASTURIANO PLA Database: BROWNFIELDS AREAS, Date of Government Version: 05/06/2019		NNE 1/4 - 1/2 (0.282 mi.)	0	17

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 06/03/2019 has revealed that there are 3 US BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
R10 - FOLIO NO. 1868 ACRES property ID: 106261	2813 NORTH 9TH STREE	NW 1/8 - 1/4 (0.217 mi.)	14	39
EAST TAMPA AFFORDABL ACRES property ID: 60011	906 EAST 19TH AVENUE	NW 1/4 - 1/2 (0.273 mi.)	23	66
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
7TH AVENUE YBOR CITY ACRES property ID: 185021	1410, 1412, 1414, 14	SSE 1/4 - 1/2 (0.474 mi.)	36	123

Local Lists of Hazardous waste / Contaminated Sites

Florida Priority Cleaners list comes from the Department of Environmental Protection.

A review of the PRIORITYCLEANERS list, as provided by EDR, and dated 07/15/2019 has revealed that there is 1 PRIORITYCLEANERS site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EL ENCANTO CLEANERS	1818 N 15TH ST	SSE 1/4 - 1/2 (0.471 mi.)	G35	122

EXECUTIVE SUMMARY

Facility-Site Id: 9500225

FI Sites: This summary status report is a compilation and revision of other existing lists. It was developed from a number of lists including the Eckhardt list, the Moffit list, the EPA Hazardous Waste Sites list, EPA's Emergency and Remedial Response Information System list (RCRA Section 3012), and existing department lists such as the Obsolete Uncontrolled Hazardous Waste Sites list. The purpose of this list is to track the progress of activities within and outside the department as they relate to the listed sites. It is not a list of uncontrolled sites or sources causing environmental contamination. The Sites List comes from the Department of Environmental Protection.

A review of the FI Sites list, as provided by EDR, and dated 12/31/1989 has revealed that there are 2 FI Sites sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DEVOE & RAYNOLDS COM EPA ID: FLD130010176 Facility-Site Id: 000451	1010-26 NORTH 19TH S	NNW 1/2 - 1 (0.536 mi.)	41	147

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Facility-Site Id: 000480	1200 NORTH 13TH STRE	SSE 1/8 - 1/4 (0.139 mi.)	C10	20

Other Ascertainable Records

RCRA NonGen / NLR: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 06/24/2019 has revealed that there is 1 RCRA NonGen / NLR site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
3 WAY CLEANERS EPA ID: FLD981921794	1420 E COLUMBUS DR	E 1/8 - 1/4 (0.233 mi.)	D16	43

FUDS: The Listing includes locations of Formerly Used Defense Sites Properties where the US Army Corps Of Engineers is actively working or will take necessary cleanup actions.

A review of the FUDS list, as provided by EDR, and dated 05/15/2019 has revealed that there is 1 FUDS site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORT BROOKE		S 1/2 - 1 (0.939 mi.)	43	148

EXECUTIVE SUMMARY

DEDB: Ethylene dibromide (EDB), a soil fumigant, that has been detected in drinking water wells. The amount found exceeds the maximum contaminant level as stated in Chapter 62-550 or 520. It is a potential threat to public health when present in drinking water.

A review of the DEDB list, as provided by EDR, and dated 06/18/2019 has revealed that there is 1 DEDB site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported Well Id: 290083701	2812 N 9TH STREET	WNW 1/8 - 1/4 (0.229 mi.)	15	42

Florida Drycleaners list comes from the Department of Environmental Protection.

A review of the DRYCLEANERS list, as provided by EDR, and dated 07/22/2019 has revealed that there is 1 DRYCLEANERS site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BAYPRO DRY CLEANERS Facility Status: CLOSED Facility-Site Id: 9600543	1420 E COLUMBUS DR	E 1/8 - 1/4 (0.233 mi.)	D17	45

DWM CONTAM: A listing of active or known sites. The listing includes sites that need cleanup but are not actively being working on because the agency currently does not have funding (primarily petroleum and drycleaning).

A review of the DWM CONTAM list, as provided by EDR, and dated 01/28/2019 has revealed that there are 11 DWM CONTAM sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GOLDSTAR FOODS Program Site Id: 8944840	2317 N NEBRASKA AVE	W 1/8 - 1/4 (0.236 mi.)	18	46
CUSCADEN PARK STATIO Program Site Id: 8627365	3002 N 15TH ST	NE 1/4 - 1/2 (0.369 mi.)	27	76
TAMPA CITY-FIRE DEPT Program Site Id: 8842212	2904 N MITCHELL AVE	NW 1/4 - 1/2 (0.383 mi.)	29	94
VIMAL INVESTMENT LLC Program Site Id: 8625232	3115 N NEBRASKA AVE	NNW 1/4 - 1/2 (0.468 mi.)	33	109
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Program Site Id: 65122	1200 NORTH 13TH STRE	SSE 1/8 - 1/4 (0.139 mi.)	C10	20
COLUMBUS FOOD MART Program Site Id: 8624765	1312 E COLUMBUS DR	E 1/8 - 1/4 (0.163 mi.)	12	23
SOUTHERN HYDRAULIC S Program Site Id: 9100548	1502 E COLUMBUS DR	E 1/4 - 1/2 (0.269 mi.)	E21	60
TAMPA ELECTRIC CO-TE Program Site Id: 8839853	1898 NUCCIO PKY	S 1/4 - 1/2 (0.376 mi.)	28	81
EL ENCANTO CLEANERS STAR #1229	1818 N 15TH ST 1802 N NEBRASKA AVE	SSE 1/4 - 1/2 (0.471 mi.) SSW 1/4 - 1/2 (0.485 mi.)	G34 37	121 132

EXECUTIVE SUMMARY

Program Site Id: 8625656				
KWIK STOP	934 E HENDERSON AVE	SSW 1/4 - 1/2 (0.496 mi.)	40	141
Program Site Id: 8625526				

RESP PARTY: Open, inactive and closed responsible party sites

A review of the RESP PARTY list, as provided by EDR, and dated 06/30/2019 has revealed that there are 2 RESP PARTY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO AUSTURIANO HO Site Status: CLOSED	1302 E 21ST AVE	NNE 1/4 - 1/2 (0.346 mi.)	25	70
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Site Status: OPEN	1200 NORTH 13TH STRE	SSE 1/8 - 1/4 (0.139 mi.)	C10	20

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the EDR MGP list, as provided by EDR, has revealed that there is 1 EDR MGP site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	S 1/2 - 1 (0.704 mi.)	42	147

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 4 EDR Hist Auto

EXECUTIVE SUMMARY

sites within approximately 0.125 miles of the target property:

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DIEZ GARAGE	2606 12TH ST	SSE 0 - 1/8 (0.014 mi.)	A4	17
LATIN AMERICAN SERVI	1032 E COLUMBUS DR	NW 0 - 1/8 (0.030 mi.)	B6	18
LATIN AMERICAN SERVI	1022 E COLUMBUS DRIV	NW 0 - 1/8 (0.031 mi.)	B7	19

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GENERAL GARAGE	1017 E COLUMBUS DR	W 0 - 1/8 (0.033 mi.)	B8	19

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

<u>Site Name</u>	<u>Database(s)</u>
HECTOR ALONSO	SWF/LF

OVERVIEW MAP - 5864603.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- 🚚 National Priority List Sites
- 🏠 Dept. Defense Sites
- 🏠 Indian Reservations BIA
- ⚡ Power transmission lines
- 📡 Pipelines
- 🌊 Special Flood Hazard Area (1%)
- 🌊 0.2% Annual Chance Flood Hazard
- 🌿 National Wetland Inventory
- 🌿 State Wetlands
- 🏠 FL Brownfield

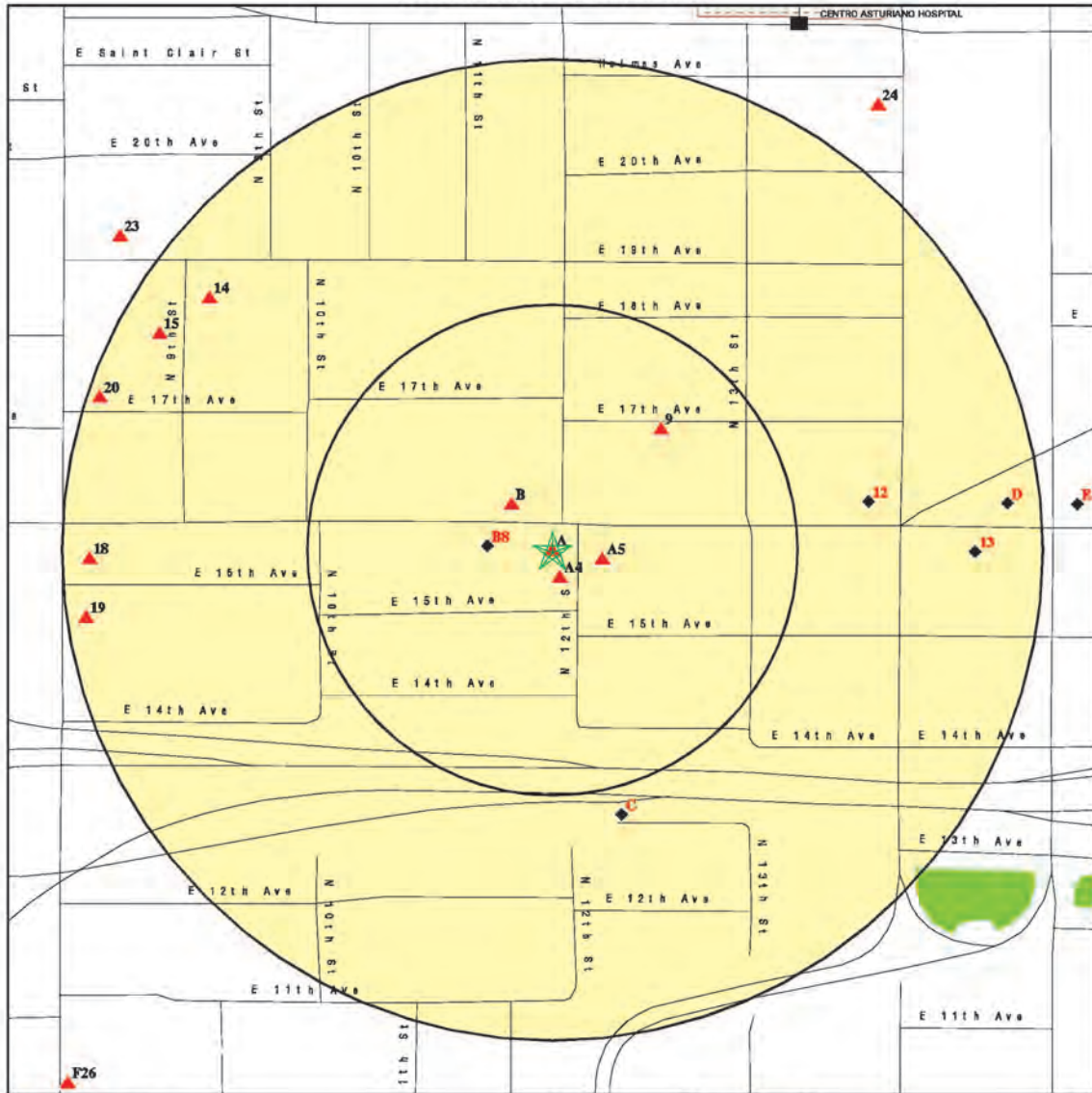
This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Dannys Generators ADDRESS: 1023 East Columbus Drive Tampa FL 33605 LAT/LONG: 27.966664 / 82.447125	CLIENT: OHC Environmental Engineering CONTACT: Thomas Martinelli INQUIRY #: 5864603.2s DATE: November 11, 2019 9:08 am
---	---

Copyright © 2016 EGR, Inc. © 2015 TomTom Rat. 2015.



DETAIL MAP - 5864603.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- ⚡ Sensitive Receptors
- 🏠 National Priority List Sites
- 🏠 Dept. Defense Sites
- 🏠 Indian Reservations BIA
- 🌿 National Wetland Inventory
- 🌿 State Wetlands
- 🏠 FL Brownfield

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Dannys Generators ADDRESS: 1023 East Columbus Drive Tampa FL 33605 LAT/LONG: 27.966664 / 82.447125	CLIENT: OHC Environmental Engineering CONTACT: Thomas Martinelli INQUIRY #: 5864603.2s DATE: November 11, 2019 9:09 am
--	---

Copyright © 2018 EDR, Inc. © 2015 TomTom Rel. 2015.



MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	1	NR	NR	1
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/ILF	0.500		1	0	4	NR	NR	5
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500	1	0	4	10	NR	NR	15
LAST	0.500		0	0	0	NR	NR	0
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
FF TANKS	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250	1	1	8	NR	NR	NR	8
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
TANKS	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
ENG CONTROLS	0.500		0	0	0	NR	NR	0
INST CONTROL	0.500		0	0	0	NR	NR	0
State and tribal voluntary cleanup sites								
VCP	0.500		0	1	1	NR	NR	2
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	1	NR	NR	1
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	1	2	NR	NR	3
Local Lists of Landfill / Solid Waste Disposal Sites								
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
PRIORITYCLEANERS	0.500		0	0	1	NR	NR	1
FI Sites	1,000		0	1	0	1	NR	2
US CDL	TP		NR	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
SPILLS 90	TP		NR	NR	NR	NR	NR	0
SPILLS 80	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	1	NR	NR	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FLDS	1,000		0	0	0	1	NR	1
DOD	1,000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0,500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0,250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1,000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0,500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1,000		0	0	0	0	NR	0
INDIAN RESERV	1,000		0	0	0	0	NR	0
FUSRAP	1,000		0	0	0	0	NR	0
UMTRA	0,500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0,250		0	0	NR	NR	NR	0
ABANDONED MINES	0,250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
UXO	1,000		0	0	0	0	NR	0
FUELS PROGRAM	0,250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
CLEANUP SITES	TP	1	NR	NR	NR	NR	NR	1
DEDB	0,250		0	1	NR	NR	NR	1
DRYCLEANERS	0,250		0	1	NR	NR	NR	1
DWM CONTAM	0,500	1	0	3	8	NR	NR	12
Financial Assurance	TP		NR	NR	NR	NR	NR	0
FL Cattle Dip. Vats	0,250		0	0	NR	NR	NR	0
RESP PARTY	0,500		0	1	1	NR	NR	2
SITE INV SITES	0,500		0	0	0	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0
EDR HIGH RISK HISTORICAL RECORDS								
<i>EDR Exclusive Records</i>								
EDR MGP	1,000		0	0	0	1	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
EDR Hist Auto	0.125	1	4	NR	NR	NR	NR	5
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
EDR RECOVERED GOVERNMENT ARCHIVES								
<i>Exclusive Recovered Govt. Archives</i>								
RG A HWS	TP		NR	NR	NR	NR	NR	0
RG A LF	TP		NR	NR	NR	NR	NR	0
RG A LUST	TP	1	NR	NR	NR	NR	NR	1
- Totals -		6	6	20	29	3	0	64

NOTES:

- TP = Target Property
- NR = Not Requested at this Search Distance
- Sites may be listed in more than one database

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number

MAP FINDINGS

DANNY'S GENERATORS (Continued)

U001353917

Zip: 33605, 3332
 Score: 35
 Score Effective Date: 2008-11-14 00:00:00
 Related Party ID: 1015
 Primary RP Role: ACCOUNT OWNER
 RP Begin Date: 1991-05-01
 RP Zip: Not reported
 RP Extension: Not reported

Discharge Cleanup Summary:

Discharge Date: 3/29/1991
 PCT Discharge Combined: Not reported
 Cleanup Required: R - CLEANUP REQUIRED
 Discharge Cleanup Status: RA - RA ONGOING
 Disch Cleanup Status Date: 11/6/2014
 Cleanup Work Status: INACTIVE
 Information Source: A - ABANDONED TANK RESTORATION
 Other Source Description: Not reported
 Eligibility Indicator: E - ELIGIBLE
 Site Manager: COUNCIL_W
 Site Mgr End Date: Not reported
 Tank Office: PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION
 Discharge Date: 7/15/1988
 PCT Discharge Combined: Not reported
 Cleanup Required: N - NO CLEANUP REQUIRED
 Discharge Cleanup Status: NREQ - CLEANUP NOT REQUIRED
 Disch Cleanup Status Date: 5/29/2001
 Cleanup Work Status: COMPLETED
 Information Source: E - EDI
 Other Source Description: Not reported
 Eligibility Indicator: I - INELIGIBLE
 Site Manager: YORK_CLAIMS
 Site Mgr End Date: 9/20/2012
 Tank Office: -

Petroleum Cleanup Program Eligibility:

Facility ID: 8508982
 Discharge Date: 3/29/1991
 Pct Discharge Combined With: Not reported
 Cleanup Required: R - CLEANUP REQUIRED
 Discharge Cleanup Status: RA - RA ONGOING
 Disch Cleanup Status Date: 11/6/2014
 Cleanup Work Status: INACTIVE
 Information Source: A - ABANDONED TANK RESTORATION
 Other Source Description: Not reported
 Application Received Date: 2/27/1991
 Cleanup Program: A - ABANDONED TANK RESTORATION PROGRAM
 Eligibility Status: 10/1/1991
 Elig Status Date: 10/1/1991
 Letter Of Intent Date: Not reported
 Redetermined: No
 Inspection Date: 5/13/1991
 Site Manager: COUNCIL_W
 Site Mgr End Date: Not reported
 Tank Office: PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION
 Deductible Amount: 500
 Deductible Paid To Date: 500

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number

MAP FINDINGS

DANNY'S GENERATORS (Continued)

U001353917

Co-Pay Amount:	0
Co-Pay Paid To Date:	0
Cap Amount:	Not reported
Contaminated Media:	
Discharge Date:	3/29/1991
Pct Discharge Combined With:	Not reported
Cleanup Required:	R - CLEANUP REQUIRED
Discharge Cleanup Status:	RA - RA ONGOING
Disch Cleanup Status Date:	11/6/2014
Cleanup Work Status:	INACTIVE
Information Source:	A - ABANDONED TANK RESTORATION
Other Source Description:	Not reported
Elig Indicator:	E - ELIGIBLE
Site Manager:	COUNCIL_W
Site Mgr End Date:	Not reported
Tank Office:	PCLP29 - HILLSBOROUGH ENVIRONM
Contaminated Drinking Wells:	Not reported
Contaminated Monitoring Well:	Not reported
Contaminated Soil:	Not reported
Contaminated Surface Water:	Not reported
Contaminated Ground Water:	Not reported
Pollutant:	L - Waste Oil
Pollutant Other Description:	Not reported
Gallons Discharged:	Not reported
Discharge Date:	3/29/1991
Pct Discharge Combined With:	Not reported
Cleanup Required:	R - CLEANUP REQUIRED
Discharge Cleanup Status:	RA - RA ONGOING
Disch Cleanup Status Date:	11/6/2014
Cleanup Work Status:	INACTIVE
Information Source:	A - ABANDONED TANK RESTORATION
Other Source Description:	Not reported
Elig Indicator:	E - ELIGIBLE
Site Manager:	COUNCIL_W
Site Mgr End Date:	Not reported
Tank Office:	PCLP29 - HILLSBOROUGH ENVIRONM
Contaminated Drinking Wells:	Not reported
Contaminated Monitoring Well:	Not reported
Contaminated Soil:	Not reported
Contaminated Surface Water:	Not reported
Contaminated Ground Water:	Not reported
Pollutant:	P - Generic Gasoline
Pollutant Other Description:	Not reported
Gallons Discharged:	Not reported
Task Information:	
District:	SWD
Facility ID:	8508982
Facility Status:	CLOSED
Facility Type:	A - Retail Station -
County:	HILLSBOROUGH
County ID:	29
Cleanup Eligibility Status:	E
Source Effective Date:	Not reported
Discharge Date:	03-29-1991
Cleanup Required:	R - CLEANUP REQUIRED
Discharge Cleanup Status:	RA - RA ONGOING

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
--------	-----------	----------	-----------	------	-------------	---------------	---------------

MAP FINDINGS

DANNY'S GENERATORS (Continued)

U001353917

Disch Cleanup Status Date: 11-06-2014
 SRC Action Type: -
 SRC Submit Date: Not reported
 SRC Review Date: Not reported
 SRC Completion Status: -
 SRC Issue Date: Not reported
 SRC Comment: Not reported
 Cleanup Work Status: INACTIVE
 Site Mgr: COUNCIL_W
 Site Mgr End Date: Not reported
 Tank Office: PCLP29 - Hillsborough County
 SR Task ID: Not reported
 SR Cleanup Responsible: -
 SR Funding Eligibility Type: -
 SR Actual Cost: Not reported
 SR Completion Date: Not reported
 SR Payment Date: Not reported
 SR Oral Date: Not reported
 SR Written Date: Not reported
 SR Soil Removal: Not reported
 SR Free Product Removal: Not reported
 SR Soil Tonnage Removed: Not reported
 SR Soil Treatment: Not reported
 SR Other Treatment: Not reported
 SR Alternate Proc Received Date: Not reported
 SR Alternate Procedure Status: Not reported
 SR Alternate Procedure Status Date: Not reported
 SR Alternate Procedure Comments: Not reported
 SA Task ID: 89642
 SA Cleanup Responsible: -
 SA Funding Eligibility Type: -
 SA Actual Cost: Not reported
 SA Completion Date: Not reported
 SA Payment Date: Not reported
 RAP Task ID: 91433
 RAP Cleanup Responsible ID: -
 RAP Funding Eligibility Type: -
 RAP Actual Cost: Not reported
 RAP Completion Date: Not reported
 RAP Payment Date: Not reported
 RAP Last Order Approved: Not reported
 RA Task ID: 91432
 RA Cleanup Responsible: -
 RA Funding Eligibility Type: -
 RA Years to Complete: Not reported
 RA Actual Cost: Not reported
 District: SWD
 Facility ID: 8508982
 Facility Status: CLOSED
 Facility Type: A - Retail Station -
 County: HILLSBOROUGH
 County ID: 29
 Cleanup Eligibility Status: I
 Source Effective Date: Not reported
 Discharge Date: 07-15-1988
 Cleanup Required: N - NO CLEANUP REQUIRED
 Discharge Cleanup Status: NREQ - CLEANUP NOT REQUIRED

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number

MAP FINDINGS

DANNY'S GENERATORS (Continued)

U001353917

Disch Cleanup Status Date: 05-29-2001
 SRC Action Type: -
 SRC Submit Date: Not reported
 SRC Review Date: Not reported
 SRC Completion Status: -
 SRC Issue Date: Not reported
 SRC Comment: Not reported
 Cleanup Work Status: COMPLETED
 Site Mgr: YORK_CLAIMS
 Site Mgr End Date: 09-20-2012
 Tank Office: -
 SR Task ID: 50137
 SR Cleanup Responsible: ST - STATE
 SR Funding Eligibility Type: -
 SR Actual Cost: Not reported
 SR Completion Date: Not reported
 SR Payment Date: Not reported
 SR Oral Date: Not reported
 SR Written Date: Not reported
 SR Soil Removal: Not reported
 SR Free Product Removal: Not reported
 SR Soil Tonnage Removed: Not reported
 SR Soil Treatment: Not reported
 SR Other Treatment: Not reported
 SR Alternate Proc Received Date: Not reported
 SR Alternate Procedure Status: Not reported
 SR Alternate Procedure Status Date: Not reported
 SR Alternate Procedure Comments: Not reported
 SA Task ID: 50138
 SA Cleanup Responsible: ST - STATE
 SA Funding Eligibility Type: -
 SA Actual Cost: Not reported
 SA Completion Date: Not reported
 SA Payment Date: Not reported
 RAP Task ID: 50139
 RAP Cleanup Responsible ID: ST - STATE
 RAP Funding Eligibility Type: -
 RAP Actual Cost: Not reported
 RAP Completion Date: Not reported
 RAP Payment Date: Not reported
 RAP Last Order Approved: Not reported
 RA Task ID: 50140
 RA Cleanup Responsible: ST - STATE
 RA Funding Eligibility Type: -
 RA Years to Complete: Not reported
 RA Actual Cost: Not reported

[Click here for Florida Oculus:](#)

UST:
 Facility Id: 8508982
 Facility Status: CLOSED
 Type Description: Retail Station
 Facility Phone: 8132291059
 Region: STATE
 Positioning Method: UNVR
 Lat/Long (dms): 27 58 0 / 82 26 49

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number

MAP FINDINGS

DANNY'S GENERATORS (Continued)

U001353917

Owner:
 Owner Id: 1015
 Owner Name: ARNIELLA, MANUEL
 Owner Address: 1918 W KENTUCKY AVE
 Owner Address 2: Not reported
 Owner City, St, Zip: TAMPA, FL 33607
 Owner Contact: MANUEL ARNIELLA
 Owner Phone: 8138761029

Tank Info:
 Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 1
 Status: Removed
 Status Date: 2/28/1991
 Install Date: 7/1/1975
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 1000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: P

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 10
 Status: Removed
 Status Date: 2/28/1991
 Install Date: Not reported
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 200
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: P

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 2
 Status: Removed
 Status Date: 2/28/1991
 Install Date: 7/1/1975
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 1000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: P

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 3
 Status: Removed
 Status Date: 2/28/1991
 Install Date: 7/1/1975
 Substance: Unleaded gas

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

DANNY'S GENERATORS (Continued)

U001353917

Content Description:	Unleaded Gas
Gallons:	1000
Vessel Indicator:	TANK
Tank Location:	UNDERGROUND
DEP Contractor:	P
Name:	DANNY'S GENERATORS
Address:	1023 E COLUMBUS DR
Tank Id:	4
Status:	Removed
Status Date:	2/28/1991
Install Date:	7/1/1975
Substance:	Unleaded gas
Content Description:	Unleaded Gas
Gallons:	560
Vessel Indicator:	TANK
Tank Location:	UNDERGROUND
DEP Contractor:	P
Name:	DANNY'S GENERATORS
Address:	1023 E COLUMBUS DR
Tank Id:	5
Status:	Removed
Status Date:	2/28/1991
Install Date:	Not reported
Substance:	Unleaded gas
Content Description:	Unleaded Gas
Gallons:	560
Vessel Indicator:	TANK
Tank Location:	UNDERGROUND
DEP Contractor:	P
Name:	DANNY'S GENERATORS
Address:	1023 E COLUMBUS DR
Tank Id:	6
Status:	Removed
Status Date:	2/28/1991
Install Date:	7/1/1975
Substance:	Waste oil
Content Description:	Waste Oil
Gallons:	200
Vessel Indicator:	TANK
Tank Location:	UNDERGROUND
DEP Contractor:	P
Name:	DANNY'S GENERATORS
Address:	1023 E COLUMBUS DR
Tank Id:	7
Status:	Removed
Status Date:	2/28/1991
Install Date:	Not reported
Substance:	Unleaded gas
Content Description:	Unleaded Gas
Gallons:	560
Vessel Indicator:	TANK
Tank Location:	UNDERGROUND
DEP Contractor:	P

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

DANNY'S GENERATORS (Continued)

U001353917

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 8
 Status: Removed
 Status Date: 2/28/1991
 Install Date: Not reported
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 1000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: P

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 Tank Id: 9
 Status: Removed
 Status Date: 2/28/1991
 Install Date: Not reported
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 1000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: P

[Click here for Florida Oculus.](#)

CLEANUP SITES:

Name: DANNY'S GENERATORS
 Address: 1023 E COLUMBUS DR
 City, State, Zip: TAMPA, FL 33605
 DEP Cleanup Site Key: 59734501
 Source Database Name: Storage Tank Contamination Monitoring
 Source Database Id: 8508982
 CPAC Program Area Id: TK
 CLLC Cleanup Category Key: PETRO
 RSC2 Remediation Status Key: ACTIVE
 Data Load Date: 08/26/2019
 OC3 Office Id: SWD
 Physical Address Line 2: Not reported
 OIC Object Of Interest Id: FACIL
 PC2 Proximity Id: CENTR
 Calc Coordinates Accuracy Level Id: 4
 CMC2 Coordinate Method Id: Digital Aerial Photography With Ground Control
 DC4 Datum Id: High Accuracy Reference Network
 VSC1 Verification Status: REVIEWED
 Collect Username: DAVIS_B
 Collect Date: 07/14/2005
 Collect Affiliation: DEPARTMENT OF ENVIRONMENTAL PR
 Map Source: 1999 doqs
 Map Source Scale: 4053
 Interpolation Scale: Not reported
 Verifier Username: DAVIS_B
 Verifier Affiliation: DEPARTMENT OF ENVIRONMENTAL PR
 Verification Date: 07/14/2005

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

DANNY'S GENERATORS (Continued)

U001353917

Verified Coordinate Method Id: Digital Aerial Photography With Ground Control
 Source Database Name Code: STCM
 CMC2 Coordinate Method ID Code: DPHO
 DC4 Datum ID Code: HARN
 Verified Coordinate Method ID Code: DPHO
 Comments: Not reported
 Latitude/Longitude (deg/min/sec): 27 58 0.03 / 82 26 49.34

DWM CONTAM

Program Site Id: 8508982
 Lat DD: 27
 Lat MM: 58
 Lat SS: 0.03
 Long DD: 82
 Long MM: 26
 Long SS: 49.34
 Office/ District: SWD
 Program Area: Storage Tanks
 Offsite Contamination: Not reported
 Project Manager: Not reported
 Priority Score: 35
 Datum: 0
 Method: UNVR
 Facility Status: CLOSED
 Feature: Not reported
 Section: 18
 Township: 29S
 Range: 19E
 Staff Assigned: Not reported
 Priority (Y/N): Not reported

A3 Target Property: **LATIN AMERICAN SERVICE STATION**
1023 E COLUMBUS DR
TAMPA, FL

EDR Hist Auto: 1009103278
 N/A

Site 3 of 5 in cluster A

Actual: 40 ft.
 EDR Hist Auto

Year:	Name:	Type:
1939	LATIN AMERICAN SERVICE STATION	GASOLINE AND OIL SERVICE STATIONS
1944	LATIN AMERICAN SERVICE STATION	GASOLINE AND OIL SERVICE STATION
1949	AMRNELLA MANUEL	GASOLINE AND OIL SERVICE STATIONS
1955	LATIN AMERICAN SERVICE STATION	GASOLINE SERVICE STATIONS
1959	LATIN AMERICAN SERVICE STATION	GASOLINE STATIONS
1962	LATIN AMERICAN SERVICE STATION	GASOLINE STATIONS
1969	LATIN AMERICAN SERVICE STATION	GASOLINE STATIONS
1969	LATIN AMERICAN SERVICE	Gasoline Service Stations
1970	LATIN AMERICAN SERVICE	Gasoline Service Stations
1971	LATIN AMERICAN SERVICE	Gasoline Service Stations
1972	LATIN AMERICAN SERVICE	Gasoline Service Stations
1973	LATIN AMERICAN SERVICE	Gasoline Service Stations
1974	LATIN AMERICAN SERVICE STATION	GASOLINE STATIONS
1976	LATIN AMERICAN SERVICE	Gasoline Service Stations
1978	LATIN AMERICAN SERVICE STATION	GASOLINE STATION
1979	LATIN AMERICAN SERVICE	Gasoline Service Stations
1980	LATIN AMERICAN SERVICE	Gasoline Service Stations

ATTACHMENT V

Local/State Search Information

November 24, 2019
Mr. Jeff Siewert – Ayres Associates
1023 East Columbus Drive
Phase I Environmental Assessment
OHC Project No. 190238-ES

From: [Figari, Jeannette](#)
To: [Tom Martinelli](#)
Subject: RE: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive
Date: Friday, November 15, 2019 1:43:07 PM

Good afternoon Mr. Marinelli,

In follow up to the response I sent yesterday, I just wanted to confirm that the Air, Water and Wetlands Divisions did not locate any records for the three properties in question.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal Department
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Figari, Jeannette
Sent: Thursday, November 14, 2019 2:29 PM
To: Tom Martinelli <tmartinelli@ohcnet.com>
Subject: FW: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

Good afternoon Mr. Martinelli,

As we discussed, included below is the response from our Waste Division. Please contact Pat Pons at 813-627-2600 x 1204 and she will be able to let you know if the records are paper records or electronic records.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org



Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."

Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Pons, Pat <Pons@epchc.org>
Sent: Wednesday, November 13, 2019 1:10 PM
To: Figari, Jeannette <FigariJ@epchc.org>
Subject: RE: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

Hi Jeannette,

The Waste Division has the following records for these locations:

2317 North Nebraska:
Enforcement Case – 14-44840
Warning Notices - #31073, #31074, #15834, #2005-2554H, #12160 and #2011-0158H
Tanks – Facility ID – 298944840
Cleanup- 298944840

1023 East Columbus Drive
SQG -Yes
Tanks – Facility ID – 298508982
Cleanup – 298508982

1312 East Columbus Drive
Enforcement Case – 01-24765 and 99-18467
Warning Notices - #18467, #21316, #2016-0085H, #2016-0086H and #2015-278H
Tanks – Facility ID – 298624765
Cleanup – 298624765

Pat

Patricia Pons
Environmental Specialist III
Waste Management Division
(813) 627-2600 ext. 1204/www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is “to protect our natural resources, environment, and quality of life in Hillsborough County.”

Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Figari, Jeannette <FigariJ@epchc.org>

Sent: Tuesday, November 12, 2019 11:16 AM

To: Castillo, Laura <castillol@epchc.org>; Hager, Margaret <Hager@epchc.org>; Merchant, Sabatia <merchants@epchc.org>; Mishriki, Madlein <Mishriki@epchc.org>; Myrick, Joyce <myrickj@epchc.org>; Noblitt, Paula <NoblittP@epchc.org>; Pons, Pat <Pons@epchc.org>; Reese, Marsha <Reese@epchc.org>; Sanchez, Silvia <sanchezs@epchc.org>; Torres, Gladys <torresg@epchc.org>

Cc: Barthle, Beth <barthler@epchc.org>; Blount, Marvin <Blount@epchc.org>; Boostani, Hooshang <Boostani@epchc.org>; Elrabi, Sam <Elrabi@epchc.org>; Schipfer, Andy <Schipfer@epchc.org>; Sims, Jeff <SimsJ@epchc.org>; Woodard, Sterlin <Woodard@epchc.org>

Subject: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

The Legal Dept. received a request for records pertaining to the following properties:

2317 N. Nebraska Ave, Tampa – folio #198390-0000

1023 E. Columbus Drive, Tampa – folio #198262-0000

1312 E. Columbus Drive, Tampa – folio #186699-0000.

Please let me know by Monday, November 18, 2019 if your Division does or does not have any records.

Thank you,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is “to protect our natural resources, environment, and quality of life in Hillsborough County.”
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: [Figari, Jeannette](#)
To: [Tom Martinelli](#)
Subject: RE: Right to Know Request
Date: Tuesday, November 12, 2019 9:48:47 AM

Good morning Mr. Martinelli,

The Environmental Protection Commission of Hillsborough County received your records request and will initiate an Agency-wide records search in accordance with Chapter 119, F.S. We are glad to assist in locating any responsive records and will contact you regarding the outcome of the search as soon as possible.

If you have any questions, please feel free to contact me.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Tom Martinelli <tmartinelli@ohcnet.com>
Sent: Monday, November 11, 2019 9:00 AM
To: Figari, Jeannette <FigariJ@epchc.org>
Subject: Right to Know Request

Please search your records for any spills, discharges, hazardous materials releases, underground/aboveground storage tanks, environmental remediation activities, etc. for the sites listed below. Thanks.

O-Henry's Foods Inc.

Parcel #A-18-29-19-51D-000000-00001.0
2317 N NEBRASKA AVE, TAMPA 33602

Danny's Generators-
Ramos, Deborah Lisa
Parcel #A-18-29-19-51A-000000-1-00001.0
1023 E COLUMBUS DR, TAMPA 33605

Columbus Foods-
Pearl Managementco Inc.
Parcel #A-07-29-19-4UV-000000-00048.0
1312 E COLUMBUS DR, TAMPA 33605

From: [FireMarshal](#)
To: [Tom Martinelli](#)
Subject: RE: Right to Know Request
Date: Tuesday, November 12, 2019 9:07:18 AM
Attachments: [image003.png](#)
[image004.png](#)

Good morning Mr. Martinelli,

Those properties are in the City of Tampa jurisdiction, please contact the City of Tampa Fire Marshal's office at 813-274-7000 to request those records.

Thank you, have a blessed day.

Miguelina (Betty) Rodriguez
Administrative Assistant
Hillsborough County Fire Rescue

P: (813) 744-5541
F: (813) 744-5794
E: RodriguezMB@HCFLGov.Net
W: HCFLGov.net

Hillsborough County Fire Rescue
9450 E. Columbus Drive, Tampa, FL 33619

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#)

Please note: All correspondence to or from this office is subject to Florida's Public Records law.



Hillsborough
County Florida

From: Tom Martinelli [<mailto:tmartinelli@ohcnet.com>]
Sent: Monday, November 11, 2019 9:18 AM
To: FireMarshal <FireMarshal@HillsboroughCounty.ORG>
Subject: Right to Know Request

[External]

Please provide any emergency response incident records at the properties listed below. Thanks.

O-Henry's Foods Inc.
Parcel #A-18-29-19-51D-000000-00001.0
2317 N NEBRASKA AVE, TAMPA 33605

Dann's Generators-

Ramos, Deborah Lisa
Parcel #A-18-29-19-51A-000000-1-00001.0
1023 E COLUMBUS DR, TAMPA 33602

Columbus Foods-
Pearl Managementco Inc,
Parcel #A-07-29-19-4UV-000000-00048.0
1312 E COLUMBUS DR, TAMPA 33602

This email is from an **EXTERNAL** source and did not originate from a Hillsborough County email address.
Use caution when clicking on links and attachments from outside sources.

Dannys Generators

1023 East Columbus Drive
Tampa, FL 33605

Inquiry Number: 5864603.5
November 11, 2019

The EDR-City Directory Abstract



6 Armstrong Road
Shelton, CT 06484
800.352.0050
www.edrnet.com

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OR DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2017 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc. or its affiliates is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1920 through 2014. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 660 feet of the target property.

A summary of the information obtained is provided in the text of this report.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.



RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2014	EDR Digital Archive	-	X	X	-
2010	EDR Digital Archive	-	X	X	-
	EDR Digital Archive	X	X	X	-
2005	EDR Digital Archive	-	X	X	-
	EDR Digital Archive	X	X	X	-
2004	Cole Publishing	-	X	X	-
1999	Hill-Donnelly Corporation	-	X	X	X
1993	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1988	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1986	R. L. Polk & Co.	-	-	-	-

EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>IP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1983	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1980	R.L. POLK & CO.	-	-	-	-
1978	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1975	R.L. POLK & CO.	-	-	-	-
1974	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1971	R.L. POLK & CO	-	-	-	-
1969	R. L. Polk & Co.	-	X	X	X
	R. L. Polk & Co.	X	X	X	X
1966	R.L. POLK & CO.	-	-	-	-
1964	R.L. POLK & CO. PUBLISHERS	-	-	-	-
1963	R. L. POLK & CO.	-	-	-	-
1962	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1959	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1955	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1949	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1944	R. L. Polk Co. Publishers	-	X	X	X
	R. L. Polk Co. Publishers	X	X	X	X
1939	R. L. Polk Co.	-	X	X	X
1934	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1930	R. L. Polk Co.	-	X	X	X
1925	R. L. Polk Co.	-	X	X	X
1920	R. L. Polk Co.	-	X	X	X

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.

Data by
infoUSA[®]
Copyright © 2008
All Rights Reserved

FINDINGS

TARGET PROPERTY INFORMATION

ADDRESS

1023 East Columbus Drive
 Tampa, FL 33605

FINDINGS DETAIL

Target Property research detail.

COLUMBUS DR

1023 COLUMBUS DR

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1993	Vacant	R. L. Polk Co.	Image pg. A14

COLUMBUS DR E

1023 COLUMBUS DR E

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1978	atin kerican Service Station	R. L. Polk Co.	Image pg. A47
1974	Latin American Service Station	R. L. Polk Co.	Image pg. A61
1969	LATIN AMERICAN SERVICE STATION	R. L. Polk & Co.	Image pg. A71
1944	Latin American Service Sta filling sta	R. L. Polk Co, Publishers	Image pg. A128
1934	Latin Am Service Sta	R. L. Polk Co.	Image pg. A179

E Columbus Dr

1023 E Columbus Dr

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	LATIN AMERICAN SERVICE	EDR Digital Archive
2005	LATIN AMERICAN SERVICE	EDR Digital Archive
	LEROME HOWARD PRESSURE CLEANIN	EDR Digital Archive

E COLUMBUS DR

1023 E COLUMBUS DR

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1988	Cabrera Lourdes	R. L. Polk Co.	Image pg. A24
	Latin American Service Station	R. L. Polk Co.	Image pg. A24
1983	Latin American Service Station	R. L. Polk Co.	Image pg. A34
1962	Latin American Serv St	R L Polk Co	Image pg. A83



FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1959	Latin American Serv St	R L Polk Co	Image pg. A93
1955	Latin American Serv	R L Polk Co	Image pg. A104
1949	Arniella Manuel fill sta	R L Polk Co	Image pg. A114

ATTACHMENT VI

Sanborn Map Report

Dannys Generators
1023 East Columbus Drive
Tampa, FL 33605


Inquiry Number: 5864603.3
November 11, 2019

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



Certified Sanborn® Map Report		11/11/19
Site Name:	Client Name:	
Dannys Generators	OHC Environmental Engineering	
1023 East Columbus Drive	5420 Bay Center Drive Suite 100	
Tampa, FL 33605	Tampa, FL 33609-0000	
EDR Inquiry # 5864603.3	Contact: Thomas Martinelli	

The Sanborn Library has been searched by EDR and maps covering the target property location as provided by OHC Environmental Engineering were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # E0B9-4D57-A807
PO # NA
Project 1023 East Columbus Drive

Maps Provided:

- 1979
- 1976
- 1950
- 1931
- 1915



Sanborn® Library search results
 Certification #: E0B9-4D57-A807

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- ✓ Library of Congress
- ✓ University Publications of America
- ✓ EDR Private Collection

The Sanborn Library LLC Since 1866™

Limited Permission To Make Copies

OHC Environmental Engineering (the client) is permitted to make up to FIVE photocopies of this Sanborn Map transmittal and each fire insurance map accompanying this report solely for the limited use of its customer. No one other than the client is authorized to make copies. Upon request made directly to an EDR Account Executive, the client may be permitted to make a limited number of additional photocopies. This permission is conditioned upon compliance by the client, its customer and their agents with EDR's copyright policy, a copy of which is available upon request.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



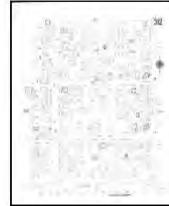
1979 Source Sheets



Volume 1, Sheet 67



Volume 1, Sheet 68



Volume 3 & 6, Sheet 312



Volume 3 & 6, Sheet 314

1976 Source Sheets

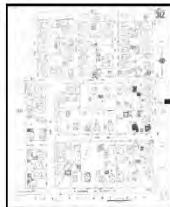


Volume 1, Sheet 67



Volume 1, Sheet 68

1950 Source Sheets



Volume 3, Sheet 312



Volume 3, Sheet 314



Volume 1, Sheet 67



Volume 1, Sheet 68

1931 Source Sheets



Volume 3, Sheet 312



Volume 3, Sheet 314



Volume 1, Sheet 67



Volume 1, Sheet 68

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1915 Source Sheets



Volume 1, Sheet 61



Volume 1, Sheet 62

ATTACHMENT VII

Historic Topographic Maps

Dannys Generators
1023 East Columbus Drive
Tampa, FL 33605


Inquiry Number: 5864603.4
November 11, 2019

EDR Historical Topo Map Report with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



EDR Historical Topo Map Report		11/11/19
Site Name: Dannys Generators 1023 East Columbus Drive Tampa, FL 33605 EDR Inquiry # 5864603.4	Client Name: OHC Environmental Engineering 5420 Bay Center Drive Suite 100 Tampa, FL 33609-0000 Contact: Thomas Martinelli	

EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by OHC Environmental Engineering were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:		Coordinates:	
P.O.#	NA	Latitude:	27.966664 27° 58' 0" North
Project:	1023 East Columbus Drive	Longitude:	-82.447125 -82° 26' 50" West
		UTM Zone:	Zone 17 North
		UTM X Meters:	357662.72
		UTM Y Meters:	3094352.65
		Elevation:	40.00' above sea level

Maps Provided:

- 2012
- 1995
- 1981
- 1979
- 1969
- 1956
- 1947
- 1944

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission. EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2012 Source Sheets



Tampa

7.5-minute, 24000

1995 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1995

1981 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1979

1979 Source Sheets



TAMPA

15-minute, 50000

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1969 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1969

1956 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1954

1947 Source Sheets



Tampa

7.5-minute, 25000
Aerial Photo Revised 1942

1944 Source Sheets



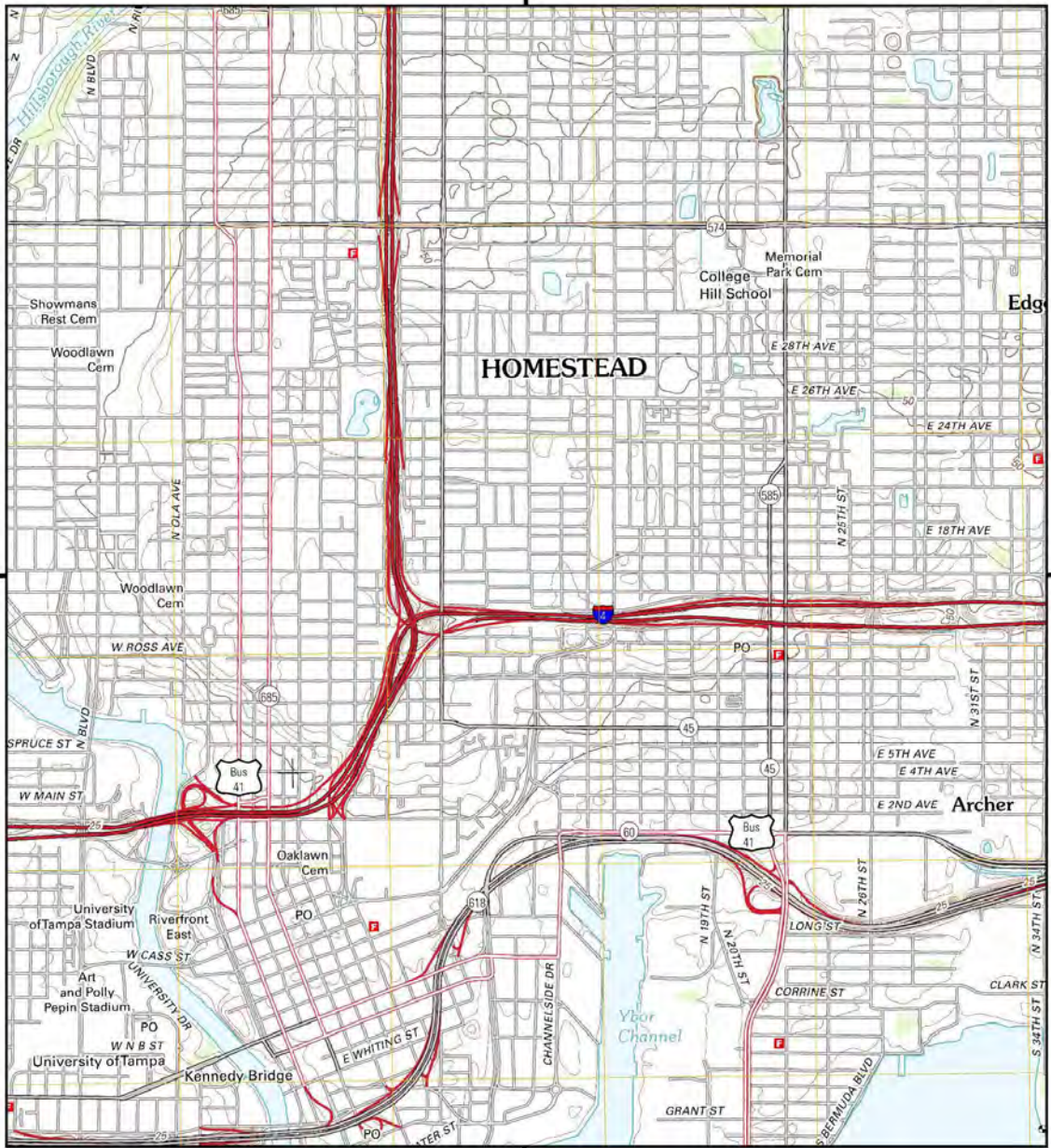
Tampa

7.5-minute, 31680
Aerial Photo Revised 1942

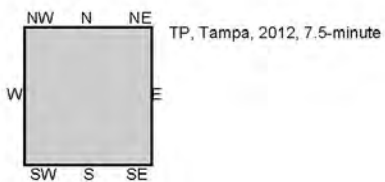
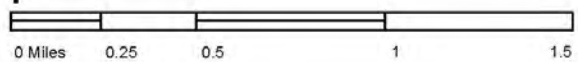


Historical Topo Map

2012



This report includes information from the following map sheet(s).



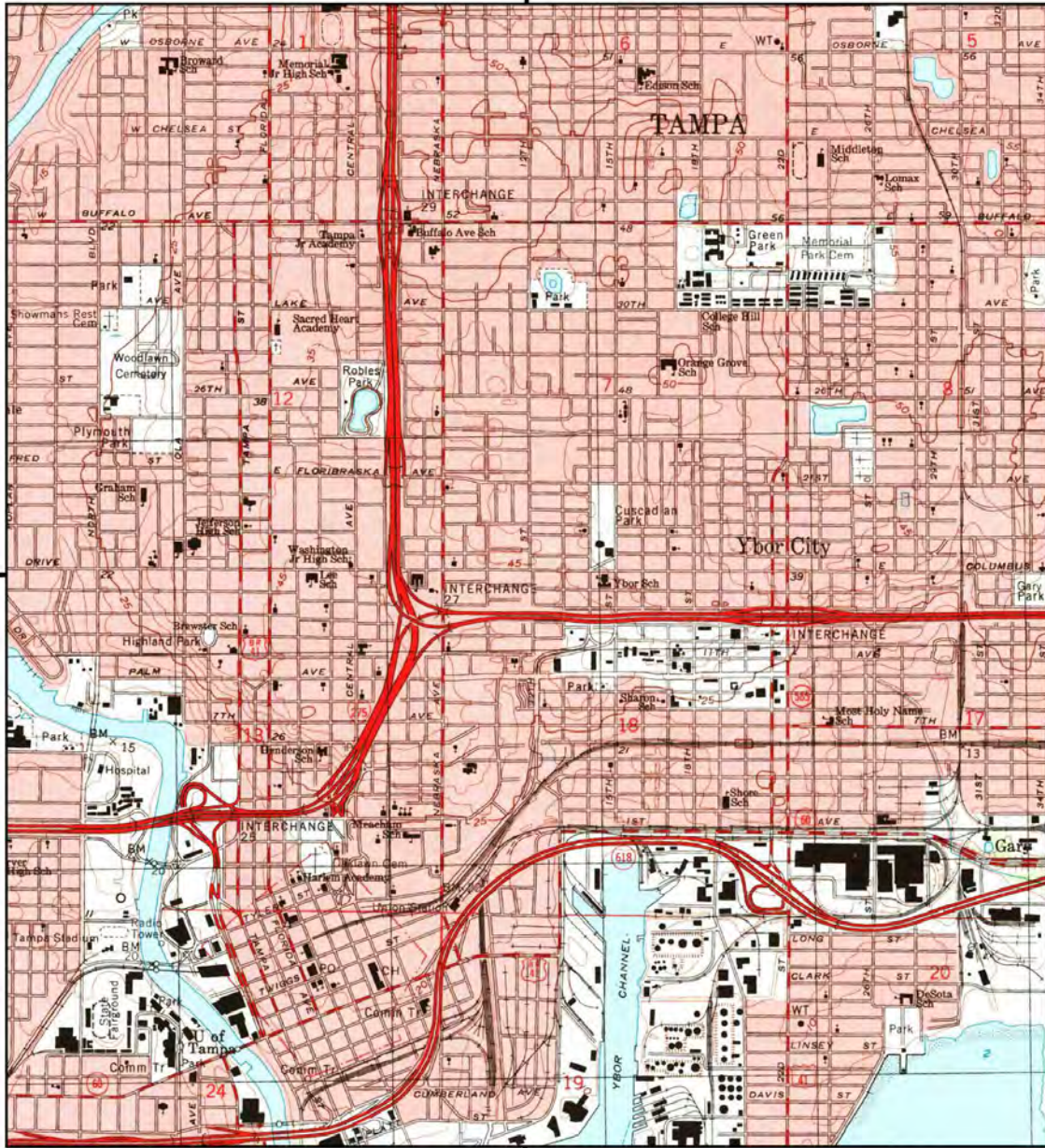
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



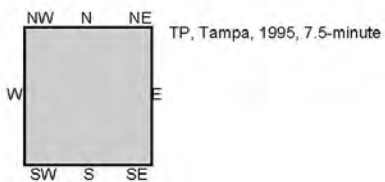


Historical Topo Map

1995



This report includes information from the following map sheet(s).



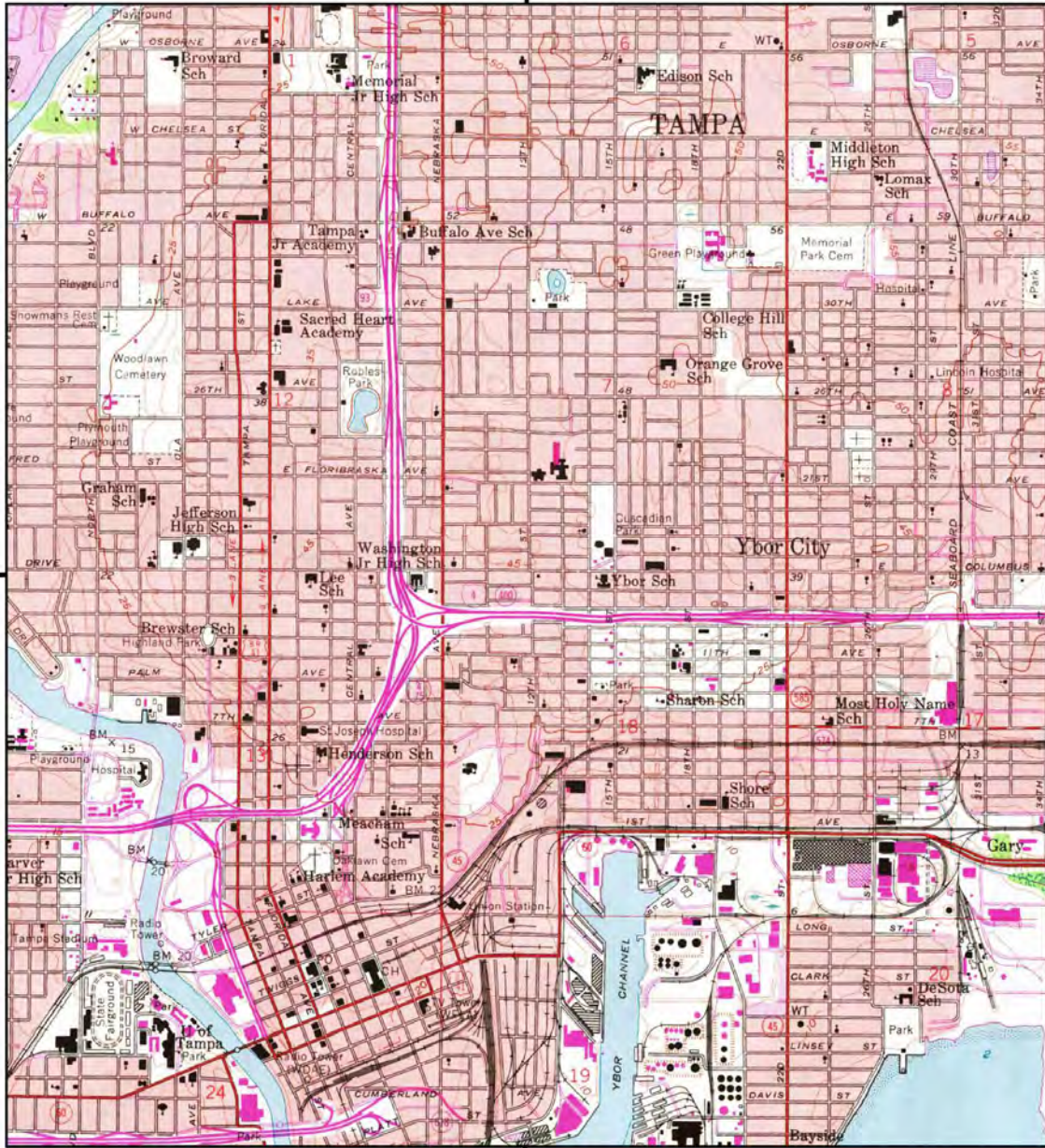
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



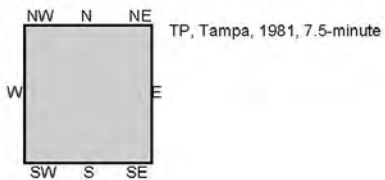


Historical Topo Map

1981



This report includes information from the following map sheet(s).



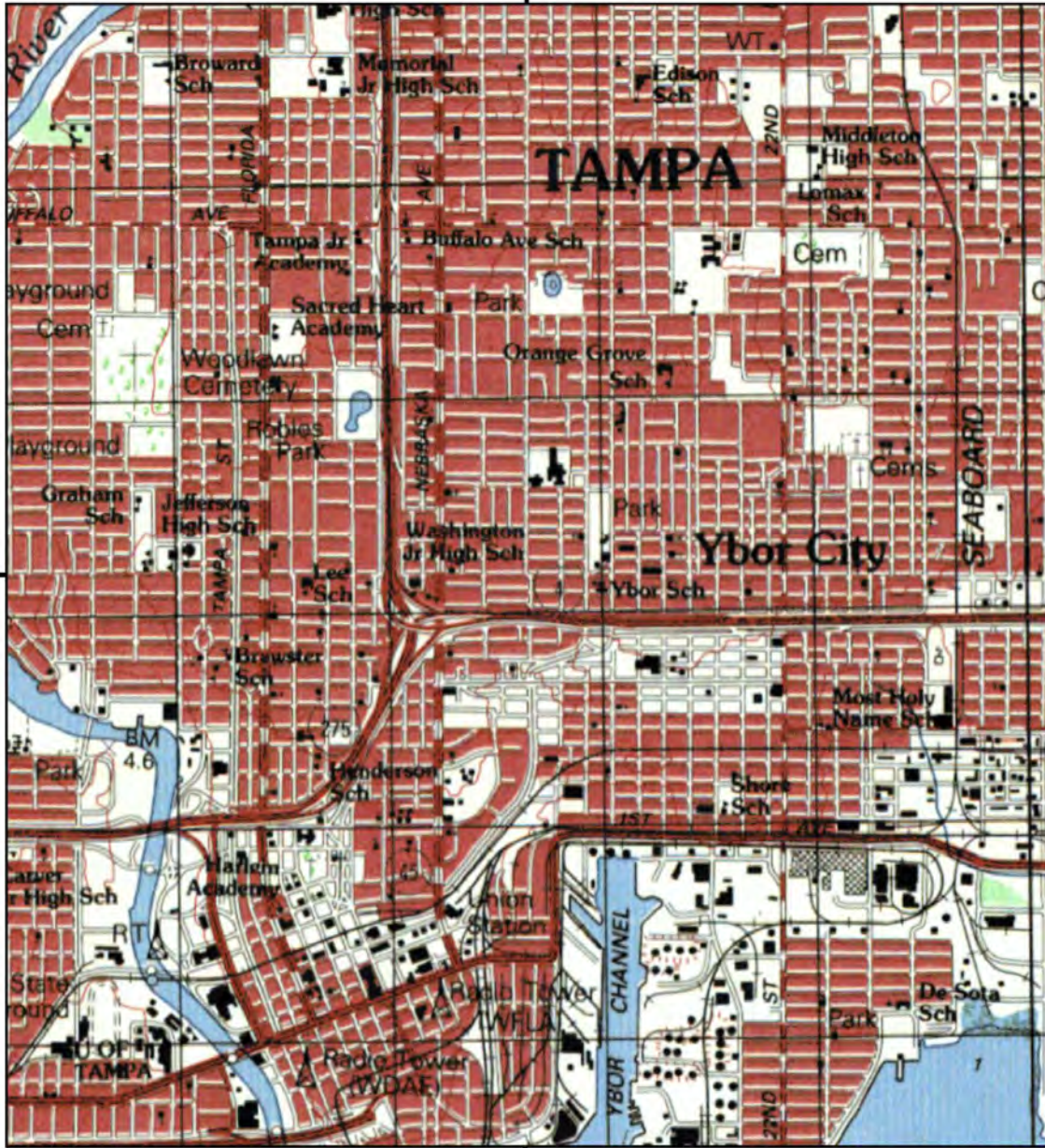
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



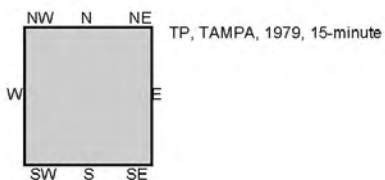
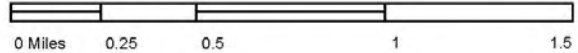


Historical Topo Map

1979



This report includes information from the following map sheet(s).



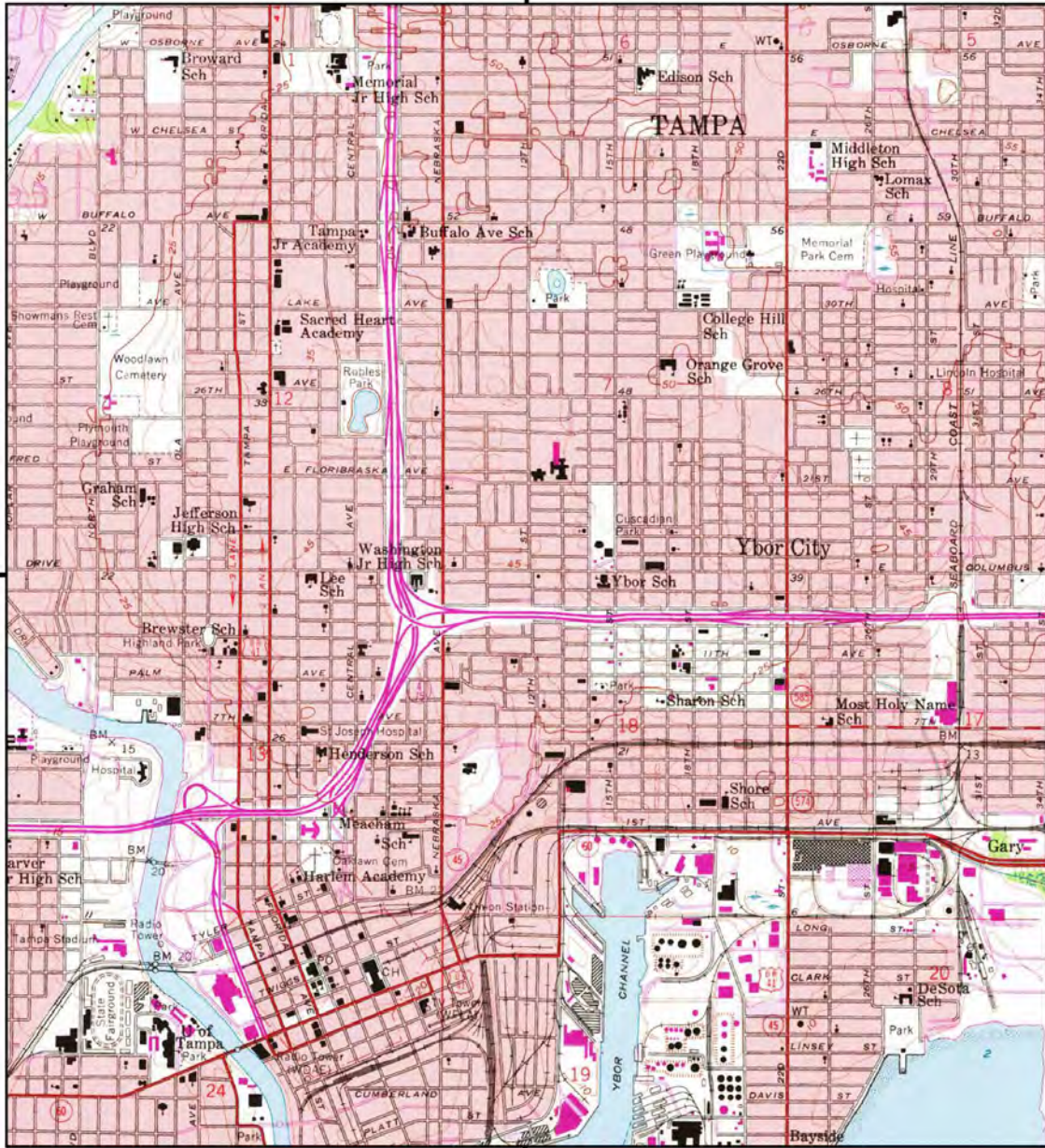
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



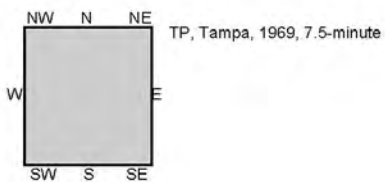
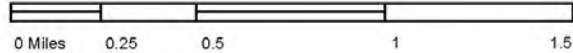


Historical Topo Map

1969



This report includes information from the following map sheet(s).



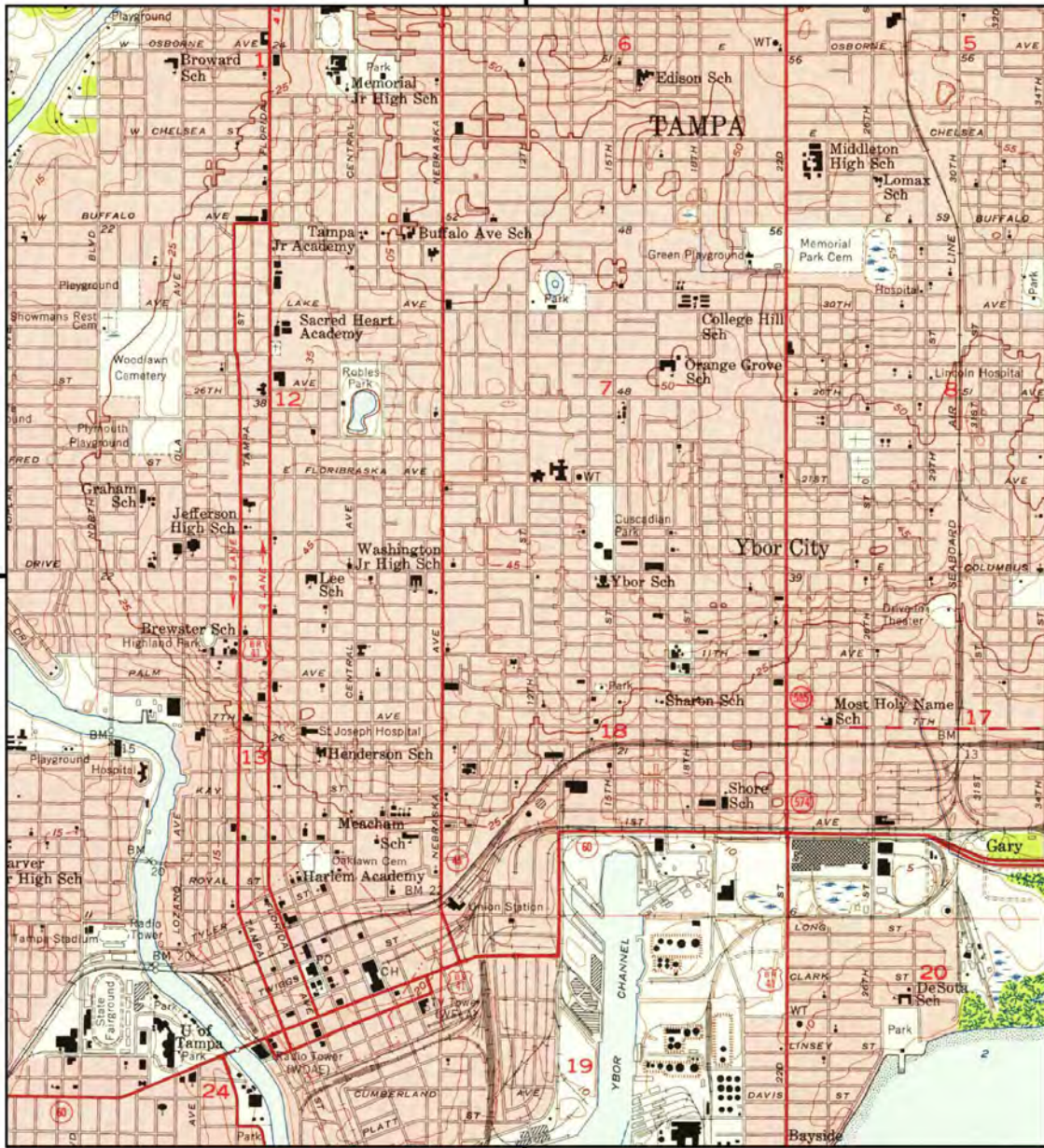
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



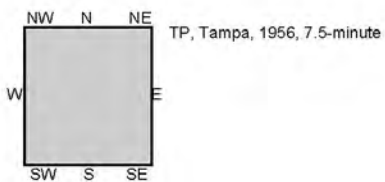


Historical Topo Map

1956



This report includes information from the following map sheet(s).



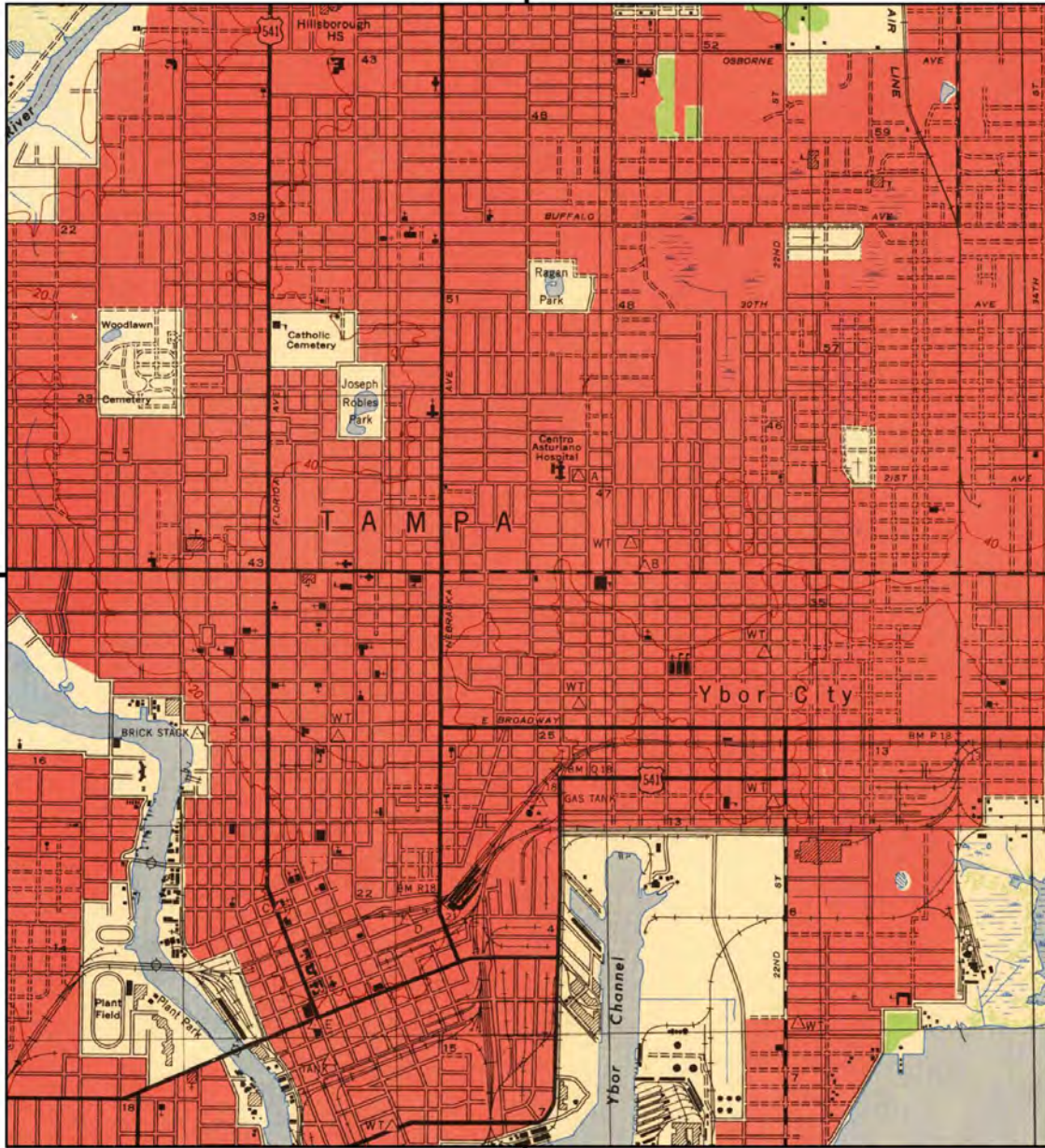
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



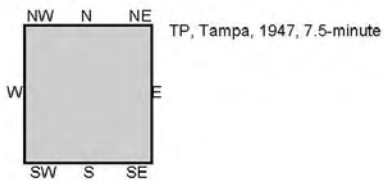


Historical Topo Map

1947



This report includes information from the following map sheet(s).



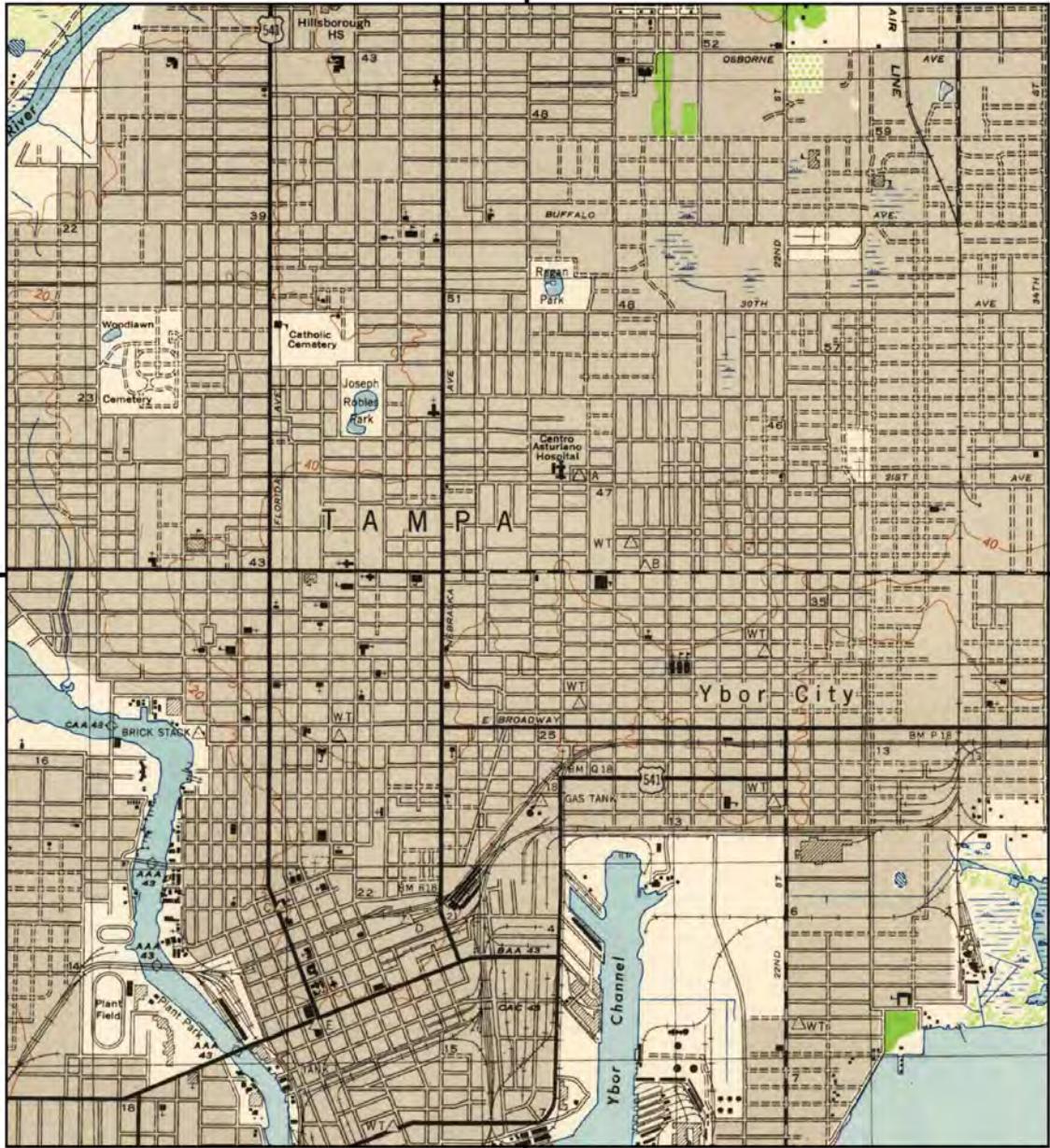
SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



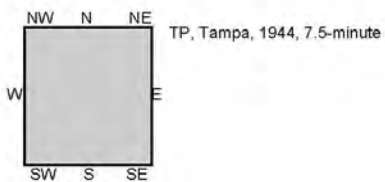


Historical Topo Map

1944



This report includes information from the following map sheet(s).



SITE NAME: Dannys Generators
 ADDRESS: 1023 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



ATTACHMENT VIII

Aerial Photographs

Dannys Generators

1023 East Columbus Drive
Tampa, FL 33605

Inquiry Number: 5864603.8

November 11, 2019

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



EDR Aerial Photo Decade Package		11/11/19
Site Name:	Client Name:	
Dannys Generators	OHC Environmental Engineering	
1023 East Columbus Drive	5420 Bay Center Drive Suite 100	
Tampa, FL 33605	Tampa, FL 33609-0000	
EDR Inquiry # 5864603.8	Contact: Thomas Martinelli	

Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

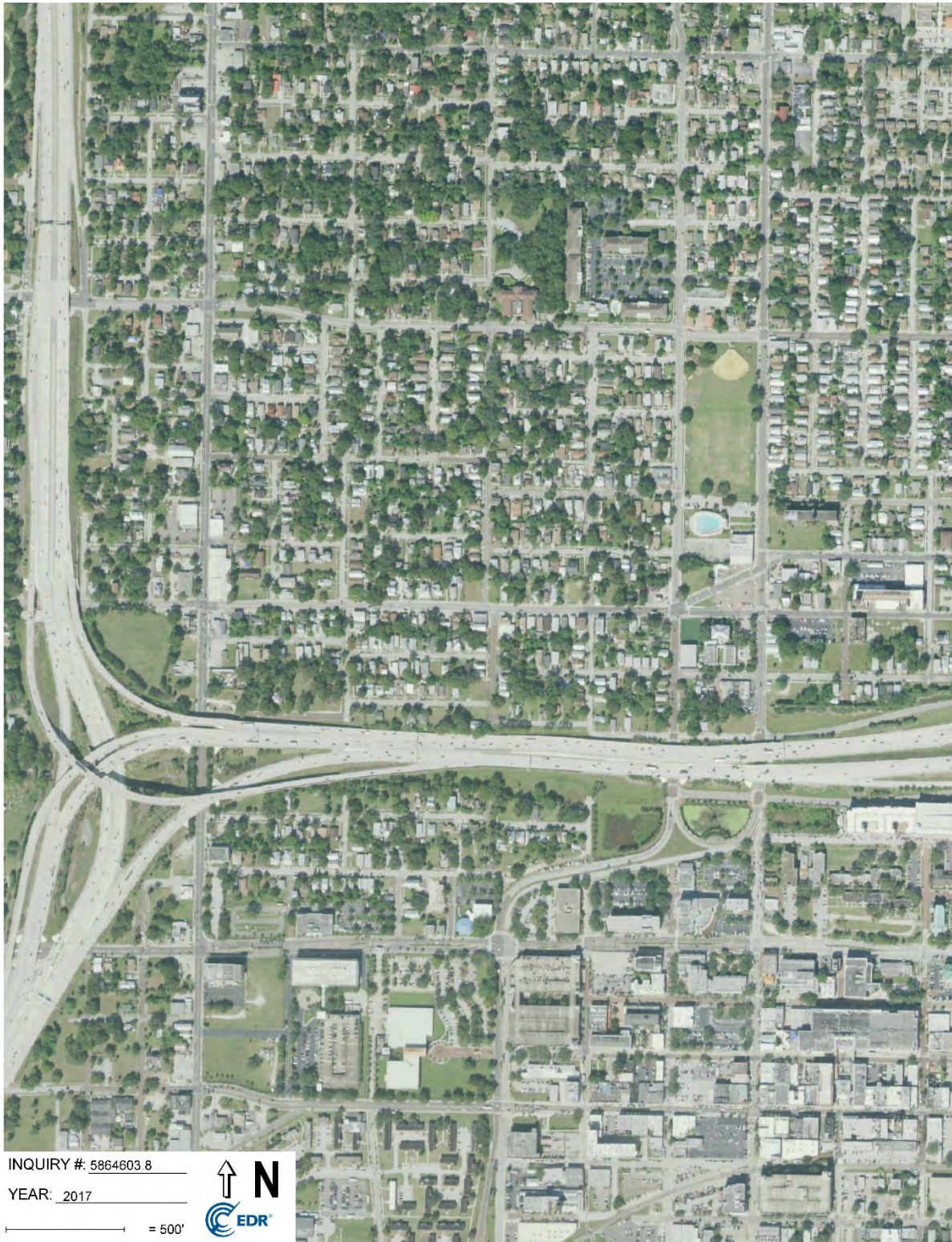
Year	Scale	Details	Source
2017	1"=500'	Flight Year: 2017	USDA/NAIP
2010	1"=500'	Flight Year: 2010	USDA/NAIP
2007	1"=500'	Flight Year: 2007	USDA/NAIP
1998	1"=500'	Acquisition Date: December 31, 1998	USGS/DOQQ
1995	1"=500'	Flight Date: March 20, 1995	FDOT
1991	1"=500'	Flight Date: April 01, 1991	FDOT
1987	1"=500'	Flight Date: October 22, 1987	USGS
1980	1"=500'	Flight Date: October 13, 1980	FDOT
1976	1"=500'	Flight Date: January 09, 1976	FDOT
1973	1"=500'	Flight Date: February 17, 1973	FDOT
1965	1"=500'	Flight Date: October 27, 1965	FDOT
1957	1"=500'	Flight Date: March 23, 1957	U of FL
1950	1"=500'	Flight Date: April 07, 1950	USGS
1938	1"=500'	Flight Date: November 28, 1938	U of FL

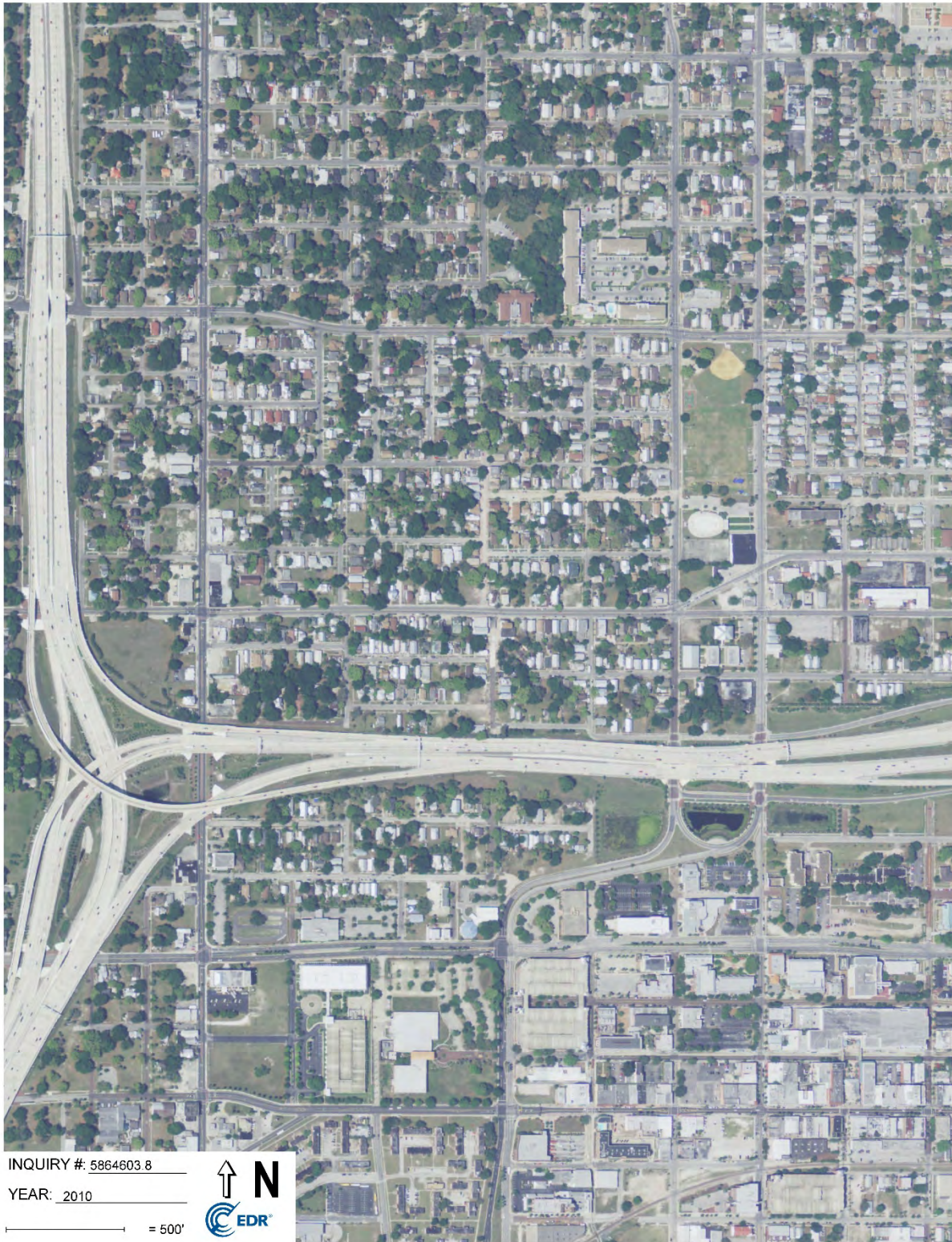
When delivered electronically by EDR, the aerial photo images included with this report are for ONE TIME USE ONLY. Further reproduction of these aerial photo images is prohibited without permission from EDR. For more information contact your EDR Account Executive.

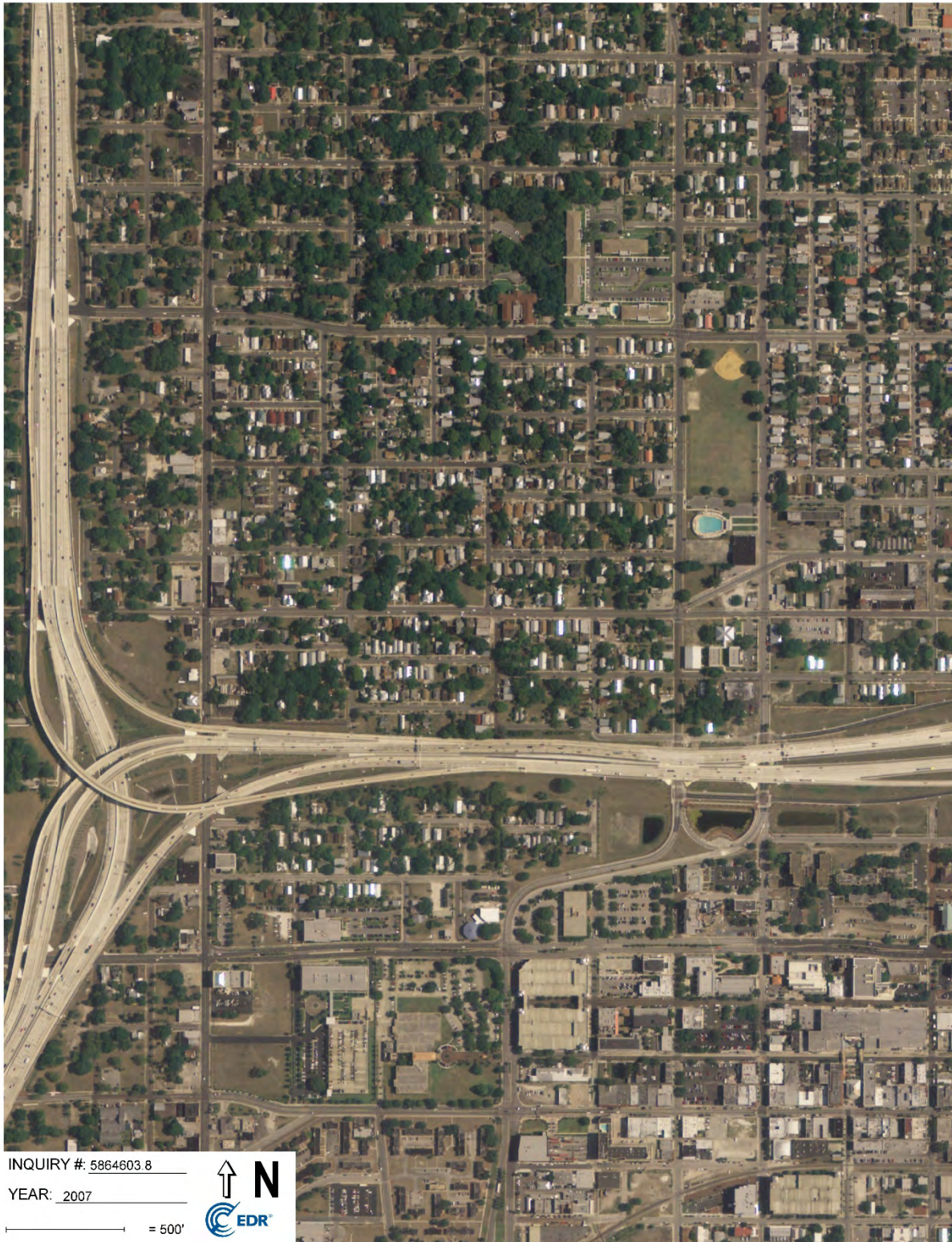
Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.
 EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.



























INQUIRY #: 5864603.8

YEAR: 1950

_____ = 500'





INQUIRY #: 5864603.8

YEAR: 1938

_____ = 500'



ATTACHMENT IX

Consultant Credentials



organized to improve the practice of industrial hygiene
proclaims that

Jim F. Rizk

having met all requirements of
education, experience and examination, and
ongoing maintenance,
is hereby certified in the

**COMPREHENSIVE PRACTICE
of
INDUSTRIAL HYGIENE**

and has the right to use the designations

CERTIFIED INDUSTRIAL HYGIENIST

CIH

Certificate Number **3956 CP**
Awarded: **June 30, 1988**
Expiration Date: **December 1, 2020**



Nicole Green
Chair, ABIH

Chief Executive Officer, ABIH



Technical &
Professional
Training



TOM MARTINELLI

Is Awarded 2.1 CEU'S

*for successful completion of
the course on*

**Phase I and Phase II Environmental Site
Assessments for Commercial Real Estate**

October 16-18, 2007

Harrisburg, PA


President


Director, Education Services

Phase I Environmental Assessment Report

Performed at:

**Columbus Foods
1312 East Columbus Drive
Tampa, FL 33605**

Report Prepared For:

**Mr. Jeff Siewert, Senior Project Manager
Ayres Associates
8875 Hidden River Parkway
Tampa, Florida 33637-1035**

Report Prepared By:



**OHC Environmental Engineering, Inc.
101 South Hoover Blvd, Suite 101
Tampa, Florida 33609**

OHC Project #190239-ES

November 24, 2019

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



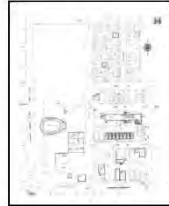
1979 Source Sheets



Volume 1, Sheet 68



Volume 1, Sheet 69



Volume 3 & 6, Sheet 316



Volume 3 & 6, Sheet 314

1976 Source Sheets



Volume 1, Sheet 68



Volume 1, Sheet 69

1950 Source Sheets



Volume 1, Sheet 68



Volume 1, Sheet 69



Volume 3, Sheet 314



Volume 3, Sheet 316

1931 Source Sheets



Volume 1, Sheet 68



Volume 1, Sheet 69



Volume 3, Sheet 314



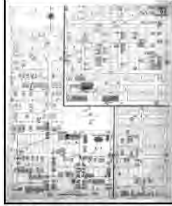
Volume 3, Sheet 316

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1915 Source Sheets



Volume 1, Sheet 62

ATTACHMENT VII

Historic Topographic Maps

Columbus Foods
1312 East Columbus Drive
Tampa, FL 33605


Inquiry Number: 5864605.4
November 11, 2019

EDR Historical Topo Map Report with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



EDR Historical Topo Map Report		11/11/19
Site Name: Columbus Foods 1312 East Columbus Drive Tampa, FL 33605 EDR Inquiry # 5864605.4	Client Name: OHC Environmental Engineering 5420 Bay Center Drive Suite 100 Tampa, FL 33609-0000 Contact: Thomas Martinelli	

EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by OHC Environmental Engineering were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:		Coordinates:	
P.O.#	NA	Latitude:	27.967071 27° 58' 1" North
Project:	1312 East Columbus Drive	Longitude:	-82.44449 -82° 26' 40" West
		UTM Zone:	Zone 17 North
		UTM X Meters:	357922.46
		UTM Y Meters:	3094394.68
		Elevation:	38.00' above sea level

Maps Provided:

- 2012
- 1995
- 1981
- 1979
- 1969
- 1956
- 1947
- 1944

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission. EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2012 Source Sheets



Tampa

7.5-minute, 24000

1995 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1995

1981 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1979

1979 Source Sheets



TAMPA

15-minute, 50000

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1969 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1969

1956 Source Sheets



Tampa

7.5-minute, 24000
Aerial Photo Revised 1954

1947 Source Sheets



Tampa

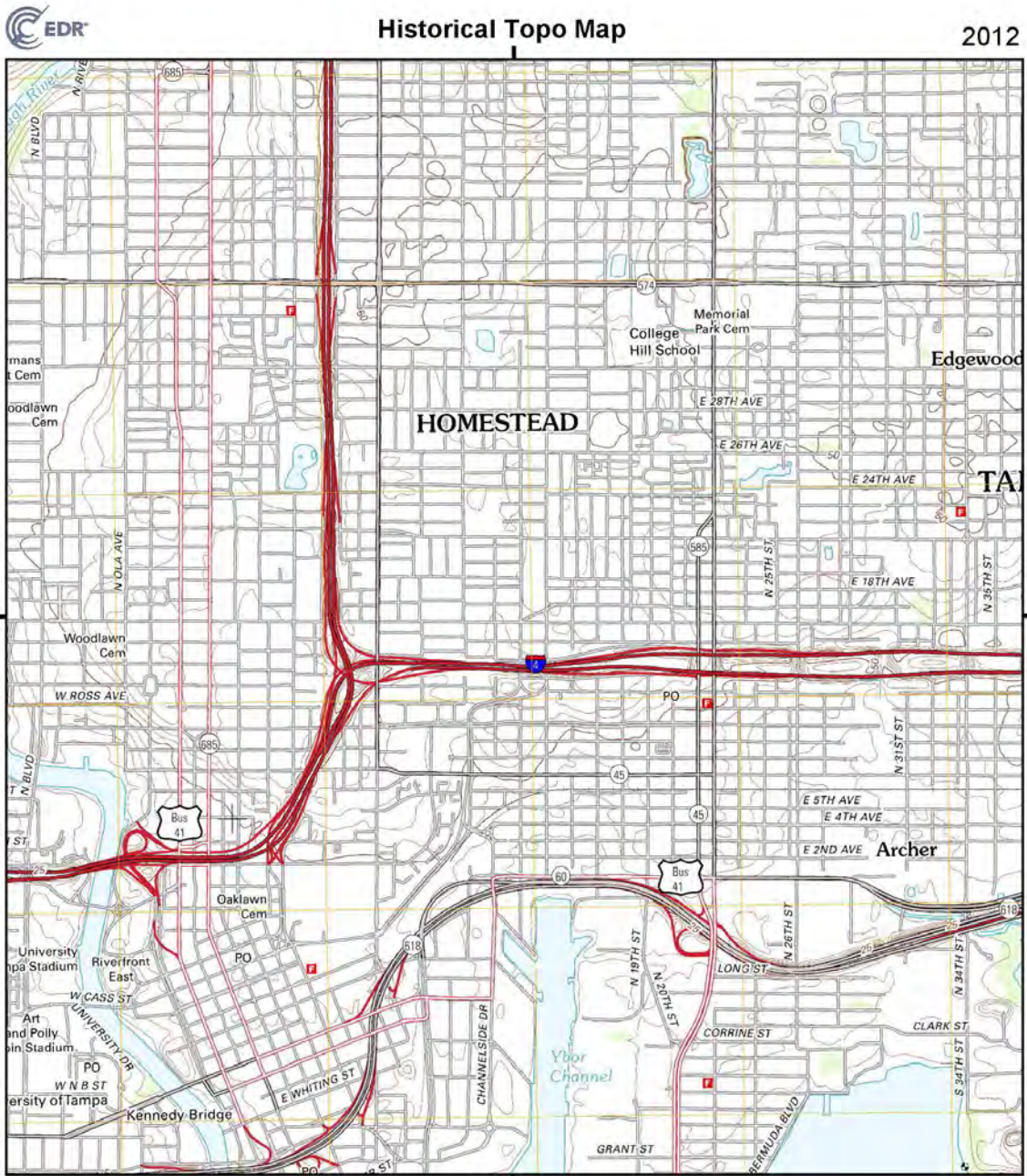
7.5-minute, 25000
Aerial Photo Revised 1942

1944 Source Sheets

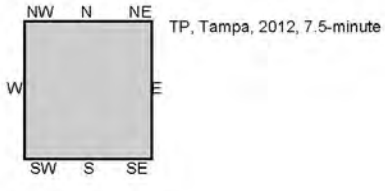


Tampa

7.5-minute, 31680
Aerial Photo Revised 1942



This report includes information from the following map sheet(s).



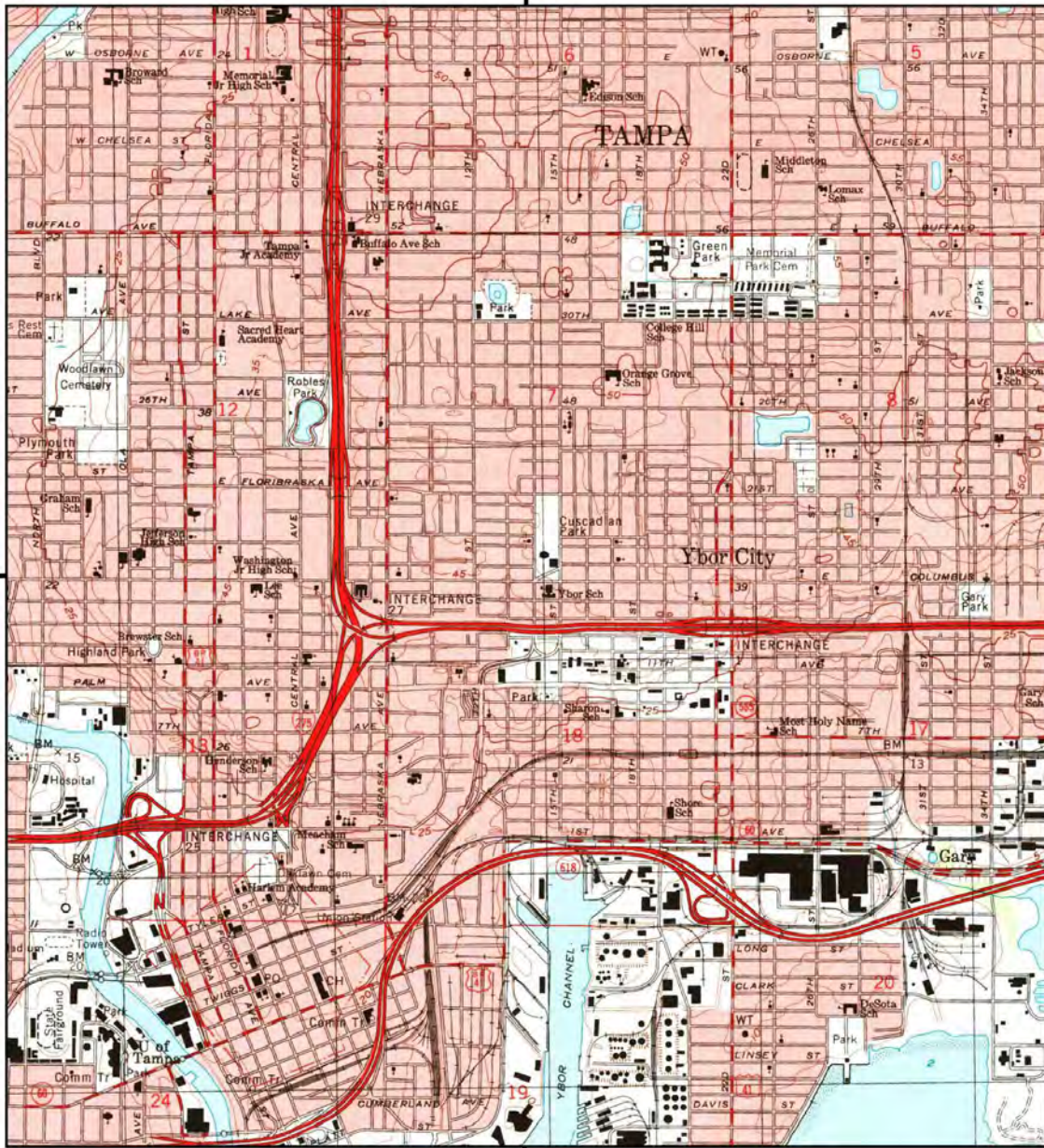
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



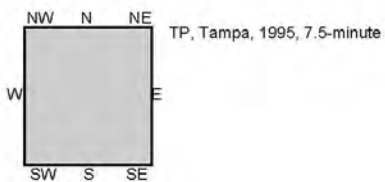


Historical Topo Map

1995



This report includes information from the following map sheet(s).



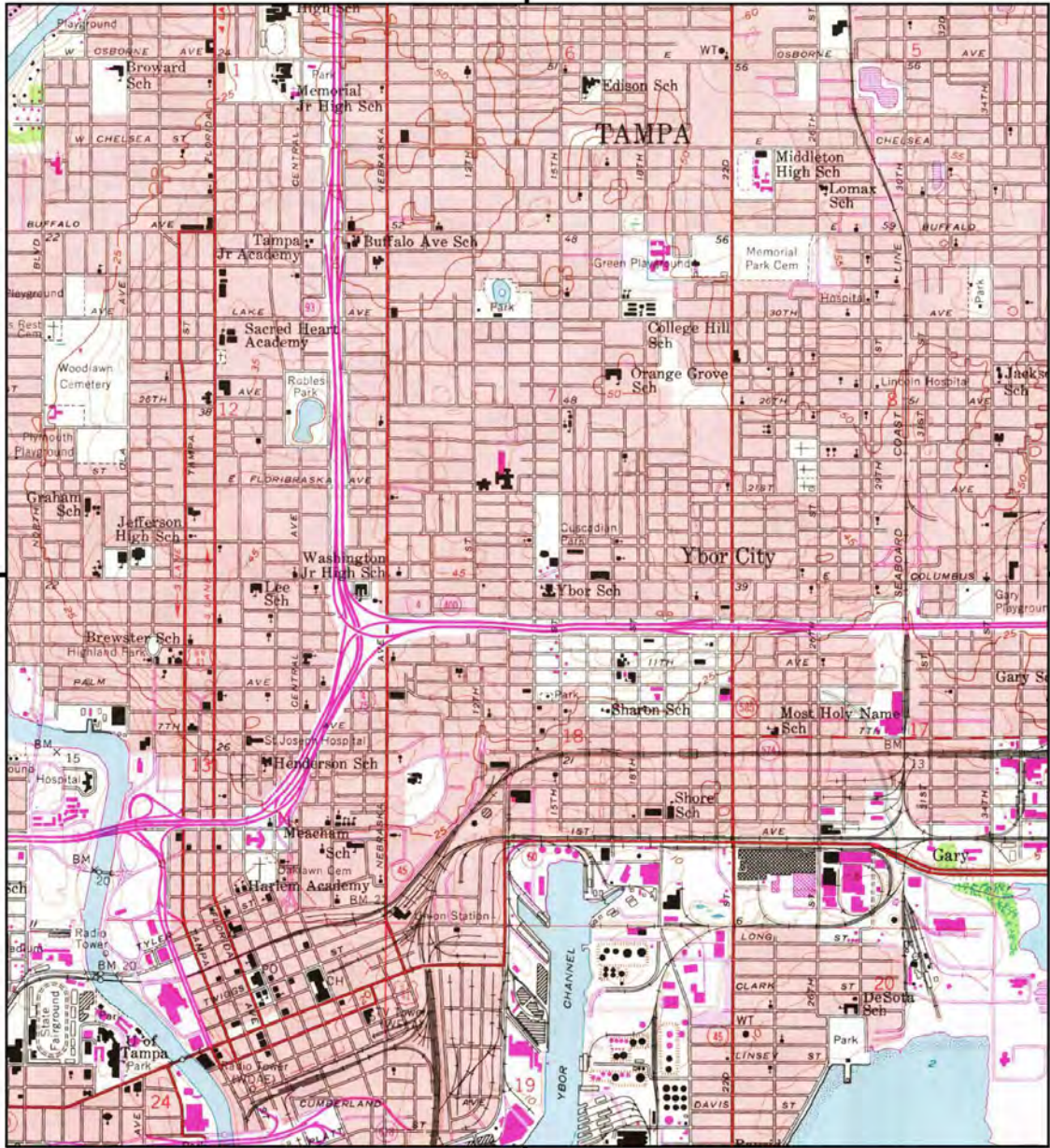
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



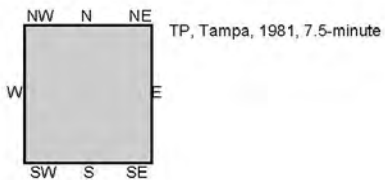
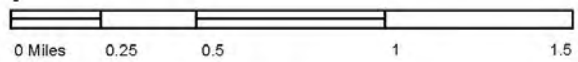


Historical Topo Map

1981



This report includes information from the following map sheet(s).



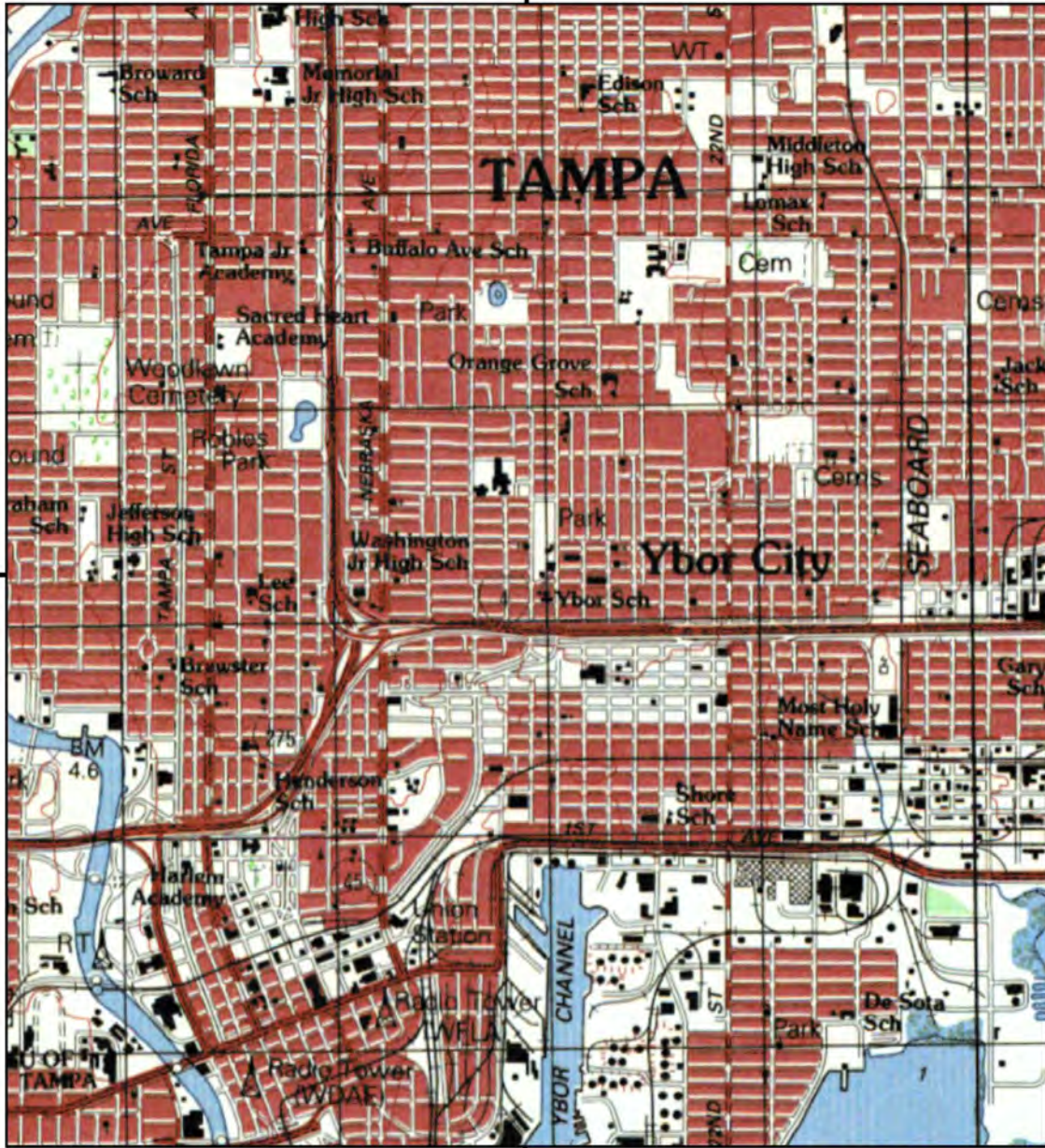
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



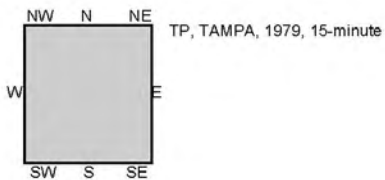
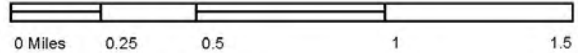


Historical Topo Map

1979



This report includes information from the following map sheet(s).



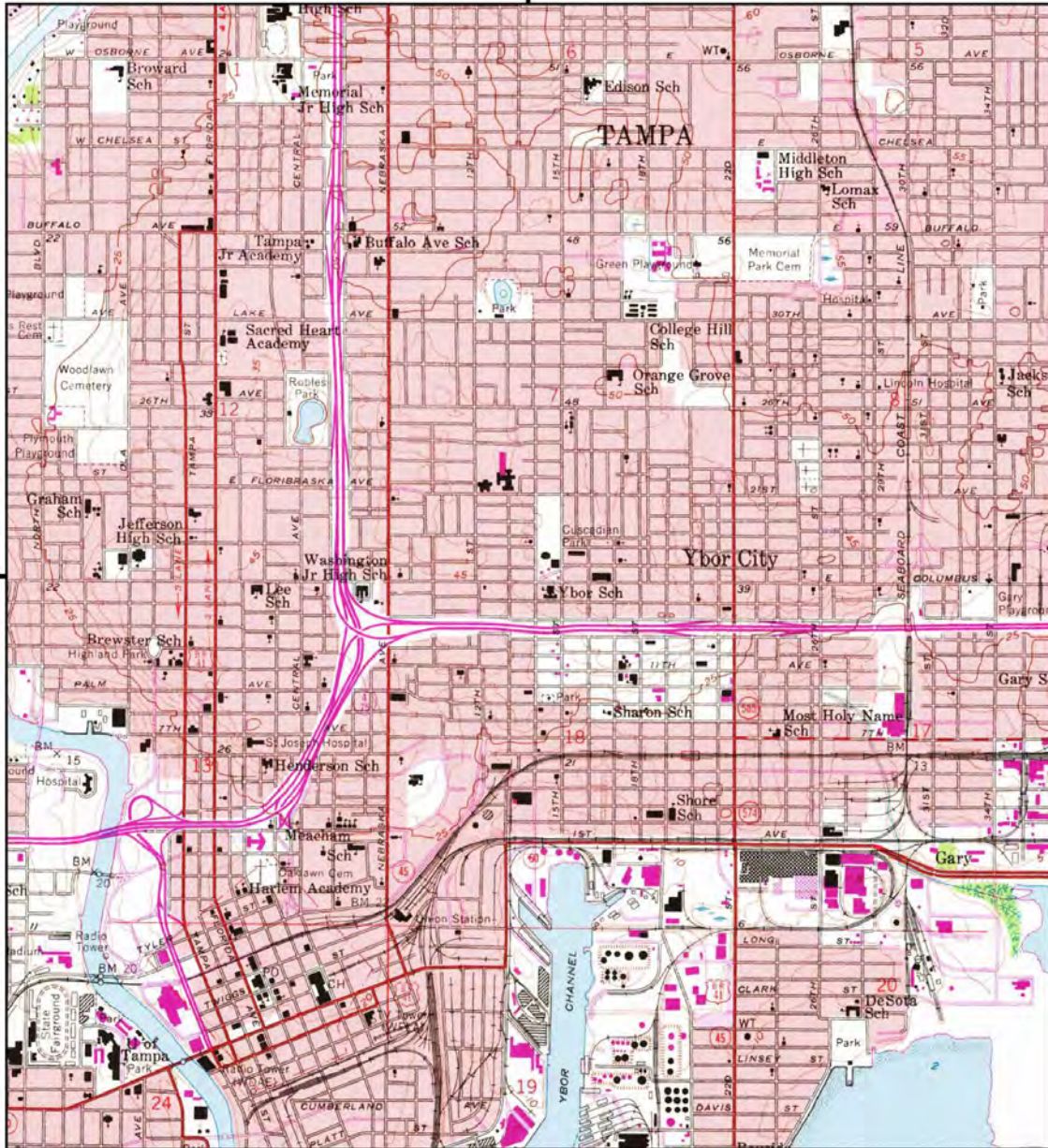
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



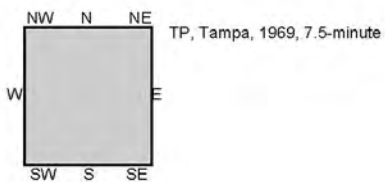
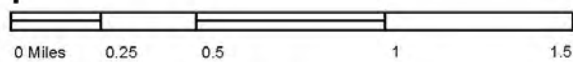


Historical Topo Map

1969



This report includes information from the following map sheet(s).



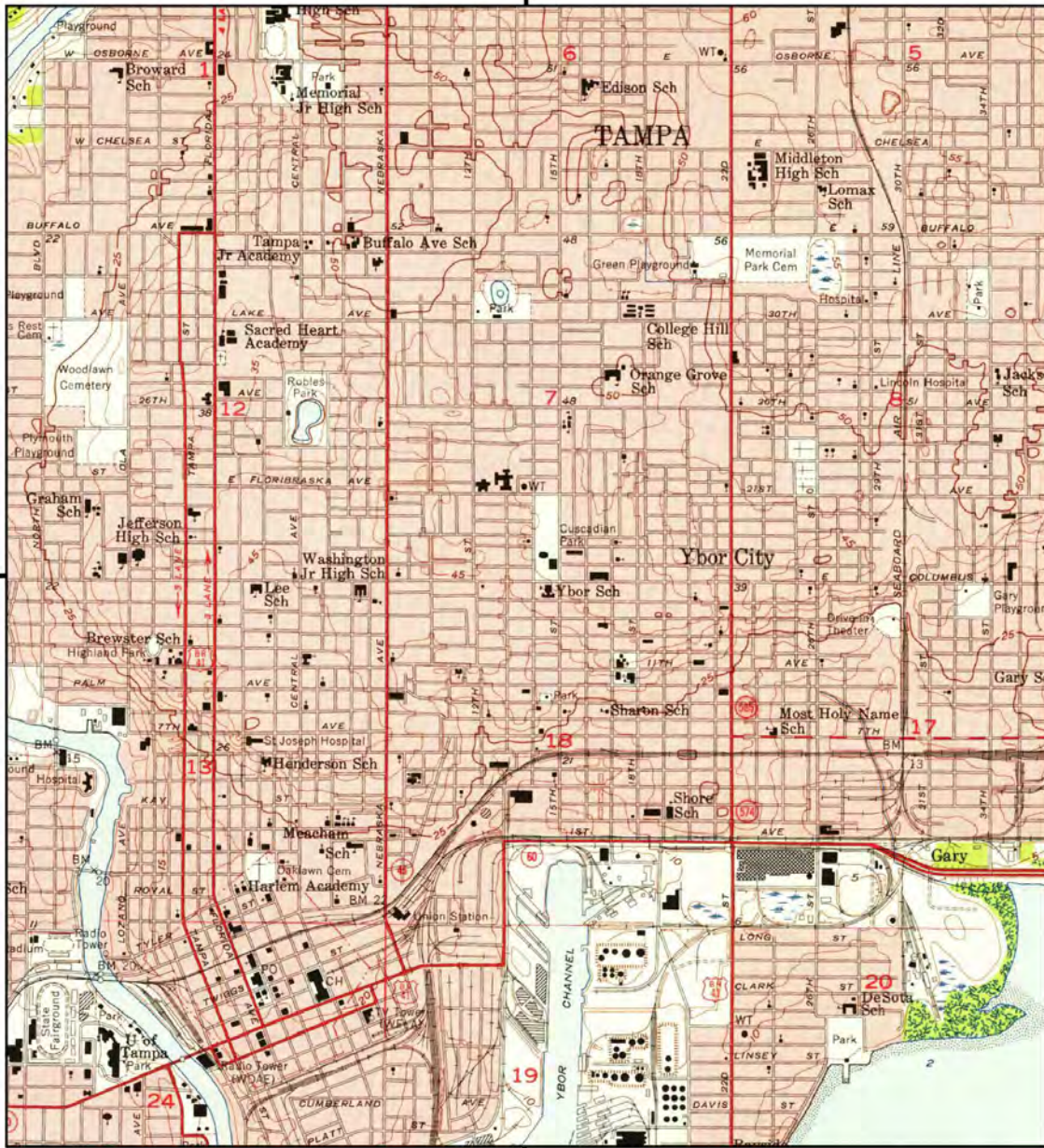
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



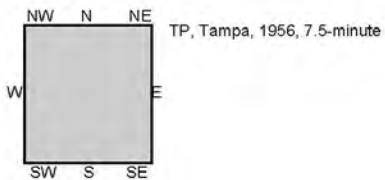
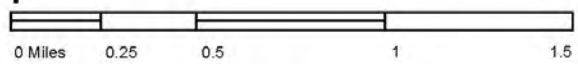


Historical Topo Map

1956



This report includes information from the following map sheet(s).



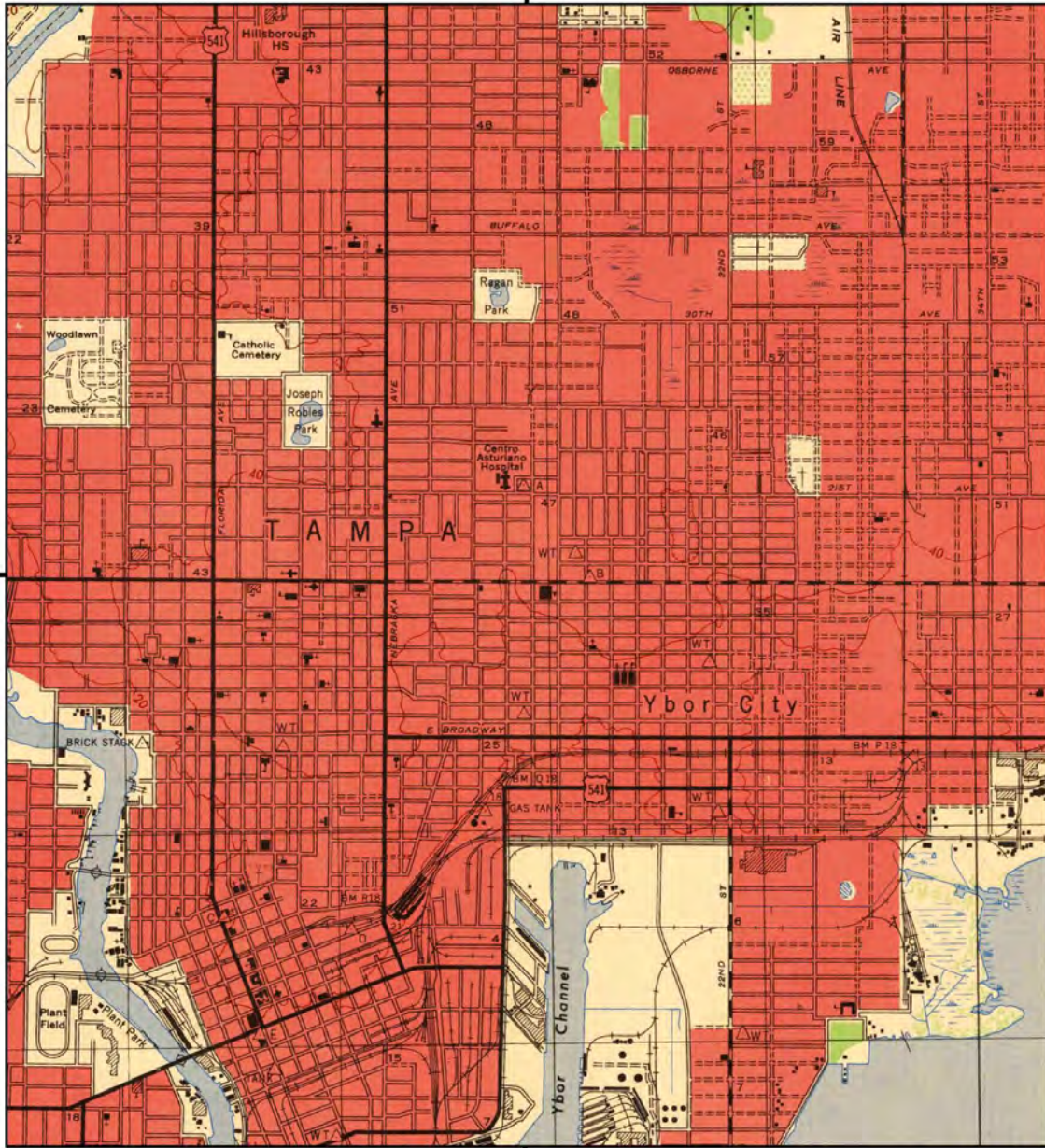
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



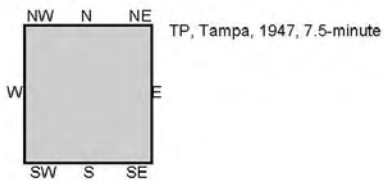


Historical Topo Map

1947



This report includes information from the following map sheet(s).



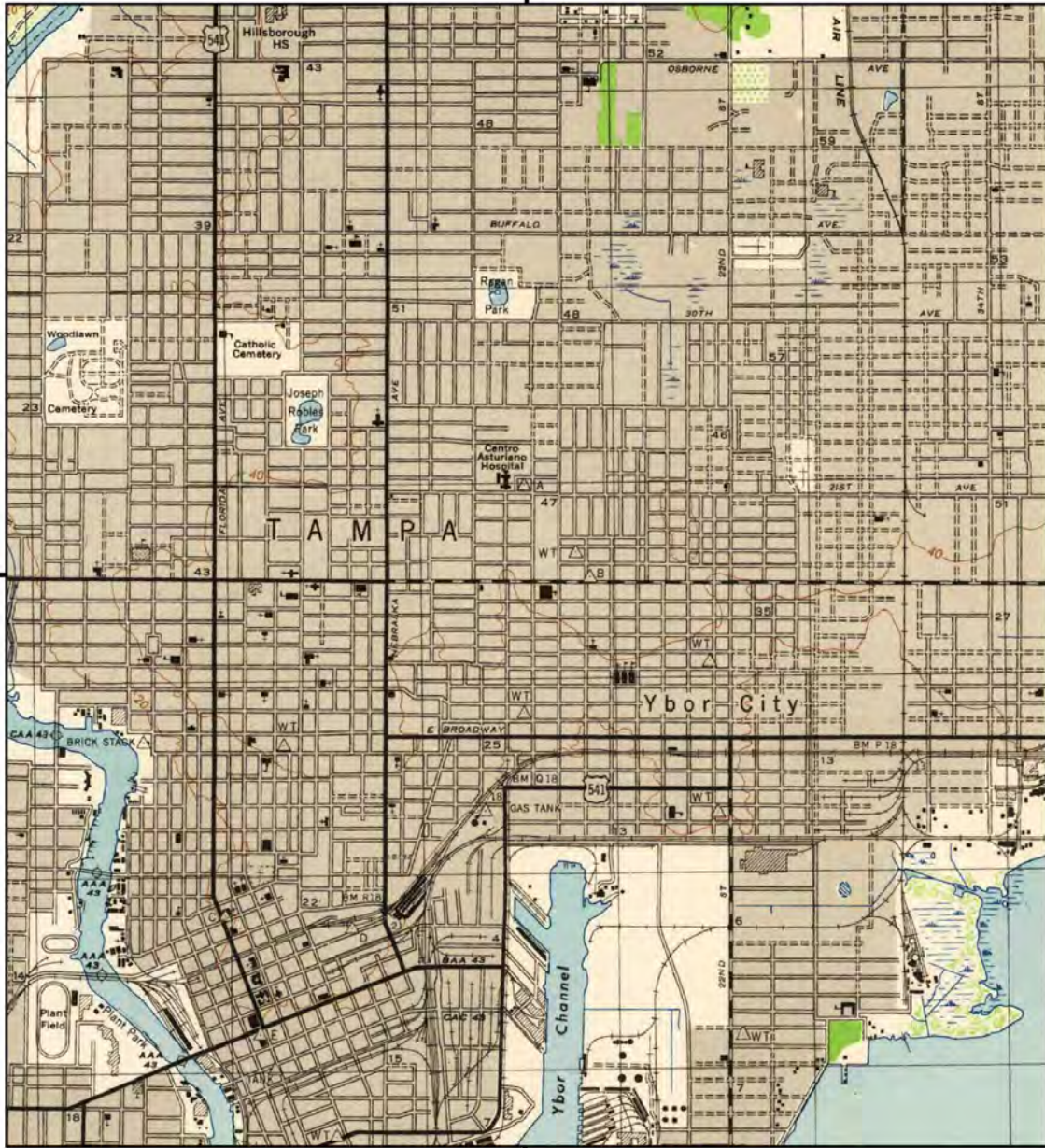
SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



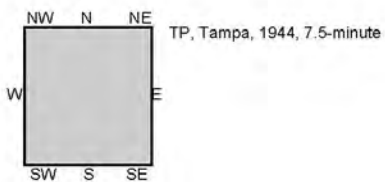


Historical Topo Map

1944



This report includes information from the following map sheet(s).



SITE NAME: Columbus Foods
 ADDRESS: 1312 East Columbus Drive
 Tampa, FL 33605
 CLIENT: OHC Environmental Engineering



ATTACHMENT VIII

Aerial Photographs

Columbus Foods

1312 East Columbus Drive
Tampa, FL 33605

Inquiry Number: 5864605.8

November 11, 2019

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



EDR Aerial Photo Decade Package		11/11/19
Site Name:	Client Name:	
Columbus Foods	OHC Environmental Engineering	
1312 East Columbus Drive	5420 Bay Center Drive Suite 100	
Tampa, FL 33605	Tampa, FL 33609-0000	
EDR Inquiry # 5864605.8	Contact: Thomas Martinelli	

Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

Year	Scale	Details	Source
2017	1"=500'	Flight Year: 2017	USDA/NAIP
2013	1"=500'	Flight Year: 2013	USDA/NAIP
2010	1"=500'	Flight Year: 2010	USDA/NAIP
2007	1"=500'	Flight Year: 2007	USDA/NAIP
1998	1"=500'	Acquisition Date: December 31, 1998	USGS/DOQQ
1995	1"=500'	Flight Date: March 20, 1995	FDOT
1991	1"=500'	Flight Date: April 01, 1991	FDOT
1987	1"=500'	Flight Date: October 22, 1987	USGS
1980	1"=500'	Flight Date: October 13, 1980	FDOT
1976	1"=500'	Flight Date: January 09, 1976	FDOT
1973	1"=500'	Flight Date: February 17, 1973	FDOT
1965	1"=500'	Flight Date: October 27, 1965	FDOT
1957	1"=500'	Flight Date: March 23, 1957	U of FL
1950	1"=500'	Flight Date: April 07, 1950	USGS
1938	1"=500'	Flight Date: November 28, 1938	U of FL

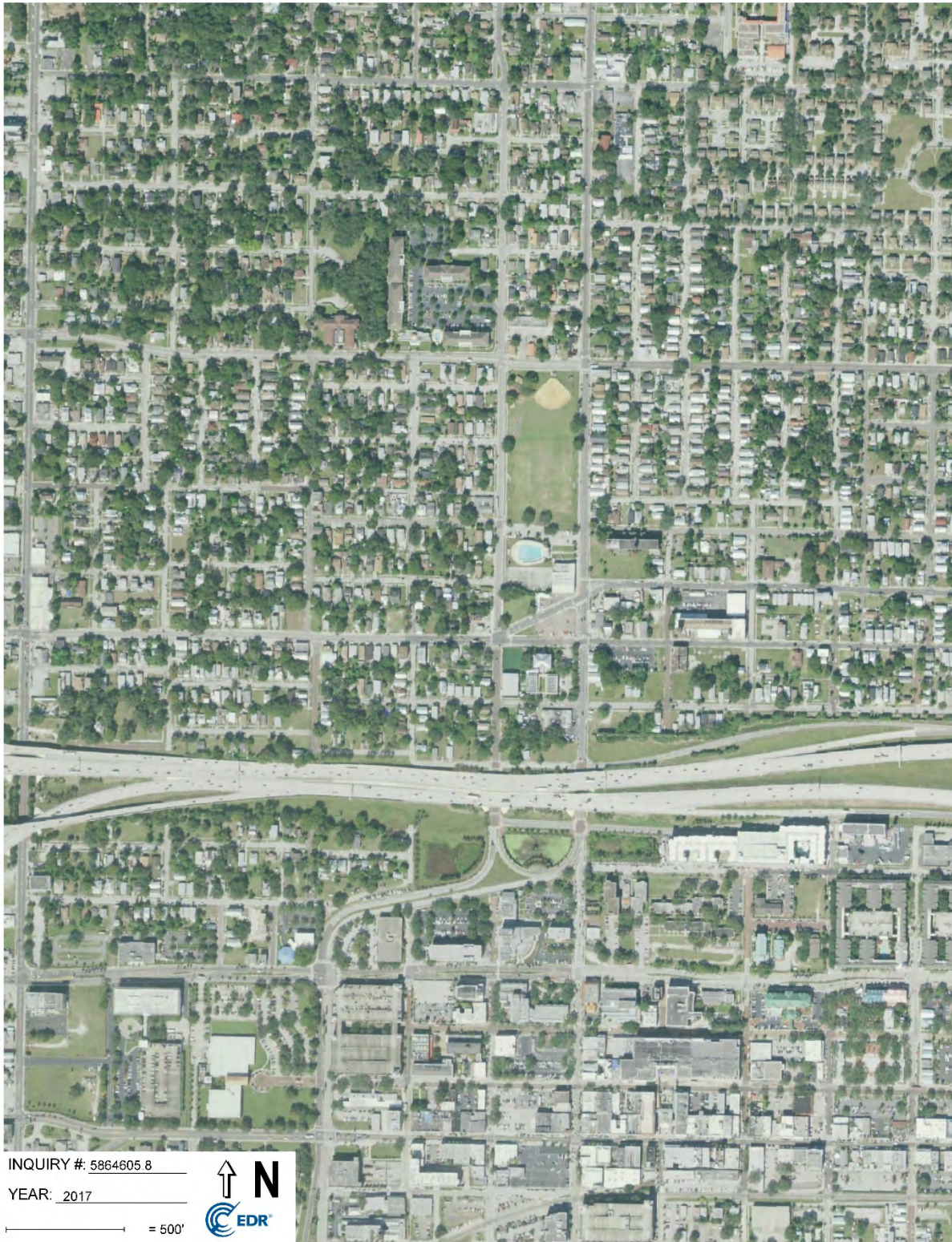
When delivered electronically by EDR, the aerial photo images included with this report are for ONE TIME USE ONLY. Further reproduction of these aerial photo images is prohibited without permission from EDR. For more information contact your EDR Account Executive.

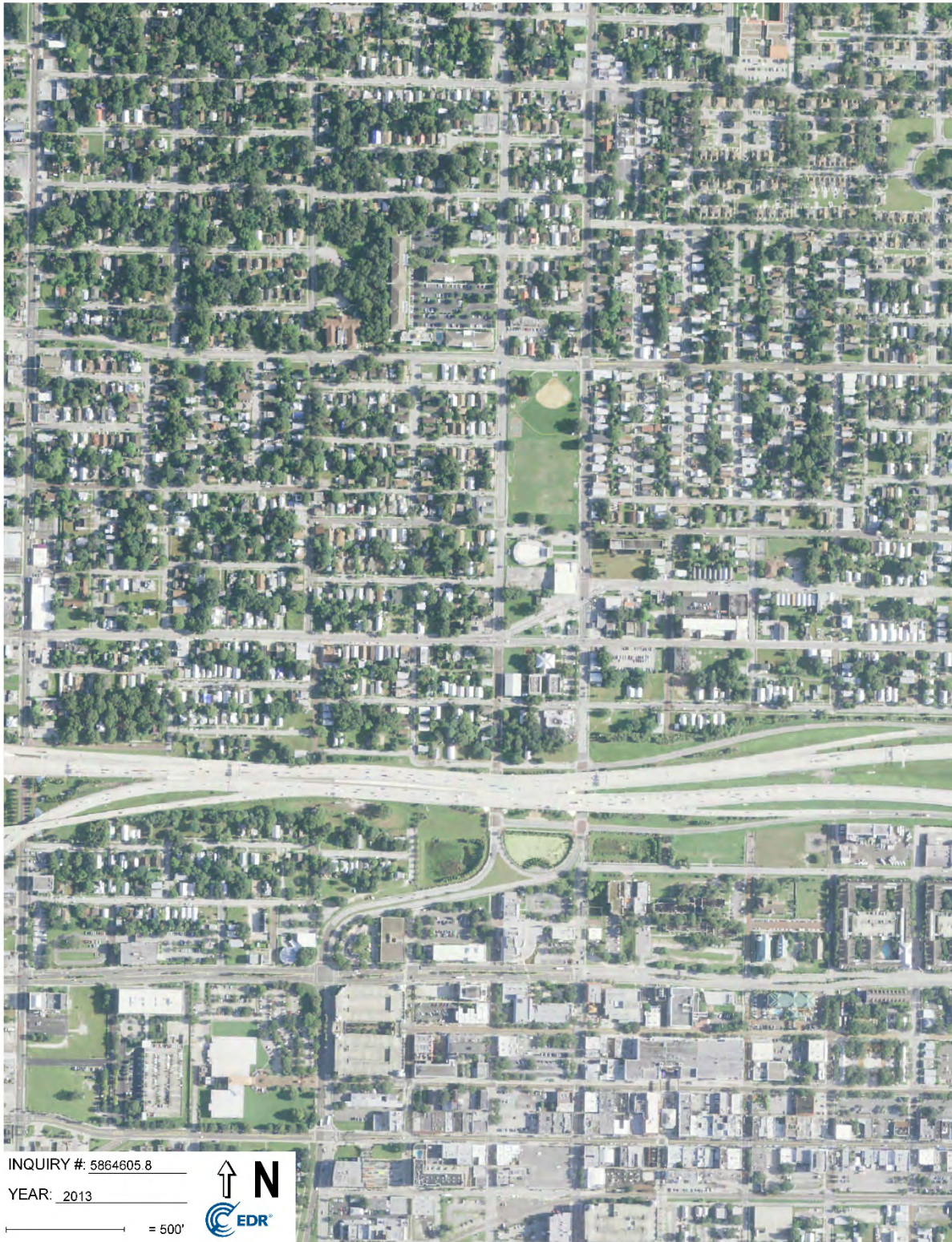
Disclaimer - Copyright and Trademark Notice

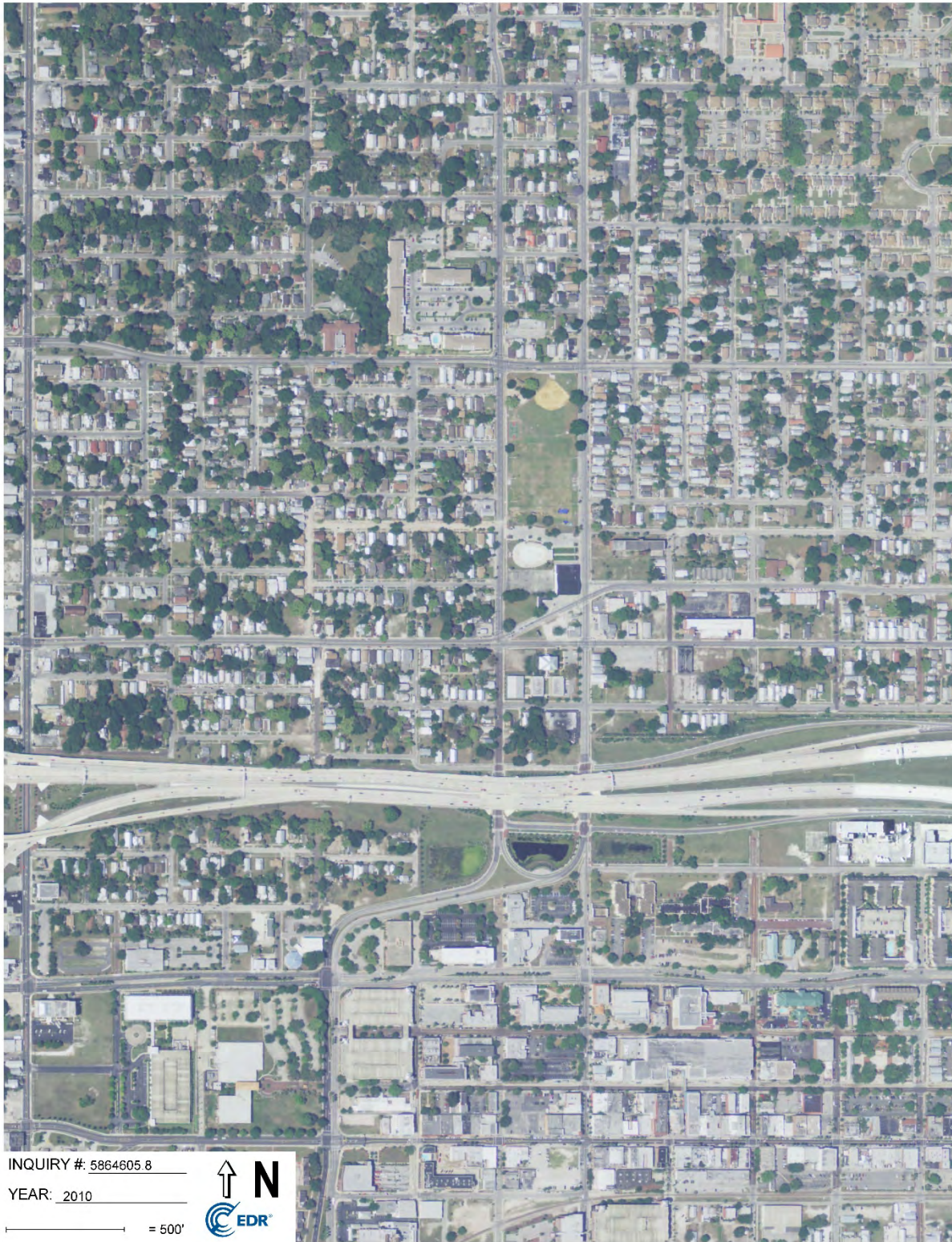
This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.
 EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

















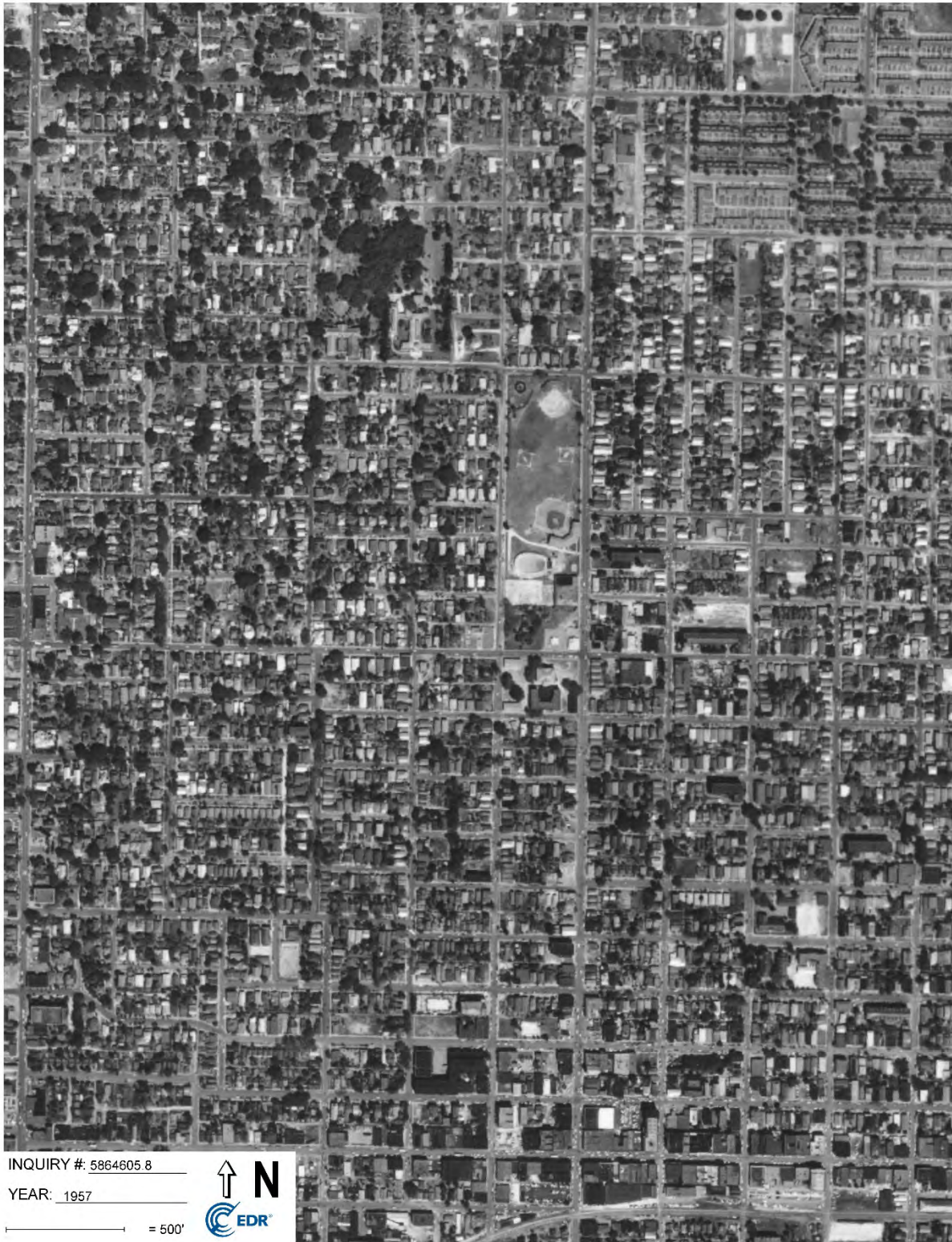


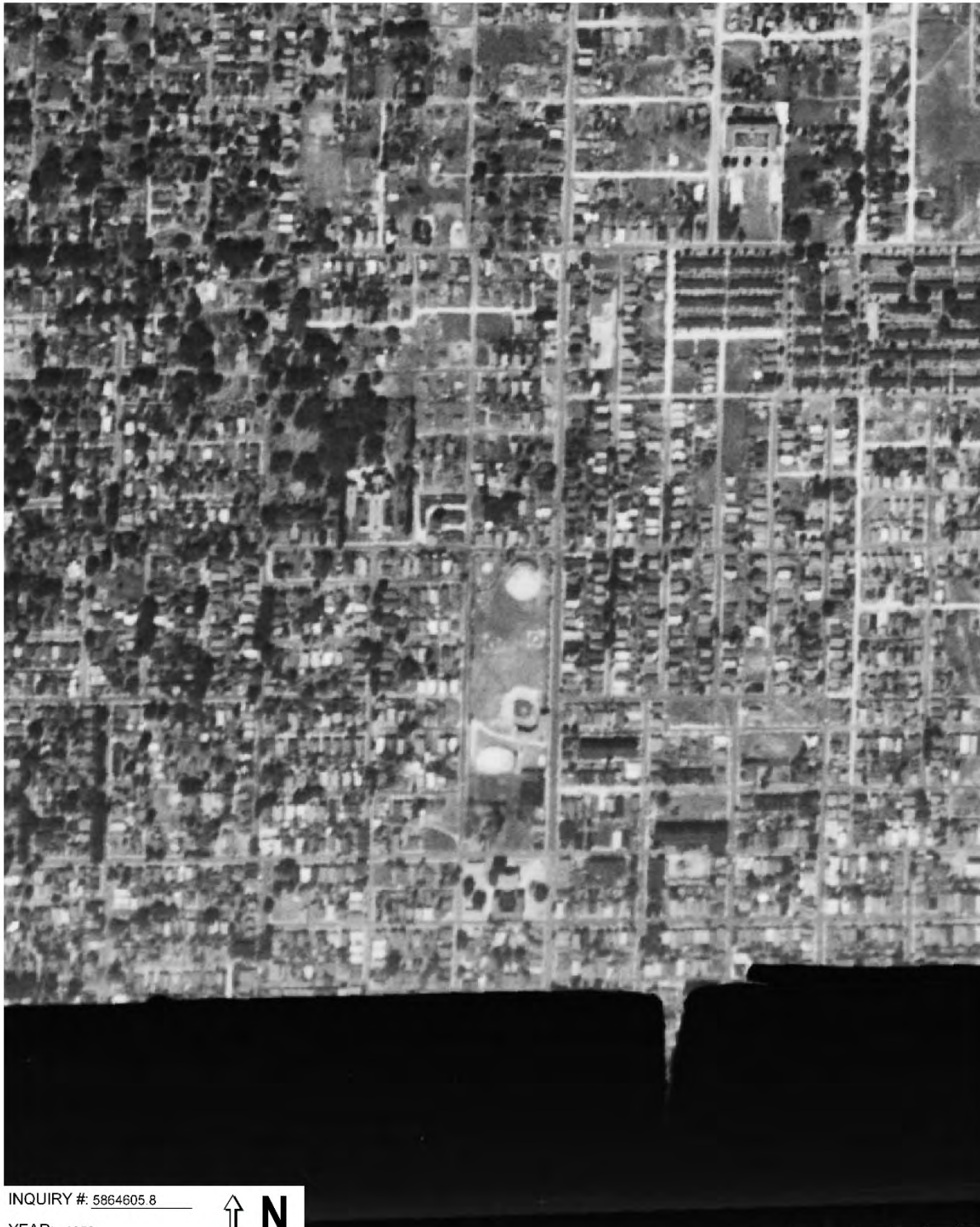












INQUIRY #: 5864605.8

YEAR: 1950

_____ = 500'





ATTACHMENT IX

Consultant Credentials



organized to improve the practice of industrial hygiene
proclaims that

Jim F. Rizk

having met all requirements of
education, experience and examination, and
ongoing maintenance,
is hereby certified in the

COMPREHENSIVE PRACTICE
of
INDUSTRIAL HYGIENE

and has the right to use the designations

CERTIFIED INDUSTRIAL HYGIENIST

CIH

Certificate Number **3956 CP**
Awarded: **June 30, 1988**
Expiration Date: **December 1, 2020**



Nicole Green
Chair, ABIH

Chief Executive Officer, ABIH



Technical &
Professional
Training



TOM MARTINELLI

Is Awarded 2.1 CEU'S

*for successful completion of
the course on*

**Phase I and Phase II Environmental Site
Assessments for Commercial Real Estate**

October 16-18, 2007

Harrisburg, PA


President


Director, Education Services

Phase I Environmental Assessment Report

Performed at:

**Goldstar Foods
2317 North Nebraska Avenue
Tampa, FL 33602**

Report Prepared For:

**Mr. Jeff Siewert, Senior Project Manager
Ayres Associates
8875 Hidden River Parkway
Tampa, Florida 33637-1035**

Report Prepared By:



**OHC Environmental Engineering, Inc.
101 South Hoover Blvd, Suite 101
Tampa, Florida 33609**

OHC Project #190237-ES

November 24, 2019

November 17, 2019

Mr. Jeff Siewert
Senior Project Manager
Ayres Associates
8875 Hidden River Parkway
Tampa, FL 33637-1035

RE: Phase I Environmental Site Assessment Report
Goldstar Foods Site
2317 North Nebraska Avenue
Tampa, Hillsborough County, FL 33602

Dear Mr. Siewert,

OHC Environmental Engineering, Inc., (OHC), is pleased to submit this Phase I Environmental Site Assessment Report for the above referenced property. The following information summarizes our findings.

Executive Summary

OHC was retained by Mr. Jeff Siewert, Senior Project Manager of Ayres Associates, and acting project manager for the City of Tampa's future right of way construction, to conduct a Phase I Environmental Assessment of one tax parcel totaling approximately one quarter of an acre. The parcel is located on the corner of East Columbus Drive and North Nebraska Avenue. The tax parcel PIN ID # is A-18-29-19-51D-00000-00001.0. OHC performed the Phase I Environmental Site Assessment of the property operating as Goldstar Foods, Inc. (GFI), herein known as the property, or site. The property is currently an active commercial convenience store and gas station facility which consists of one building encompassing approximately 1,700 square feet. The property is currently owned by O'Henry Foods, Inc.

The purpose of this Phase I Environmental Assessment (ESA) is to assess current site conditions and render an opinion as to the presence of exterior recognized environmental conditions (REC) at the property. The building's interior was not accessible, and therefore not inspected. OHC performed this Phase I in general conformance with the scope and limitations of the ASTM Practice E1527-13 and 40 CFR part 312. The following findings which are potential REC's are listed below, along with supporting opinions and recommendations:



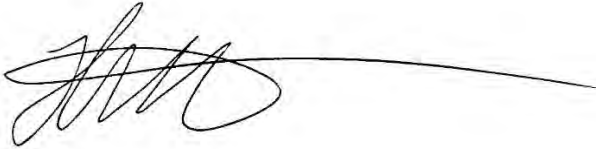
Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8944840 and the Florida DEP Cleanup Site Key # is 597343428. The site is listed as an open site, therefore it is an active retail site. The site is listed as having an open discharge cleanup status from a discharge reported on 11/30/2010. This means the site has not undergone any cleanup activities. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location to determine if they are within the right of way. If so, they should be closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. This closure should be coordinated with the Hillsborough County EPC Case Manager. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately twenty feet below grade surface (bgs). Static groundwater levels are approximately 23 to 39 feet bgs. Therefore, if any soil or groundwater contamination exists (up to 20 feet below grade) in the vicinity of the ongoing remediation area, it would be expected to impact the proposed construction activities.

Finding 2) The use of PCBs in newly manufactured electrical equipment and oils has been banned since 1979. There is one pole mounted transformer present which may contain PCB containing dielectric fluid. Therefore, this item is a potential REC. However, the pole mounted transformer does not appear to be leaking and is owned by the electric power supplier, TECO (TECO pole # 037342). Therefore, if future leakage would occur, it would be the responsibility of TECO to perform any related cleanup. The transformer does not appear to be within the proposed right of way construction area. Based on these assumptions, this finding does not represent a REC.

Finding 3) At least eight 55-gallon drums of unknown contents were stored to the rear or east side of the convenience store building. No significant leakage or staining was observed on the asphalt surface. These drums represent a REC. These drums should be characterized and properly disposed of by the owner. These drums would not be expected to impact the proposed right of way construction.

No other REC's were identified on the exterior of the site. The undersigned declares that he meets the definition of Environmental Professional as stated in 40 CFR part 312 and that he has conducted the assessment in accordance with same. OHC appreciates the opportunity to be of service to you on this project. If you have any further questions, please contact me at your earliest convenience.

Respectfully Submitted,
OHC ENVIRONMENTAL ENGINEERING, INC.



Thomas Martinelli
Environmental Professional

PHASE I ASSESSMENT

OHC PROJECT #: 190237-ES

CLIENT NAME: Mr. Jeff Siewert
Ayres Associates

PROJECT LOCATION: Goldstar Foods, Inc.
2317 North Nebraska Avenue
Tampa, FL 33602

DATE OF SURVEY: November 12, 2019

CONSULTING FIRM: OHC Environmental Engineering, Inc.
101 South Hoover Blvd, Suite 101
Tampa, Florida 33609

***ENVIRONMENTAL
PROFESSIONAL:*** Thomas Martinelli

OHC PROJECT MANAGER: Christina Jones

CONSULTANT:



James F. Rizk, CIH

TABLE OF CONTENTS

EXECUTIVE SUMMARY.....	2
1.0 INTRODUCTION.....	3
1.1 PURPOSE	
1.2 PROJECT SCOPE	
1.3 PROJECT LIMITATIONS	
1.4 SPECIAL TERMS AND CONDITIONS	
2.0 SITE DESCRIPTION.....	6
2.1 LOCATION AND LEGAL DESCRIPTION	
2.2 ENVIRONMENTAL SETTING	
2.3 GENERAL SITE AND VICINITY CHARACTERISTICS	
2.4 ON-SITE STRUCTURES AND IMPROVEMENTS	
2.5 CURRENT SITE USAGE AND ADJOINING PROPERTIES	
3.0 RECORDS REVIEW.....	8
3.1 SITE HISTORY & OWNERSHIP	
3.2 EDR FEDERAL AND STATE ENVIRONMENTAL RECORD SEARCH	
3.3 LOCAL/STATE ENVIRONMENTAL RECORD SEARCH	
3.4 OTHER ENVIRONMENTAL RECORD SEARCHES	
3.5 SANBORN MAP SEARCH	
3.6 HISTORIC TOPOGRAPHIC MAP SEARCH	
3.7 AERIAL PHOTOGRAPH REVIEW	
4.0 SITE RECONNAISSANCE.....	12
4.1 GENERAL SITE OBSERVATIONS	
4.2 EXTERIOR OBSERVATIONS	
4.3 INTERIOR OBSERVATIONS	
4.4 NON-SCOPE OBSERVATIONS	
5.0 INTERVIEW INFORMATION.....	14
6.0 FINDINGS, CONCLUSIONS AND RECOMMENDATIONS.....	14
7.0 EXCEPTIONS/DATA GAPS.....	16
8.0 NON-SCOPE ISSUES.....	16
ATTACHMENT I USER QUESTIONNAIRE.....	18
ATTACHMENT II SITE MAPS/TAX ASSESSMENT INFORMATION.....	23
ATTACHMENT III SITE PHOTOGRAPHS.....	27
ATTACHMENT IV EDR REGULATORY DATABASE REPORT.....	35
ATTACHMENT V LOCAL/STATE SEARCH INFORMATION.....	69
ATTACHMENT VI SANBORN MAP REPORT.....	84
ATTACHMENT VII HISTORIC TOPOGRAPHIC MAPS.....	89
ATTACHMENT VIII AERIAL PHOTOGRAPHS.....	102
ATTACHMENT IX CONSULTANT CREDENTIALS.....	121

EXECUTIVE SUMMARY

OHC was retained by Mr. Jeff Siewert, Senior Project Manager of Ayres Associates, and acting project manager for the City of Tampa's future right of way construction to conduct a Phase I Environmental Assessment of one tax parcel totaling approximately one quarter of an acre located on the corner of East Columbus Drive and North Nebraska Avenue. The tax parcel PIN ID # is A-18-29-19-51D-00000-00001.0. OHC performed the Phase I Environmental Site Assessment of the property operating as Goldstar Foods, Inc. (GFI), herein known as the property, or site. The property is currently an active commercial convenience store and gas station facility which consists of one building encompassing approximately 1,700 square feet. The property is currently owned by O'Henry Foods, Inc.

The purpose of this Phase I Environmental Assessment (ESA) is to assess current site conditions and render an opinion as to the presence of exterior recognized environmental conditions (REC) at the property. The building's interior was not accessible, and therefore not inspected. OHC performed this Phase I in general conformance with the scope and limitations of the ASTM Practice E1527-13 and 40 CFR part 312. The following findings which are potential REC's are listed below, along with supporting opinions and recommendations:

Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8944840 and the Florida DEP Cleanup Site Key # is 597343428. The site is listed as an open site, therefore it is an active retail site. The site is listed as having an open discharge cleanup status from a discharge reported on 11/30/2010. This means the site has not undergone any cleanup activities. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location to determine if they are within the right of way. If so, they should be closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. This closure should be coordinated with the Hillsborough County EPC Case Manager. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately twenty feet below grade surface (bgs). Static groundwater levels are approximately 23 to 39 feet bgs. Therefore, if any soil or groundwater contamination

exists (up to 20 feet below grade) in the vicinity of the future remediation area, it may be expected to impact the proposed construction activities.

Finding 2) The use of PCBs in newly manufactured electrical equipment and oils has been banned since 1979. There is one pole mounted transformer present which may contain PCB containing dielectric fluid. Therefore, this item is a potential REC. However, the pole mounted transformer does not appear to be leaking and is owned by the electric power supplier, TECO (TECO pole # 037342). Therefore, if future leakage would occur, it would be the responsibility of TECO to perform any related cleanup. The transformer does not appear to be within the proposed right of way construction area. Based on these assumptions, this finding does not represent a REC.

Finding 3) At least eight 55-gallon drums of unknown contents were stored to the rear or east side of the convenience store building. No significant leakage or staining was observed on the asphalt surface. These drums represent a REC. These drums should be characterized and properly disposed of by the owner. These drums would not be expected to impact the proposed right of way construction.

1.0 INTRODUCTION

OHC Environmental Engineering, Inc. (OHC) was retained by Mr. Jeff Siewert, Senior Project Manager of Ayres Associates, and City of Tampa's construction project manager for the future right of way improvements at the site, ("user"), to prepare a Phase I Environmental Site Assessment of the subject property ("site") in general conformance with ASTM Standard E1527-13 and 40 CFR part 312. This report documents OHC's findings from our Phase I Investigation of the site. The site currently consists of one tax parcel which is zoned Commercial TL Class 7. The site is currently an active commercial convenience store and gas station type facility. The site is located in a primarily commercial/light industrial setting with residential properties nearby.

1.1 Purpose

The purpose of this Phase I Environmental Site Assessment (ESA) is to determine whether there are "recognized environmental conditions" (REC), historical REC's (HREC) or controlled REC's (CREC) on the property, which may have an impact on the future construction along the City of Tampa right of way at the site and liability of the user from a governmental or private party. The purpose of this assessment is to evaluate current exterior environmental conditions. Since the purpose of this assessment is to

evaluate potential subsurface contamination issues present at the right of way construction, access to the interior of the building on site was not granted by the owner. This ESA will therefore document current environmental conditions so either party, user or owner, will be able to establish their impact to the site, if any. Evidence for recognized environmental conditions were sought through environmental and historical records searches, interviews, and a site reconnaissance, etc.

1.2 Project Scope

This ESA is designed to generally conform to the American Society for Testing and Materials (ASTM) Practice E 1527-13, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process in terms of levels of inquiry, standard regulatory record search distances and site reconnaissance methodology. The All Appropriate Inquiry document outlined in 40 CFR 312 was also referenced in preparing this report.

The following issues were not evaluated within the scope of this Phase I ESA: 1) regulatory compliance or permitting of facility operations, 2) off-site waste disposal tracking, 3) integrity of on-site sewage disposal systems, 4) geotechnical/structural concerns with underlying soil or fill, 5) wetlands delineation, 6) the potential for naturally-occurring elements or their products that exceed applicable regulatory standards, 7) radon, 8) underground storage tank testing, 9) electromagnetic fields, 10) agricultural practices, 11) the potential for biological hazards and (12) building interior.

Phase I ESA's do not generally include field or laboratory analyses of building materials, air, soil or water samples, which may yield additional information unforeseen in a Phase I ESA. OHC completed this study under the regulatory framework known to be in effect as of the date of this report; and the investigation, findings and conclusions as set forth are predicated upon those laws and regulations.

1.3 Project Limitations

According to ASTM Practice E 1527-13, a Phase I ESA is intended to reduce, not necessarily eliminate, uncertainty regarding the potential environmental conditions in connection with the subject property. The standard states that it recognizes “reasonable limits of time and cost” in this process. Consequently, assessments cannot be judged solely on whether they missed some existing contamination, but instead on “the

reasonableness of the judgments made at the time and under the circumstances in which they were made.”

This report is based upon the application of scientific principles and professional judgment to certain facts with resultant subjective interpretations. Professional judgments expressed herein are based on the facts currently available within the limit or scope of work, budget and schedule. The work described in this report was carried out in accordance with the Terms and Conditions in the proposal. An environmental lien and activity use limitation search was not performed or requested by the user.

In preparing this report, OHC may have relied on certain information provided by Environmental Data Resources (EDR), federal, state and local officials and other parties referenced therein, and on information contained in the files of state agencies, local agencies, or both, available to OHC at the time of this site assessment. Although there may have been some degree of overlap in the information provided by these various sources, OHC did not attempt to independently verify the accuracy or completeness of all the information reviewed or received during the course of this site assessment.

Observations were made of the site and of the structure exterior, if any, on the site as indicated in this report. While access to portions of the site or to structures on the site was unavailable or limited, OHC renders no opinion as to the presence of indirect evidence relating to petroleum substance, hazardous substances, or both, in that portion of the site and structure. In addition, OHC renders no opinion as to the presence or indirect evidence relating to hazardous material storage or oil, where direct observation of the interior/exterior walls, ground surface, floors, ceiling or a structure is obstructed by objects or vegetation covering on or over these surfaces.

As part of this assessment, OHC has submitted a request for an informal file review with the Hillsborough County Environmental Protection Commission (EPC) and Fire Marshalls offices and the City of Tampa Fire Marshalls office. Information from these inquiries are found in Attachment V.

1.4 Special Terms and Conditions

Terms as defined by ASTM E 1527 are used, as appropriate, in this report. ASTM defines recognized environmental conditions as: “the presence or likely presence of any hazardous substances or petroleum products in, on or at a property (1) due to a release to the environment, (2) under conditions indicative of a release to the environment or (3)

under conditions that pose a material threat of a future release to the environment. The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include de-minimus conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de-minimus are not recognized environmental conditions. Within the context of the ASTM standard, the “site” is the Goldstar Foods property and the “user” of this report is Mr. Jeff Siewert. Representatives from O’Henry’s Foods, Inc, owner of the site, declined to complete the User Questionnaire found in Attachment I. OHC would normally rely on information from the questionnaire to assist in determining if REC’s were present on site.

2.0 SITE DESCRIPTION

2.1 Location and Legal Description

The subject property, consisting of the aforementioned tax parcel, is described as approximately one quarter of an acre of commercially developed property. The site is located at 2317 North Nebraska Avenue, Ybor City section of the City of Tampa, Hillsborough County, Florida, herein known as the property, or site. The property is currently owned by O’Henry’s Foods, Inc. Refer to the tax assessment/site maps in Attachment II and site photographs in Attachment III for visual reference.

2.2 Environmental Setting

The site is located in a mixed light industrial/commercial/residential setting. According to the EDR FEMA Flood Hazard Area Map, the site is not located within a flood plain. According to the EDR provided wetland inventory map, no wetland areas are present. According to the EDR provided information from the 1994 United States Geological Survey, the rock stratigraphic unit at the site is of the Miocene Series of the Tertiary system which was formed in the Cenozoic era. Metamorphic rock formation consists of limestone. Native soil types of the area are primarily Tavares fine sands that are moderate to well drained. The site may consist of urban land. The survey does not identify any depressions or sinkholes on the site. The elevation of the site is approximately 41 feet above mean sea level. The natural topography of the site generally slopes slightly to the south.

2.3 General Site and Vicinity Characteristics

Located within the Ybor City section of the City of Tampa, the surrounding area was initially developed in the early 1880's as primarily industrial or residential in nature.

Commercial, light industrial, recreational and residences are located in the vicinity. Water in the vicinity is provided by municipal sources. The site is serviced by the city sanitary sewer system. Municipal waste disposal in the vicinity is contracted. Electric & telephone are available at the street. The site consists of one rectangular shaped parcel consisting of approximately one quarter of an acre.

The surrounding area was partially developed by at least the early 1850's. By 1895, surrounding properties to the east included residential structures. The immediate surrounding area is currently mixed light industrial, commercial and residential.

2.4 On-site structures/Improvements

The one quarter acre site is approximately 50% used for exterior storage space including sidewalk/road/parking areas, 30% improved with the building and 20% for the gasoline dispensing system with canopy. The improved area consists of one building and the gasoline dispensing system. The building is described as follows:

Convenience Store Building

The convenience store building is a one-story structure constructed in 1964 on concrete slab at grade which encompasses approximately 1,700 square feet. The building is rectangular in shape and is of concrete block construction with brick or masonry facade. The roof is a flat built up or of rubber membrane construction. There is a steel/metal canopy covering the gasoline dispensing area.

2.5 Current Site Usage and Adjoining Properties

The site is currently an active commercial convenience store and gasoline station facility. The adjoining property to the south is East 15th Avenue. Directly south of 15th Avenue is a former gas station facility where monitoring wells are present. Further south are commercial properties and residences. The adjoining property to the north is East Columbus Drive. Further north is are commercial properties and residences. The adjoining properties to east are commercial and residential properties. Further east are residential properties. The adjoining property to the west is a North Nebraska Avenue.

Further west are residences. Surrounding land use is primarily commercial, light industrial or residential.

3.0 RECORDS REVIEW

3.1 Site History & Ownership

Information obtained through the Hillsborough County Tax Assessment search indicates that the most recent deed activity for the site consists of a Deed issued to O’Henry’s Foods in May 1987, (Deed Book 5109, page 1229).

3.2 Federal and State Environmental Database Search (EDR)

A search of federal and state records was conducted according to ASTM standards by contracting a commercial database service, EDR, in order to identify any property within a designated proximity to the site that may pose a risk of contamination of the site. Definitions for selected database sites were identified and are described along with each identified site in the following sections. See Attachment IV for definitions and the Executive Summary of the EDR database report.

Pertinent Federal ASTM Records

The site was not listed as any type of site as described in the federal database descriptions. The following are designated by the ASTM Standard as search databases with the number of sites identified in the search area:

NPL	<u>US EPA National Priorities List - 0</u>
CERCLIS/SEMS	<u>US EPA Comprehensive Environmental Response, Compensation and Liability Act Information System - 1</u>
RCRA CORRACTS	<u>Facilities Subject to Corrective Action Under the Resource Conservation and Recovery Act -0</u>
RCRA non-CORRACTS	<u>Facilities Not Subject to Corrective Action Under the Resource Conservation and Recovery Act - 0</u>
RCRA generators	<u>Generators Under the Resources Conservation and Recovery Act -0</u>
NRI/ERNS	<u>National Response Incidents – 0</u>

Based on proximity and a cursory drive by, none of the federal mapped or unmapped sites identified in the EDR report would be expected to impact the subject property or the proposed right of way construction. However, any contamination issues present on adjacent sites migrating to the site would be the responsibility of the adjacent site owner to rectify through the applicable regulatory guidelines.

Florida Records

No state hazardous waste sites, six solid waste facilities/historic landfill sites, seventeen LUST sites and three Brownfields sites were identified by EDR within a designated proximity to the site according to ASTM standards. The target property is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site named Ultra Tune Service Station, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8944840 and the Florida DEP Cleanup Site Key # is 59734328. The site is listed as an open site, therefore it is an active retail site. The site is listed as having an incomplete discharge cleanup status from a discharge reported on 11/30/2010. Based on proximity, a cursory drive by and the fact that the EDR reports do not identify non-reported leaking tanks, none of these types of state properties or unmapped properties would be expected to impact the site. Based on the involvement of the Hillsborough County EPC, if subsurface contamination has migrated to the target property, the current owner should have been notified.

3.3 Local and State Environmental Record Search

As part of this assessment, OHC has submitted a request for an informal file review with the Hillsborough County EPC and Fire Marshalls offices and the City of Tampa Fire Marshalls Office. Information obtained from these requests is as follows:

- The Hillsborough County EPC office responded back stating that there were no air management, wetlands management or water management files associated with the subject property. The waste management division did locate files including Enforcement Actions, Warning Notices and Tank/Cleanup files which were reviewed on 11/22/19. Information obtained from the file review is as follows:

Enforcement File

Various Warning Notices of Violations, Consent Orders and general correspondence between the owner and the EPC dating from 1998 through 2016 were reviewed. The violations included but was not limited to leak detection reporting deficiencies, placing product in unregistered tanks, not performing tank tightness testing or tank upgrades. Correspondence included EPC notices to perform site characterization studies and owner claiming inability to perform the studies due to financial hardship. The site is currently in the enforcement stage as no current site characterization study has been performed.

Storage Tank File

There were five UST's located on the site at one time. One was removed in 1992 and three were removed in 2010. One remains in service. A gasoline discharge notification dated 11-30-2010 was present. See the site map outlining the tank locations.

Cleanup File

The cleanup file contained a storage tank closure assessment which identified the three tanks removed in 2010. As part of the closure, soil samples were collected and groundwater monitoring wells were installed. Groundwater samples were collected. Groundwater was encountered at 23 feet bgs. Soil sample results from this limited preliminary assessment indicate soil contamination above the ECP soil cleanup target levels at 2 to 22 feet bgs. Groundwater sample results from well MW-1 were found to be above the ECP groundwater cleanup target levels (GCTL).

- The City of Tampa and Hillsborough County Fire Marshalls offices were contacted. Hillsborough stated the site was outside of their response jurisdiction. The Tampa request was not completed due to time constraints associated with this report.

File review requests and information is found in Attachment V.

3.4 Other Environmental Record Sources

OHC conducted a review of geological maps, land use and zoning maps at the Hillsborough County Planning Commission office. The site is zoned commercial TL Class 7 and the land use is currently 1422 Convenience Store/Gas Station. The geology is as stated in section 2.2. A City Directory Search was performed which identifies business

entities which have had phone numbers associated with the site address. The listings for 2317 North Nebraska Avenue are as follows:

- 2014 Goldstar Gas
- 2010 God Star, Inc. & RND Brothers, Inc.
- 2004 Goldstar Foods Store
- 1993 Goldstar Foods
- 1988 Citgo Food Mart
- 1983 Ultra Tune Auto Repair
- 1978 V & V Auto Service and Gas Station
- 1974 Thompsons Auto Service & Gas Station
- 1969 Thompsons Sinclair Service Station
- 1955 Leo's Service Station
- 1949 Romeo Auto Filling Station
- 1944 Hermans Service & Filling Station
- 1939 Fox Service & Filling Station

See the pertinent City Directory Search information in Attachment V.

3.5 Sanborn Maps

JMT conducted a Sanborn Fire Insurance Map search through EDR. The search conducted revealed that maps produced for the subject area in 1915, 1931, 1950, 1976 & 1979. The Sanborn search report and maps are found in Attachment VI. The information from the maps is as follows:

The 1915 and 1931 maps reveal the site is not developed. There is commercial, light industrial and residential development in surrounding areas. The 1950 map reveals the site is developed with a gasoline filling station that has three UST's on the north side of the property. The 1976 and 1979 maps reveal a gasoline filling station facility exists.

3.6 Topographic Maps

Historic topographic maps for the years 1944, 1947, 1956, 1969, 1979, 1981, 1995 and 2012 were obtained and reviewed for the subject area. The 1944 through 1995 maps reveal the site is located in a developed urban setting. The maps produced do not show

building structures, only topographic features. No useful data depicting site usage can be derived from the maps searched. The map search data is found in Attachment VII.

3.7 Aerial Photograph Review

Historic aerial photographs for the years 1938, 1950, 1957, 1965, 1973, 1976, 1980, 1987, 1991, 1995, 1998, 2007, 2010, and 2017 were obtained and reviewed of the subject area. The aerials were at varying scales which have varying levels of resolution. The 1938 through 1957 aerials reveal that the site is not developed. Interstate 4 does not exist to the south. Less residential and commercial development as compared to today exists in all directions. The 1965 aerial reveals the site is developed and Interstate 4 exists to the south. The remaining aerials indicate the site is developed and significant residential, commercial and industrial development has taken place in surrounding areas. The 2017 aerial depicts the site as it is today. The photos obtained are found in Attachment VIII.

4.0 SITE RECONNAISSANCE

On November 13, 2019 OHC Environmental Professional, Mr. Thomas Martinelli, performed site reconnaissance at the subject property. Remarkable observations as a result of the reconnaissance are discussed in the following sections of the report.

4.1 General Site Observations

The site was observed to have the characteristics outlined in Section 2.3 and 2.4. The site was an active office and apartment building at the time of the site reconnaissance.

Specific items were observed:

4.1.1 Storage Tanks

Evidence of aboveground or underground storage tanks, (i.e. vent/fill pipes), were observed. Vent and fill pipes were observed that indicate at least one UST exists on the site.

4.1.2 Polychlorinated Biphenyls (“PCBs”)

The use of PCBs in newly manufactured electrical equipment and oils has been banned since 1979. Therefore, this type of equipment (pole mounted transformers, fluorescent light ballasts) which were installed at the site near or prior to this date may contain parts which may be filled with PCB-contained dielectric fluid. One pole mounted transformer was present on the exterior of the site. The transformer was not labeled as to PCB content

and appeared to be relatively new; however, no evidence of leaks or spills were observed. According to the pole label (TECO pole # 037342), the transformer is owned by TECO Electric Utilities. As likely owner, TECO would be responsible for any leaks or spills from their transformers.

4.2 Exterior Observations

Exterior areas of the site include exterior storage, concrete/asphalt parking areas, a dispensing pump island canopy, concrete sidewalks, etc. The roof stormwater is either conveyed directly to the concrete/asphalt surfaces or via sheet flow from the rooftops. A number of groundwater monitoring wells are located on the north, south and west sides of the building. These observation wells are associated with the active gasoline tank leak detection system and the initial subsurface contamination discharge monitoring from former LUST's on the site. Some of these wells are located within 30 to 40 feet from the proposed right of way construction area. At least eight 55-gallon drums of unknown contents were observed behind the building. No significant leakage or stained asphalt was observed in the drum storage area.

Indicators Not Observed

The following indicators of possible recognized environmental conditions under the ASTM standard were not observed at the site during the external site reconnaissance: stressed vegetation, material storage ponds or lagoons.

4.3 Interior Observations

No access to the building interior was granted for this assessment.

4.4 Non-Scope Observations

4.4.1 Lead-Based Paint

Lead-based paint was not physically evaluated as part of this ESA. Exterior painted areas were observed to be in good condition.

4.4.2 Asbestos-Containing Material (ACM)

ACM was not physically evaluated as part of this ESA. Exterior suspect asbestos containing materials were observed which included roofing materials, masonry stucco, caulking, etc. All materials were observed to be in fair to good condition.

4.4.3 Radon

Radon was not physically evaluated as part of this ESA. Since the site is zoned commercial class 4, radon would not be expected to be considered a concern.

5.0 INTERVIEW INFORMATION

Mr. Charles Heintz (Hillsborough County EPC Case Manager), was contacted and he stated that he was the current Case Manager for the site. He stated that the site does have soil and groundwater contamination present. He reported that the site is in the enforcement stage. This means the EPC is pursuing legal action to have the owner characterize and cleanup the site. The owner is claiming financial hardship and does not have the financial means or insurance to perform these tasks. He did not know the vertical or lateral extent of the contamination as no current site characterization study has been performed.

Ms. Jeanette Figari (Hillsborough County EPC), was contacted and stated that she is the point of contact at the EPC to prepare right to know requests. She prepared the request to the air, waste, water and wetland management divisions. She stated that the only requested files of interest were in the waste management division office. A file review was scheduled for 11-22-19.

Ms. Gabrielle Williams, (City of Tampa Emergency Mgt.), stated that there is now a fifteen dollar charge to perform the right to know request. Due to time constraints associated with this project, this request was not performed. She did state that the Hillsborough County Fire Marshalls office be contacted as well.

Ms. Miguelina Rodriguez, (Hillsborough County Fire/Rescue), stated that she researched her files and found that the City of Tampa Fire Marshalls office responds to the site.

6.0 FINDINGS, CONCLUSIONS & RECOMMENDATIONS

OHC Environmental Engineering, Inc. has performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E1527-13 and 40 CFR 312 of the Goldstar Foods site located in the Ybor City section of the City of Tampa, Hillsborough County, FL. Any exceptions to or deletions from this practice are described in Section 7.0, Exceptions/Data Gaps section of this report. This

assessment has revealed evidence of the following potential recognized environmental conditions (REC) in connection with the property:

Finding 1) The site address is listed as a leaking underground storage tank (LUST) site, a DWM Contaminated site, a Historic Automobile Service site, a Florida UST site and a Cleanup site in the EDR Radius Map Report. The Florida DEP facility site ID # is 8944840 and the Florida DEP Cleanup Site Key # is 597343428. The site is listed as an open site, therefore it is an active retail site. The site is listed as having an open discharge cleanup status from a discharge reported on 11/30/2010. This means the site has not undergone any cleanup activities. Therefore, this discharge represents a REC. There are monitoring wells located in the concrete slab and sidewalk at the site which may be in the proposed right of way construction. Therefore, these well locations should be properly surveyed for location to determine if they are within the right of way. If so, they should be closed prior to the construction activities to prevent any accidental release of hazardous material contacting the wellhead locations. This closure should be coordinated with the Hillsborough County EPC Case Manager, Mr. Charles Heintz. The proposed construction involves sidewalk and road reconstruction which is expected to impact depths from grade to approximately twenty feet below grade surface (bgs). Static groundwater levels are approximately 23 to 30 feet bgs. Therefore, if any soil or groundwater contamination exists (up to 20 feet below grade) in the vicinity of the future remediation area, it may be expected to impact the proposed construction activities.

Finding 2) The use of PCBs in newly manufactured electrical equipment and oils has been banned since 1979. There is one pole mounted transformer present which may contain PCB containing dielectric fluid. Therefore, this item is a potential REC. However, the pole mounted transformer does not appear to be leaking and is owned by the electric power supplier, TECO (TECO pole # 037342). Therefore, if future leakage would occur, it would be the responsibility of TECO to perform any related cleanup. The transformer does not appear to be within the proposed right of way construction area. Based on these assumptions, this finding does not represent a REC.

Finding 3) At least eight 55-gallon drums of unknown contents were stored to the rear or east side of the convenience store building. No significant leakage or staining was observed on the asphalt surface. These drums represent a REC. These drums should be

characterized and properly disposed of by the owner. These drums would not be expected to impact the proposed right of way construction.

7.0 EXCEPTIONS/DATA GAPS

Section Reference 3.1: Explanation

A complete, thorough 50 year chain of title was not obtained for the site due to the county deed records becoming too complex to trace back. Also, the microfilm viewing machine was not operating properly at the time of the records search. If a thorough chain of title is required, an abstract company should be retained. Also, data gaps are present which determine exact site usage of the site for every year dating back to when the site was undeveloped.

Section Reference 4.3: Explanation

This assessment is limited to exterior observations only as no access was granted to observe interior conditions.

8.0 NON-SCOPE ISSUES

Radon

The EPA has established 4 picocuries per liter (“pCi/L”) of radon gas in indoor air as a guidance level for residences. Accumulations above 4 pCi/L are considered to represent a health risk to occupants. Hillsborough County is known to lie within an area that has elevated radon levels. The EDR Report has identified 50% of the structures tested in the basements of Hillsborough County residences are above the guidance level. None of the structures tested within the 33602 zip code area were above the EPA level. Actual radon concentration can only be determined by actual on-site measurement. Radon was not evaluated as part of this EA. The possible presence of naturally occurring radon is a non-scope issue, as it is not included in CERCLA’s definition of hazardous substances and does not otherwise present potential CERCLA liability.

Asbestos

The issue of asbestos is outside the scope of the Phase I ESA standard practice. Effective October 11, 1994, the Occupational Safety and Health Administration (“OSHA”) expanded the scope of its general industry standard for asbestos, 29 CFR

1910.1001. The standard requiring asbestos building surveys now applies to virtually all buildings constructed before 1980 and brings OSHA' enforcement power to an issue which was previously regulated by the EPA's National Emission Standards for Hazardous air Pollutants ("NESHAPS"). Since the building on site was constructed around 1964, suspect asbestos materials may be expected to be a business risk. Suspect materials may include but not be limited to drywall ceilings and walls, suspended ceiling tiles, thermal system insulation, roofing materials, etc. If renovation or demolition of the site building is planned, the areas or building involved should be inspected by an accredited building inspector prior to disturbance.

Lead Based Paint

Lead-based paint was not evaluated as part of this EA. Since the building on site was reportedly constructed before 1978, lead paint may be expected to be a business issue. The possible presence of lead-containing paint is a non-scope issue, as lead-containing paint is not included in CERCLA's definition of hazardous substances and does not otherwise present potential CERCLA liability. Due to the age of the building on site, suspect lead based paint may be located within the building. Lead based paint inspections relating to human exposure are not required in commercial or industrial settings. However, OSHA regulates lead as it relates to employee exposure if the material is disturbed. The condition of painted surfaces is in fair to good condition.

ATTACHMENT I

User Questionnaire



PHASE I ENVIRONMENTAL ASSESSMENT USER QUESTIONNAIRE

Purchaser: _____

Purchaser's Telephone No.: _____

Owner's Name: _____

Owner's Telephone No.: _____

Subject Property: _____

1. **Land use:** Is the property or adjoining property currently used for manufacturing or industrial use?
Adjoining properties include those that border the immediate site and include properties across the street from the property.
YES NO (If "YES", please describe)

Subject Property: _____
Adjoining property north: _____
Adjoining property south: _____
Adjoining property east: _____
Adjoining property west: _____

2. Has the property or adjoining property been used for manufacturing or industrial purposes in the past?
YES NO (If "YES", please describe)

Owner / Use / Date(s) Subject Property Previous use: _____
Previous use (north): _____
Previous use (south): _____
Previous use (east): _____
Previous use (west): _____

3. Are there any pesticides, automotive or industrial batteries, paints or other chemicals stored on the property or at the facility other than undamaged containers of consumer products under five gallons in total volume?
YES NO (If "YES", please describe)





4. Are there any plastic or metal industrial drums (typically 55-gallon) located on the property or at the facility?
YES NO (If "YES", please describe)

5. Has fill dirt been brought onto the site that could be contaminated?
YES NO (If "YES", please describe)

6. Have any construction debris, substances identified as hazardous, unidentified waste materials, tires, automotive or industrial batteries or any other waste materials been dumped above grade, buried and/or burned on the site?
YES NO (If "YES", please describe)

7. Are there any pits, ponds or lagoons located on the property in connection with waste treatment or waste disposal?
YES NO (If "YES", please describe)

- Is there any soil on the property that has been obviously stained? YES NO (If "YES", please describe)
Are storage tanks above or underground located on the property? YES NO (If "YES", please describe)

10. Are vent pipes protruding from the ground or buildings at the property or adjacent to any structure located on the property?
YES NO (If "YES", please describe)

11. Does the property discharge waste water, other than storm water, directly to a ditch or stream on or adjacent to the property?
YES NO (If "YES", please describe)

12. If the property is served by a private well or non-public water system has the well or water system been designated as contaminated by a governmental environmental or health agency?
YES NO (If "YES", please describe)

13. **Asbestos:** Does the property or any buildings located on the property contain any asbestos?
YES NO (If "YES", please describe)

14. **Polychlorinated biphenyls (PCBs):** Have polychlorinated biphenyls been used in electrical transformers, capacitors or other equipment at the property?
YES NO (If "YES", please describe)

OHC ENVIRONMENTAL ENGINEERING, INC.
101 SOUTH HOOVER BLVD, SUITE 101 • TAMPA, FLORIDA 33609
PHONE: (813) 626-8156 • FAX: (813) 623-6702
WEBSITE: WWW.OHCNET.COM

Page 2 of 4





15. Is there a transformer that is not owned by a public or private utility or group and for which there are no records indicating the absence of PCBs?
YES NO (If "YES", please describe)
16. **Radon:** Has the property or any buildings located on the property been tested for radon?
YES NO (If "YES", please describe)
17. **Urea-Formaldehyde:** Does the property or any buildings located on the property contain any urea-formaldehyde materials?
YES NO (If "YES", please describe)
18. **Lead:** Does the property or any buildings located on the property contain any lead-based paint or lead plumbing?
YES NO (If "YES", please describe)
19. **Miscellaneous:** Does the owner of the property or operator of the facility have any knowledge of environmental liens, activity/use limitations or governmental notification relating to violations of environmental laws on the property or any facility located on the property?
YES NO (If "YES", please describe)
20. Has the owner of the property or operator of the facility been informed of the presence of hazardous substances or environmental violations in regards to the property or any facility located on the property?
YES NO (If "YES", please describe)
21. Are you aware of any environmental assessment of the property that indicated the presence of hazardous substances on the site or recommended further assessment of the property?
YES NO (If "YES", please describe)
22. Are there past, current or pending lawsuits or administrative proceedings for alleged environmental damages involving the property or any owner or tenant of the property? YES NO (If "YES", please describe)
23. Does the purchase and/or sales price of this property reflect the presence of hazardous substances on the property?
YES NO (If "YES", please describe)

OHC ENVIRONMENTAL ENGINEERING, INC.
101 SOUTH HOOVER BLVD, SUITE 101 • TAMPA, FLORIDA 33609
PHONE: (813) 626-8156 • FAX: (813) 623-6702
WEBSITE: WWW.OHCNET.COM

Page 3 of 4





24. **Agricultural Land:** Have pesticides, herbicides or other agricultural chemicals been stored, mixed on or applied to the property? YES NO (If "YES", please describe)

This questionnaire was completed by the property owner (*required*):

Owner's/Seller's Signature: _____

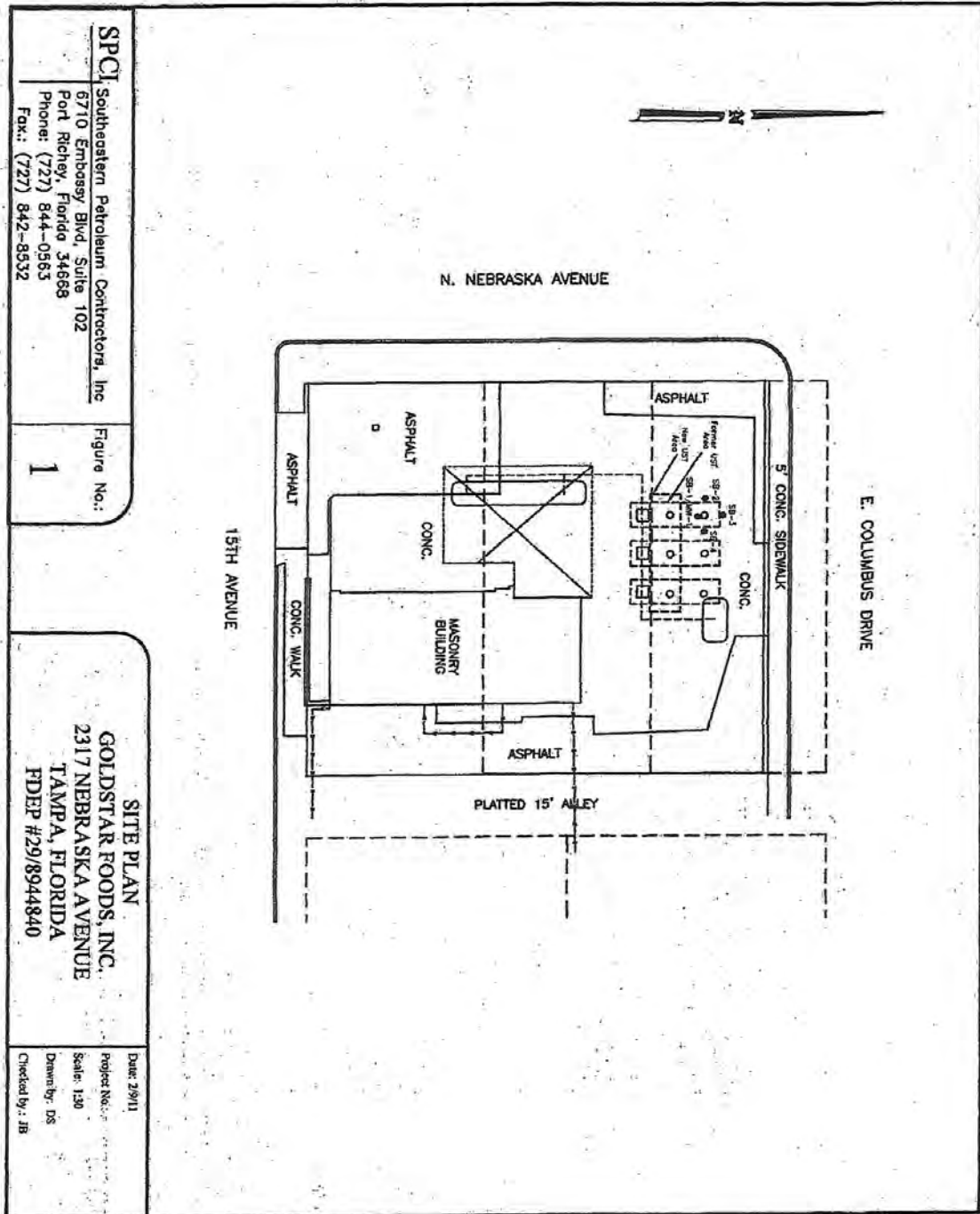
Owner's Printed Name: _____

Address:



ATTACHMENT II

Site Maps/Tax Assessment Information



SPCI Southeastern Petroleum Contractors, Inc
 6710 Embossy Blvd, Suite 102
 Port Richey, Florida 34668
 Phone: (727) 844-0953
 Fax: (727) 842-8532

Figure No.:
1

SITE PLAN
GOLDSTAR FOODS, INC.
2317 NEBRASKA AVENUE
TAMPA, FLORIDA
FDEP #29/8944840

Date: 2/9/11
 Project No.:
 Scale: 1/20
 Drawn by: DS
 Checked by: JS



Bob Henriquez
 Hillsborough County Property Appraiser

<https://www.hcpaf.org/>
 15th Floor County Ctr.
 601 E. Kennedy Blvd, Tampa, Florida 33602-4932
 Ph: (813) 272-6100

Folio: 198390-0000



Owner Information	
Owner Name	O'HENRY'S FOODS INC
Mailing Address	4411 LARKFIELD LN TAMPA, FL 33624-1148
Site Address	2317 N NEBRASKA AVE, TAMPA
PIN	A-18-29-19-51D-000000-00001.0
Folio	198390-0000
Prior PIN	
Prior Folio	000000-0000
Tax District	TA - TAMPA
Property Use	1422 Conv Store /Gas C
Plat Book/Page	12/57
Neighborhood	205003.00 Ybor Area N of I-4
Subdivision	51D ELIZABETH RESUBDIVISION OF BLOCK 1

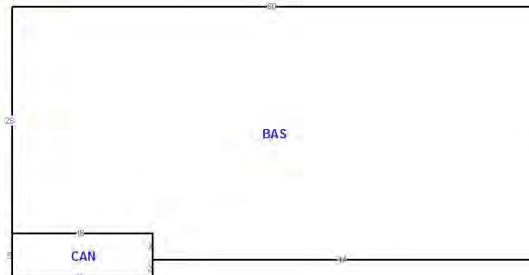
Value Summary				
Taxing District	Market Value	Assessed Value	Exemptions	Taxable Value
County	\$265,962	\$199,993	\$0	\$199,993
Public Schools	\$265,962	\$265,962	\$0	\$265,962
Municipal	\$265,962	\$199,993	\$0	\$199,993
Other Districts	\$265,962	\$199,993	\$0	\$199,993

Note: This section shows Market Value, Assessed Value, Exemptions, and Taxable Value for taxing districts. Because of changes in Florida Law, it is possible to have different assessed and taxable values on the same property. For example, the additional \$25,000 Homestead Exemption and the non-homestead CAP do not apply to public schools, and the Low Income Senior Exemption only applies to countywide and certain municipal millages.

Sales Information							
Book	Page	Month	Year	Type Inst	Qualified or Unqualified	Vacant or Improved	Price
5109	1229	05	1987	WD	Qualified	Improved	\$150,000
5114	0990	05	1987	WD	Qualified	Improved	\$295,000
4473	0758	12	1984	WD	Qualified	Improved	\$75,000



Building Information		
Building 1		
Type	43	CONVENIENCE STORE
Year Built	1964	
Building 1 Construction Details		
Element	Code	Construction Detail
Class	C	Masonry or Concrete Frame
Exterior Wall	5	Concrete Block
Exterior Wall	7	Masonry Fm: Stucco
Roof Structure	10	Steel Frame
Roof Cover	12	Rubber or Plastic
Interior Walls	5	Drywall
Interior Flooring	2	Concrete Finished
Heat/AC	2	Central
Plumbing	3	Typical
Condition	3	Average
Stories	1.0	
Units	1.0	
Wall Height	14.00	



Building 1 subarea			
Area Type	Gross Area	Heated Area	Depreciated Value
BAS	1,692	1,692	\$73,908
CAN	80		\$1,048
Totals	1,772	1,692	\$74,956

Extra Features							
OB/XF Code	Description	Building	Year On Roll	Length	Width	Units	Value
0540	CANOPY GAS PUMP	1	2003	0	0	1,072.00	\$21,494
0020	ASPHALT PAVING	1	1964	0	0	4,272.00	\$3,360
0060	CONCRETE PAVEMENT	1	1964	0	0	3,210.00	\$6,548
0060	CONCRETE PAVEMENT	1	2012	0	0	2,368.00	\$9,093
1051	UndrGrd fuel tank conv. stores	1	2019	0	0	20,000.00	\$56,280

Land Information							
Use Code	Description	Zone	Front	Depth	Land Type	Total Land Units	Land Value
TLGK	TL Class 7	YC-5	109.00	95.00	SF SQUARE FEET	10,355.00	\$94,230

Legal Description
 ELIZABETH RESUBDIVISION OF BLOCK 1 LOTS 1 AND 2 AND LOT 3 LESS N 15 FT FOR RD

ATTACHMENT III

Site Photographs



West Side of Building



South Side of Building



East Side of Building



North Side of Building



Monitoring Well



Pole Mounted Transformer



Exterior Drum Storage

ATTACHMENT IV

EDR Regulatory Database Report

November 24, 2019
Mr. Jeff Siewert – Ayres Associates
2317 North Nebraska Avenue
Phase I Environmental Assessment
OHC Project No. 190237-ES

Goldstar Foods
2317 North Nebraska Avenue
Tampa, FL 33602

Inquiry Number: 5864597.2s
November 11, 2019

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

FORM-LBC-DVV



TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary.....	ES1
Overview Map.....	2
Detail Map.....	3
Map Findings Summary.....	4
Map Findings.....	8
Orphan Summary.....	154
Government Records Searched/Data Currency Tracking.....	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum.....	A-1
Physical Setting Source Summary.....	A-2
Physical Setting SSURGO Soil Map.....	A-6
Physical Setting Source Map.....	A-9
Physical Setting Source Map Findings.....	A-11
Physical Setting Source Records Searched.....	PSGR-1

Thank you for your business.
 Please contact EDR at 1-800-352-0050
 with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission. EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.



EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

2317 NORTH NEBRASKA AVENUE
TAMPA, FL 33602

COORDINATES

Latitude (North):	27.9666070 - 27° 57' 59.78"
Longitude (West):	82.4509840 - 82° 27' 3.54"
Universal Transverse Mercator:	Zone 17
UTM X (Meters):	357280.3
UTM Y (Meters):	3094179.2
Elevation:	41 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map:	5655712 TAMPA, FL
Version Date:	2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from:	20150510
Source:	USDA

MAPPED SITES SUMMARY

Target Property Address:
 2317 NORTH NEBRASKA AVENUE
 TAMPA, FL 33602

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1	GOLDSTAR FOODS	2317 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM, CONTAM, Financial...		TP
A2	ULTRA TUNE CL AVANA	2317 NEBRASKA AVE	EDR Hist Auto		TP
A3	GOLDSTAR FOODS	2317 N NEBRASKA AVE	RGALUST		TP
Reg	CENTRO ASTURIANO PLA		BROWNFIELDS	Same	2190, 0.415, NE
A4	GENES SERVICE	2318 N NEBRASKA AVE	UST	Higher	140, 0.027, West
A5	GENE S SIXTY SIX SER	2318 NEBRASKA AVE	EDR Hist Auto	Higher	140, 0.027, West
A6	JOHNSON J C	2705 NEBRASKA AVE	EDR Hist Cleaner	Higher	151, 0.029, NNW
B7	EASTERN SERVICE STAT	2309 NEBRASKA AV	EDR Hist Auto	Higher	158, 0.030, South
B8	COASTAL MART #643	2309 N NEBRASKA AVE	UST	Higher	158, 0.030, South
C9	GORDON J G	2709 NEBRASKA AVE	EDR Hist Cleaner	Higher	189, 0.036, NNW
C10	MILLER WM B	2721 NEBRASKA AVE	EDR Hist Auto	Higher	305, 0.058, North
C11	BEST CLEANING SERVIC	2722 NEBRASKA AVE	EDR Hist Cleaner	Higher	317, 0.060, NNW
12	BAY CITY GARAGE	508-14 JACKSON	EDR Hist Auto	Higher	422, 0.080, South
13	TRINITY CAFE	2801 N NEBRASKA AVE	LUST, UST, Financial Assurance	Higher	435, 0.082, North
14	HILLSBOROUGH CNTY SC	707 E COLUMBUS DR	UST, AST	Higher	473, 0.090, West
15	GLASS FREDK W REAR	914 14TH AVE	EDR Hist Auto	Lower	535, 0.101, SE
16	NEBRASKA CLEANERS	2809 NEBRASKA AVE	EDR Hist Cleaner	Higher	607, 0.115, North
17		2812 N 9TH STREET	DEDB	Higher	634, 0.120, NNE
18	R10 - FOLIO NO. 1868	2813 NORTH 9TH STREE	US BROWNFIELDS, FINDS	Higher	772, 0.146, NNE
19	EAST TAMPA AFFORDABL	906 EAST 19TH AVENUE	US BROWNFIELDS	Higher	871, 0.165, North
20	TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	LUST, UST, AST, CLEANUP SITES, DWM CONTAM,...	Higher	1228, 0.233, NNW
21	DANNY'S GENERATORS	1023 E COLUMBUS DR	LUST, UST, CLEANUP SITES, DWM CONTAM	Lower	1245, 0.236, East
D22	GIGLIO PROPERTY	2007 NEBRASKA AVE	LUST, UST	Higher	1413, 0.268, South
D23	TORRES TRANSMISSIONS	2002 N NEBRASKA AVE	LUST, UST	Higher	1496, 0.283, South
24	TRAILER SERVICE INC	1213 17TH AVE	SWF/LF	Higher	1577, 0.299, ENE
25	PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	VCP, FI Sites, CLEANUP SITES, DWM CONTAM, RESP...	Lower	1590, 0.301, ESE
26	EAST 23RD BATTERY	903 EAST 23RD AVENUE	SEMS, PRP, ICIS	Higher	1877, 0.355, North
27	EASTELL & CORNELL TH	909 E 23RD AVE	SWF/LF	Higher	1885, 0.357, North
28	CRESCENZO PROPERTY	520 FLORIBRASKA AVE	LUST, UST, Financial Assurance	Higher	1942, 0.368, NNW
29	COLUMBUS FOOD MART	1312 E COLUMBUS DR	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	2103, 0.398, East
E30	STAR #1229	1802 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM CONTAM	Lower	2138, 0.405, South
31	VIMAL INVESTMENT LLC	3115 N NEBRASKA AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Higher	2163, 0.410, North
32	SILVER DOLLAR TAVERN	411 E PALM	LUST, UST	Lower	2205, 0.418, SW
E33	HILLSBOROUGH COMMUNI	7TH AVE & NEBRASKA A	LUST, UST, CLEANUP SITES, DWM CONTAM	Lower	2218, 0.420, South
34	CHANDRA PATEL	3201 N NEBRASKA AVE	SWF/LF	Higher	2322, 0.440, North
35	TAMPA ELECTRIC CO-TE	1898 NUCCIO PKY	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	2348, 0.445, SSE
36	TAMPA CITY-YBOR GRAM	1407 E COLUMBUS AVE	LUST, UST	Lower	2384, 0.452, East
37	BP #429-SHAMIES	901 E 7TH AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	2384, 0.452, South
38	KWIK STOP	934 E HENDERSON AVE	LUST, UST, CLEANUP SITES, DWM CONTAM, Financial...	Lower	2386, 0.452, South

MAPPED SITES SUMMARY

Target Property Address:
2317 NORTH NEBRASKA AVENUE
TAMPA, FL 33602

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
39	JOSUE BETANCOURT	1315 HOLMES AVENUE	SWF/LF	Higher	2448, 0.464, ENE
40	DEEPER LIFE CHRISTIA	3300 N NEBRASKA AVE	SWF/LF	Lower	2500, 0.473, North
41	CENTRO AUSTURIANO HO	1302 E 21ST AVE	VCP, RESP PARTY	Higher	2545, 0.482, NE
F42	HIGHTOWER PROPERTY	3301 NORTH NEBRASKA	INST CONTROL	Higher	2579, 0.488, North
F43	HIGHTOWER PROPERTY	3301 N NEBRASKA AVE	SWF/LF, LUST, UST, Financial Assurance	Higher	2579, 0.488, North
F44	EAST TAMPA - HIGHTOW	3301 N NEBRASKA AVEN	US BROWNFIELDS, FINDS	Higher	2579, 0.488, North
45	DEVOE & RAYNOLDS COM	1010-26 NORTH 19TH S	FI Sites	Higher	2857, 0.541, NNE
46	PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	EDR MGP	Lower	4037, 0.765, SSE
47	FORT BROOKE		FUDS	Lower	5171, 0.979, SSE

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report

Site	Database(s)	EPA ID
GOLDSTAR FOODS 2317 N NEBRASKA AVE TAMPA, FL 33602	LUST UST Database: UST, Date of Government Version: 05/17/2019 Tank Status: B Tank Status: U Facility-Site Id: 8944840 Facility Status: OPEN CLEANUP SITES DEP Cleanup Site Key: 59734328 DWM CONTAM Program Site Id: 8944840 Financial Assurance Database: Financial Assurance 3, Date of Government Version: 05/02/2019 Facility Status: OPEN Facility ID: 8944840	N/A
ULTRA TUNE CL AVANA 2317 NEBRASKA AVE TAMPA, FL	EDR Hist Auto	N/A
GOLDSTAR FOODS 2317 N NEBRASKA AVE TAMPA, FL	RG4 LUST Facility ID: 8944840	N/A

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
 Proposed NPL..... Proposed National Priority List Sites
 NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions



EXECUTIVE SUMMARY

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators

RCRA-SQG..... RCRA - Small Quantity Generators

RCRA-VSQQ..... RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System

US ENG CONTROLS..... Engineering Controls Sites List

US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... Florida's State-Funded Action Sites

State and tribal leaking storage tank lists

LAST..... Leaking Aboveground Storage Tank Listing

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FF TANKS..... Federal Facilities Listing

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

TANKS..... Storage Tank Facility List

State and tribal institutional control / engineering control registries

ENG CONTROLS..... Institutional Controls Registry

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

EXECUTIVE SUMMARY

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Landfill / Solid Waste Disposal Sites

SWRCY..... Recycling Centers
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
ODI..... Open Dump Inventory
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
PRIORITYCLEANERS..... Priority Ranking List
US CDL..... National Clandestine Laboratory Register
PFAS..... PFOS and PFOA stand for perfluorooctane sulfonate and perfluorooctanoic acid

Local Land Records

LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Oil and Hazardous Materials Incidents
SPILLS 90..... SPILLS 90 data from FirstSearch
SPILLS 80..... SPILLS 80 data from FirstSearch

Other Ascertainable Records

RCRA NonGen / NLR..... RCRA - Non Generators / No Longer Regulated
DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR..... Financial Assurance Information
EPA WATCH LIST..... EPA WATCH LIST
2020 COR ACTION..... 2020 Corrective Action Program List
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
ROD..... Records Of Decision
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PRP..... Potentially Responsible Parties
PADS..... PCB Activity Database System
ICIS..... Integrated Compliance Information System
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS..... Material Licensing Tracking System
COAL ASH DOE..... Steam-Electric Plant Operation Data
COAL ASH EPA..... Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER..... PCB Transformer Registration Database
RADINFO..... Radiation Information Database
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing

EXECUTIVE SUMMARY

DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
FINDS.....	Facility Index System/Facility Registry System
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
ECHO.....	Enforcement & Compliance History Information
UXO.....	Unexploded Ordnance Sites
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
AIRS.....	Permitted Facilities Listing
ASBESTOS.....	ASBESTOS
DRYCLEANERS.....	Drycleaning Facilities
FL Cattle Dip Vats.....	Cattle Dipping Vats
SITE INV SITES.....	Site Investigation Section Sites Listing
TIER 2.....	Tier 2 Facility Listing
UIC.....	Underground Injection Wells Database Listing
NPDES.....	Wastewater Facility Regulation Database
MINES MRDS.....	Mineral Resources Data System

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA HWS.....	Recovered Government Archive State Hazardous Waste Facilities List
RGA LF.....	Recovered Government Archive Solid Waste Facilities List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal CERCLIS list

SEMS: SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly known as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains

EXECUTIVE SUMMARY

data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

A review of the SEMS list, as provided by EDR, and dated 07/19/2019 has revealed that there is 1 SEMS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EAST 23RD BATTERY Site ID: 0409761 EPA ID: FLN000409761	903 EAST 23RD AVENUE	N 1/4 - 1/2 (0.355 mi.)	26	63

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the Department of Environmental Protection's Facility Directory (Solid Waste Facilities).

A review of the SWF/LF list, as provided by EDR, has revealed that there are 6 SWF/LF sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TRAILER SERVICE INC Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 96603 Class Status: INACTIVE (I)	1213 17TH AVE	ENE 1/4 - 1/2 (0.299 mi.)	24	60
EASTELL & CORNELL TH Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 97087 Class Status: INACTIVE (I)	909 E 23RD AVE	N 1/4 - 1/2 (0.357 mi.)	27	65
CHANDRA PATEL Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 95720 Class Status: REGISTERED (R)	3201 N NEBRASKA AVE	N 1/4 - 1/2 (0.440 mi.)	34	107
JOSUE BETANCOURT Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 103806 Class Status: INACTIVE (I)	1315 HOLMES AVENUE	ENE 1/4 - 1/2 (0.464 mi.)	39	136
HIGHTOWER PROPERTY Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 98469 Class Status: INACTIVE (I)	3301 N NEBRASKA AVE	N 1/4 - 1/2 (0.488 mi.)	F43	141

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DEEPER LIFE CHRISTIA Database: SWF/LF, Date of Government Version: 07/16/2019 Facility-Site Id: 96635 Class Status: REGISTERED (R)	3300 N NEBRASKA AVE	N 1/4 - 1/2 (0.473 mi.)	40	137

EXECUTIVE SUMMARY

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Environmental Protection's PCTO1--Petroleum Contamination Detail Report.

A review of the LUST list, as provided by EDR, and dated 07/30/2019 has revealed that there are 16 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TRINITY CAFE	2801 N NEBRASKA AVE	N 0 - 1/8 (0.082 mi.)	13	23
TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	NNW 1/8 - 1/4 (0.233 mi.)	20	35
GIGLIO PROPERTY	2007 NEBRASKA AVE	S 1/4 - 1/2 (0.268 mi.)	D22	50
TORRES TRANSMISSIONS	2002 N NEBRASKA AVE	S 1/4 - 1/2 (0.283 mi.)	D23	55
CRESCENZO PROPERTY	520 FLORIBRASKA AVE	NNW 1/4 - 1/2 (0.368 mi.)	28	66
VIMAL INVESTMENT LLC	3115 N NEBRASKA AVE	N 1/4 - 1/2 (0.410 mi.)	31	88
HIGHTOWER PROPERTY	3301 N NEBRASKA AVE	N 1/4 - 1/2 (0.488 mi.)	F43	141
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DANNY'S GENERATORS	1023 E COLUMBUS DR	E 1/8 - 1/4 (0.236 mi.)	21	42
COLUMBUS FOOD MART	1312 E COLUMBUS DR	E 1/4 - 1/2 (0.398 mi.)	29	70
STAR #1229	1802 N NEBRASKA AVE	S 1/4 - 1/2 (0.405 mi.)	E30	83
SILVER DOLLAR TAVERN	411 E PALM	SW 1/4 - 1/2 (0.418 mi.)	32	101
HILLSBOROUGH COMMUNI	7TH AVE & NEBRASKA A	S 1/4 - 1/2 (0.420 mi.)	E33	104
TAMPA ELECTRIC CO-TE	1898 NUCCIO PKY	SSE 1/4 - 1/2 (0.445 mi.)	35	108
TAMPA CITY-YBOR GRAM	1407 E COLUMBUS AVE	E 1/4 - 1/2 (0.452 mi.)	36	121
BP #429-SHAMIES	901 E 7TH AVE	S 1/4 - 1/2 (0.452 mi.)	37	124
KWIK STOP	934 E HENDERSON AVE	S 1/4 - 1/2 (0.452 mi.)	38	130

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. Shortly after the September 11 event, the DEP was instructed to remove the detail about some of the storage tank facilities in the state from their reports. Federal-owned facilities and bulk storage facilities are included in that set.

A review of the UST list, as provided by EDR, has revealed that there are 6 UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GENES SERVICE Database: UST, Date of Government Version: 05/17/2019 Tank Status: A Facility-Site Id: 8525737 Facility Status: CLOSED	2318 N NEBRASKA AVE	W 0 - 1/8 (0.027 mi.)	A4	17
COASTAL MART #643 Database: UST, Date of Government Version: 05/17/2019 Tank Status: B Facility-Site Id: 8508941 Facility Status: CLOSED	2309 N NEBRASKA AVE	S 0 - 1/8 (0.030 mi.)	B8	20
TRINITY CAFE Database: UST, Date of Government Version: 05/17/2019	2801 N NEBRASKA AVE	N 0 - 1/8 (0.082 mi.)	13	23

EXECUTIVE SUMMARY

Tank Status: B				
Facility-Site Id: 9813324				
Facility Status: CLOSED				
HILLSBOROUGH CNTY SC	707 E COLUMBUS DR	W 0 - 1/8 (0.090 mi.)	14	27
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 8736992				
Facility Status: OPEN				
TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	NNW 1/8 - 1/4 (0.233 mi.)	20	35
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 8842212				
Facility Status: CLOSED				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DANNY'S GENERATORS	1023 E COLUMBUS DR	E 1/8 - 1/4 (0.236 mi.)	21	42
Database: UST, Date of Government Version: 05/17/2019				
Tank Status: B				
Facility-Site Id: 8508982				
Facility Status: CLOSED				

AST: Shortly after the Sept 11 event, the DEP was instructed to remove the detail about some of the storage tank facilities in the state from their reports. Federal-owned facilities and bulk storage facilities are included in that set.

A review of the AST list, as provided by EDR, has revealed that there are 2 AST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HILLSBOROUGH CNTY SC	707 E COLUMBUS DR	W 0 - 1/8 (0.090 mi.)	14	27
Database: AST, Date of Government Version: 05/17/2019				
Facility Status: OPEN				
Facility-Site Id: 8736992				
Facility Status: OPEN				
TAMPA CITY-FIRE DEPT	2904 N MITCHELL AVE	NNW 1/8 - 1/4 (0.233 mi.)	20	35
Database: AST, Date of Government Version: 05/17/2019				
Facility Status: CLOSED				
Facility-Site Id: 8842212				
Facility Status: CLOSED				

State and tribal institutional control / engineering control registries

INST CONTROL: The registry is a database of all contaminated sites in the state of Florida which are subject to institutional and engineering controls.

A review of the INST CONTROL list, as provided by EDR, and dated 06/28/2019 has revealed that there is 1 INST CONTROL site within approximately 0.5 miles of the target property.



EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
HIGHTOWER PROPERTY Facility-Site Id: ERIC_6582 Facility-Site Id: 9812414	3301 NORTH NEBRASKA	N 1/4 - 1/2 (0.488 mi.)	F42	138

State and tribal voluntary cleanup sites

VCP: The Florida Voluntary Cleanup Program database.

A review of the VCP list, as provided by EDR, and dated 06/28/2019 has revealed that there are 2 VCP sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO ASTURIANO HO Status: CLOSED Comet-Site Id: 268895	1302 E 21ST AVE	NE 1/4 - 1/2 (0.482 mi.)	41	137

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Status: OPEN Comet Site Id: 65122	1200 NORTH 13TH STRE	ESE 1/4 - 1/2 (0.301 mi.)	25	60

State and tribal Brownfields sites

BROWNFIELDS: Brownfields are defined by the Florida Department of Environmental Protection (FDEP) as abandoned, idled, or underused industrial and commercial facilities where expansion or redevelopment is complicated by real or perceived environmental contamination.

A review of the BROWNFIELDS list, as provided by EDR, has revealed that there is 1 BROWNFIELDS site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO ASTURIANO PLA Database: BROWNFIELDS AREAS, Date of Government Version: 05/06/2019		NE 1/4 - 1/2 (0.415 mi.)	0	17

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: The EPA's listing of Brownfields properties from the Cleanups in My Community program, which provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

A review of the US BROWNFIELDS list, as provided by EDR, and dated 06/03/2019 has revealed that there

EXECUTIVE SUMMARY

are 3 US BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
R10 - FOLIO NO. 1868 ACRES property ID: 106261	2813 NORTH 9TH STREE	NNE 1/8 - 1/4 (0.146 mi.)	18	29
EAST TAMPA AFFORDABL ACRES property ID: 60011	908 EAST 19TH AVENUE	N 1/8 - 1/4 (0.165 mi.)	19	32
EAST TAMPA - HIGHTOW ACRES property ID: 111450	3301 N NEBRASKA AVEN	N 1/4 - 1/2 (0.488 mi.)	F44	146

Local Lists of Hazardous waste / Contaminated Sites

FI Sites: This summary status report is a compilation and revision of other existing lists. It was developed from a number of lists including the Eckhardt list, the Moffit list, the EPA Hazardous Waste Sites list, EPA's Emergency and Remedial Response Information System list (RCRA Section 3012), and existing department lists such as the Obsolete Uncontrolled Hazardous Waste Sites list. The purpose of this list is to track the progress of activities within and outside the department as they relate to the listed sites. It is not a list of uncontrolled sites or sources causing environmental contamination. The Sites List comes from the Department of Environmental Protection.

A review of the FI Sites list, as provided by EDR, and dated 12/31/1989 has revealed that there are 2 FI Sites sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DEVOE & RAYNOLDS COM EPA ID: FLD130010176 Facility-Site Id: 000451	1010-26 NORTH 19TH S	NNE 1/2 - 1 (0.541 mi.)	45	152
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Facility-Site Id: 000480	1200 NORTH 13TH STRE	ESE 1/4 - 1/2 (0.301 mi.)	25	60

Other Ascertainable Records

FUDS: The Listing includes locations of Formerly Used Defense Sites Properties where the US Army Corps Of Engineers is actively working or will take necessary cleanup actions.

A review of the FUDS list, as provided by EDR, and dated 05/15/2019 has revealed that there is 1 FUDS site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
FORT BROOKE		SSE 1/2 - 1 (0.979 mi.)	47	153

EXECUTIVE SUMMARY

DEDB: Ethylene dibromide (EDB), a soil fumigant, that has been detected in drinking water wells. The amount found exceeds the maximum contaminant level as stated in Chapter 62-550 or 520. It is a potential threat to public health when present in drinking water.

A review of the DEDB list, as provided by EDR, and dated 06/18/2019 has revealed that there is 1 DEDB site within approximately 0.25 miles of the target property

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported Well Id: 290083701	2812 N 9TH STREET	NNE 0 - 1/8 (0.120 mi.)	17	28

DWM CONTAM: A listing of active or known sites. The listing includes sites that need cleanup but are not actively being working on because the agency currently does not have funding (primarily petroleum and drycleaning).

A review of the DWM CONTAM list, as provided by EDR, and dated 01/28/2019 has revealed that there are 10 DWM CONTAM sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TAMPA CITY-FIRE DEPT Program Site Id: 8842212	2904 N MITCHELL AVE	NNW 1/8 - 1/4 (0.233 mi.)	20	35
VIMAL INVESTMENT LLC Program Site Id: 8625232	3115 N NEBRASKA AVE	N 1/4 - 1/2 (0.410 mi.)	31	88

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DANNY'S GENERATORS Program Site Id: 8508982	1023 E COLUMBUS DR	E 1/8 - 1/4 (0.236 mi.)	21	42
PEOPLES GAS SYSTEM Program Site Id: 65122	1200 NORTH 13TH STRE	ESE 1/4 - 1/2 (0.301 mi.)	25	60
COLUMBUS FOOD MART Program Site Id: 8624765	1312 E COLUMBUS DR	E 1/4 - 1/2 (0.398 mi.)	29	70
STAR #1229 Program Site Id: 8625656	1802 N NEBRASKA AVE	S 1/4 - 1/2 (0.405 mi.)	E30	83
HILLSBOROUGH COMMUNI Program Site Id: 9802434	7TH AVE & NEBRASKA A	S 1/4 - 1/2 (0.420 mi.)	E33	104
TAMPA ELECTRIC CO-TE Program Site Id: 8839853	1898 NUCCIO PKY	SSE 1/4 - 1/2 (0.445 mi.)	35	108
BP #429-SHAMIES Program Site Id: 8624761	901 E 7TH AVE	S 1/4 - 1/2 (0.452 mi.)	37	124
KWIK STOP Program Site Id: 8625526	934 E HENDERSON AVE	S 1/4 - 1/2 (0.452 mi.)	38	130

RESP PARTY: Open, inactive and closed responsible party sites

A review of the RESP PARTY list, as provided by EDR, and dated 06/30/2019 has revealed that there are 2 RESP PARTY sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CENTRO AUSTURIANO HO	1302 E 21ST AVE	NE 1/4 - 1/2 (0.482 mi.)	41	137

EXECUTIVE SUMMARY

Site Status: CLOSED

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM Site Status: OPEN	1200 NORTH 13TH STRE	ESE 1/4 - 1/2 (0.301 mi.)	25	60

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the EDR MGP list, as provided by EDR, has revealed that there is 1 EDR MGP site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEOPLES GAS SYSTEM	1200 NORTH 13TH STRE	SSE 1/2 - 1 (0.765 mi.)	46	152

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there are 5 EDR Hist Auto sites within approximately 0.125 miles of the target property:

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GENE S SIXTY SIX SER	2318 NEBRASKA AVE	W 0 - 1/8 (0.027 mi.)	A6	18
EASTERN SERVICE STAT	2309 NEBRASKA AV	S 0 - 1/8 (0.030 mi.)	B7	20
MILLER WM B	2721 NEBRASKA AVE	N 0 - 1/8 (0.058 mi.)	C10	22
BAY CITY GARAGE	508-14 JACKSON	S 0 - 1/8 (0.080 mi.)	12	22
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
GLASS FREDK W REAR	914 14TH AVE	SE 0 - 1/8 (0.101 mi.)	15	28

EXECUTIVE SUMMARY

EDR Hist Cleaner: EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Cleaner list, as provided by EDR, has revealed that there are 4 EDR Hist Cleaner sites within approximately 0.125 miles of the target property.

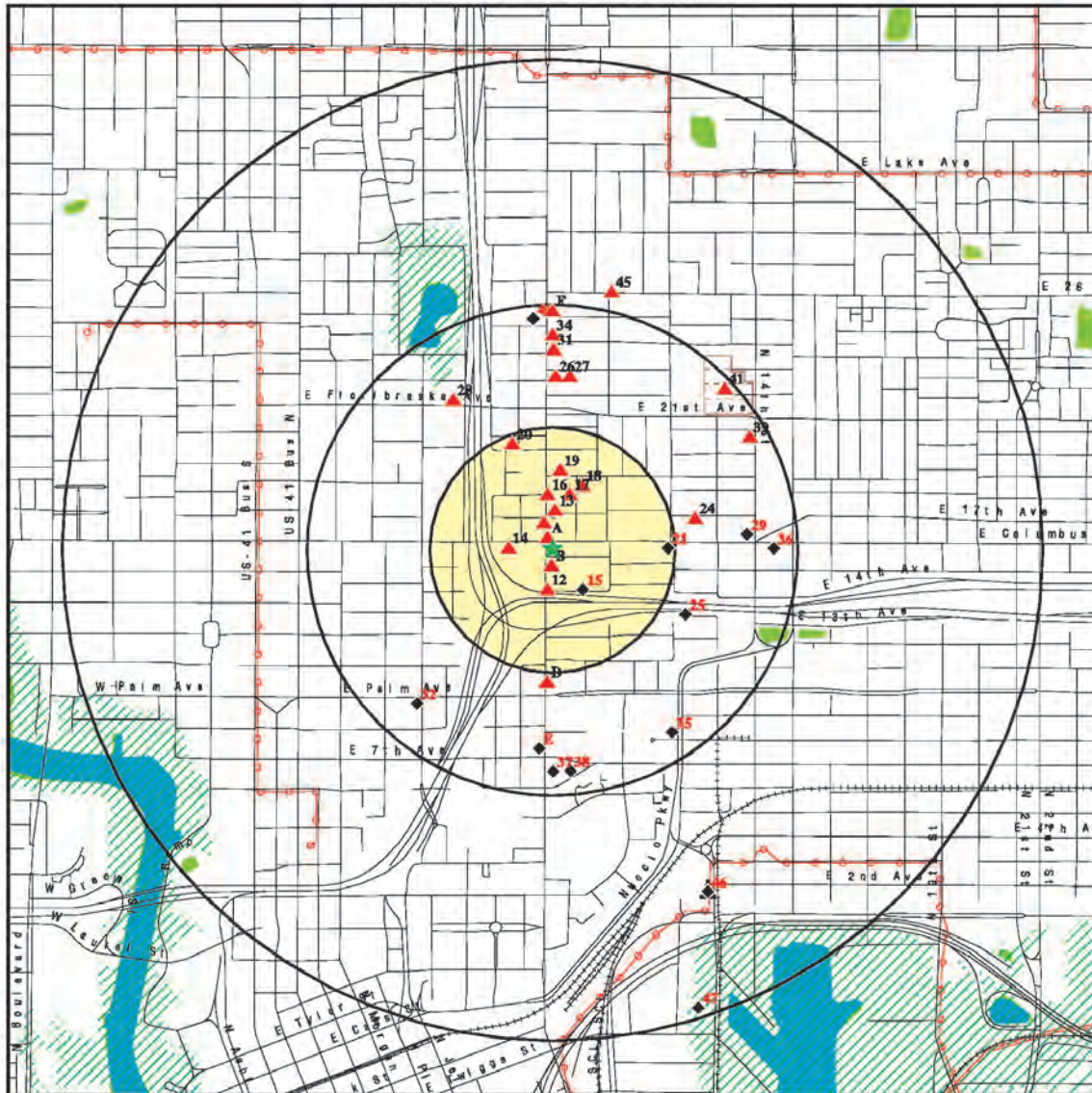
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
JOHNSON J.C	2705 NEBRASKA AVE	NNW 0 - 1/8 (0.029 mi.)	A6	19
GORDON J.G	2709 NEBRASKA AVE	NNW 0 - 1/8 (0.036 mi.)	C9	22
BEST CLEANING SERVIC	2722 NEBRASKA AVE	NNW 0 - 1/8 (0.060 mi.)	C11	22
NEBRASKA CLEANERS	2809 NEBRASKA AVE	N 0 - 1/8 (0.115 mi.)	16	28

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 1 records.

<u>Site Name</u>	<u>Database(s)</u>
HECTOR ALONSO	SWF/LF

OVERVIEW MAP - 5864597.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- 🏠 National Priority List Sites
- 🏠 Dept. Defense Sites
- 🏠 Indian Reservations BIA
- ⚡ Power transmission lines
- 📡 Pipelines
- 🌊 Special Flood Hazard Area (1%)
- 🌊 0.2% Annual Chance Flood Hazard
- 🌿 National Wetland Inventory
- 🌿 State Wetlands
- 🏠 FL Brownfield

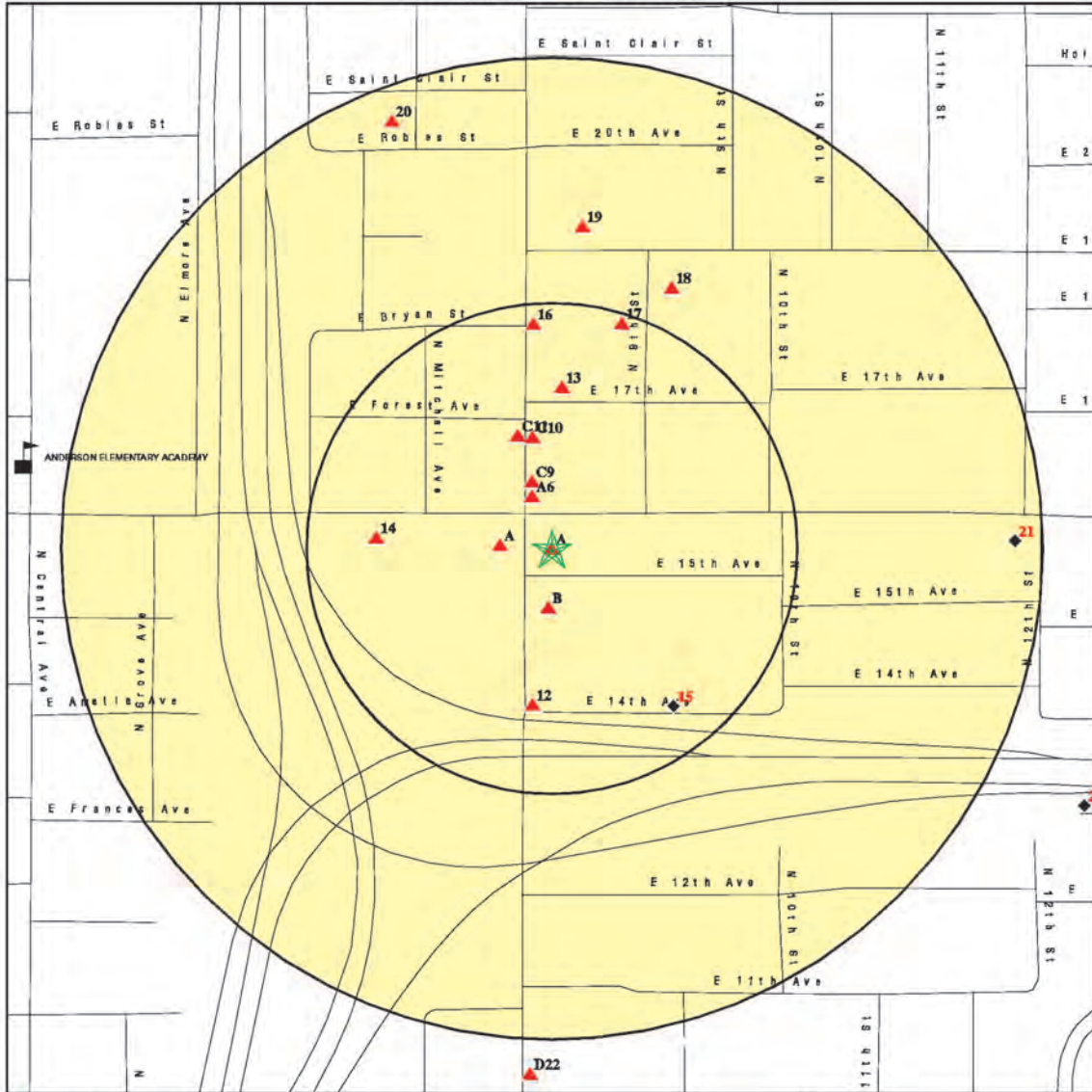
This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Goldstar Foods ADDRESS: 2317 North Nebraska Avenue Tampa FL 33602 LAT/LONG: 27.966607 / 82.450984	CLIENT: OHC Environmental Engineering CONTACT: Thomas Martinelli INQUIRY #: 5864597.2s DATE: November 11, 2019 9:31 am
---	---

Copyright © 2016 EGR, Inc. © 2015 TomTom Rat. 2015.



DETAIL MAP - 5864597.2S



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- ⚡ Sensitive Receptors
- 🚚 National Priority List Sites
- 🏠 Dept. Defense Sites

Indian Reservations BIA

FL Brownfield

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Goldstar Foods ADDRESS: 2317 North Nebraska Avenue Tampa FL 33602 LAT/LONG: 27.966607 / 82.450984</p>	<p>CLIENT: OHC Environmental Engineering CONTACT: Thomas Martinelli INQUIRY #: 5864597.2s DATE: November 11, 2019 9:33 am</p>
---	--

Copyright © 2018 EDR, Inc. © 2015 TomTom Rel. 2015.



MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	1	NR	NR	1
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/ILF	0.500		0	0	6	NR	NR	6
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500	1	1	2	13	NR	NR	17
LAST	0.500		0	0	0	NR	NR	0
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
FF TANKS	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FEMA UST	0.250		0	0	NR	NR	NR	0
UST	0.250	1	4	2	NR	NR	NR	7
AST	0.250		1	1	NR	NR	NR	2
INDIAN UST	0.250		0	0	NR	NR	NR	0
TANKS	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
ENG CONTROLS	0.500		0	0	0	NR	NR	0
INST CONTROL	0.500		0	0	1	NR	NR	1
State and tribal voluntary cleanup sites								
VCP	0.500		0	0	2	NR	NR	2
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	1	NR	NR	1
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	2	1	NR	NR	3
Local Lists of Landfill / Solid Waste Disposal Sites								
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
PRIORITYCLEANERS	0.500		0	0	0	NR	NR	0
FI Sites	1,000		0	0	1	1	NR	2
US CDL	TP		NR	NR	NR	NR	NR	0
PFAS	0.500		0	0	0	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
SPILLS 90	TP		NR	NR	NR	NR	NR	0
SPILLS 80	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
FLDS	1,000		0	0	0	1	NR	1
DOD	1,000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0,500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0,250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1,000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0,500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1,000		0	0	0	0	NR	0
INDIAN RESERV	1,000		0	0	0	0	NR	0
FUSRAP	1,000		0	0	0	0	NR	0
UMTRA	0,500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0,250		0	0	NR	NR	NR	0
ABANDONED MINES	0,250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
UXO	1,000		0	0	0	0	NR	0
FUELS PROGRAM	0,250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
ASBESTOS	TP		NR	NR	NR	NR	NR	0
CLEANUP SITES	TP	1	NR	NR	NR	NR	NR	1
DEDB	0,250		1	0	NR	NR	NR	1
DRYCLEANERS	0,250		0	0	NR	NR	NR	0
DWM CONTAM	0,500	1	0	2	8	NR	NR	11
Financial Assurance	TP	1	NR	NR	NR	NR	NR	1
FL Cattle Dip. Vats	0,250		0	0	NR	NR	NR	0
RESP PARTY	0,500		0	0	2	NR	NR	2
SITE INV SITES	0,500		0	0	0	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
UIC	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
MINES MRDS	TP		NR	NR	NR	NR	NR	0
EDR HIGH RISK HISTORICAL RECORDS								
<i>EDR Exclusive Records</i>								
EDR MGP	1,000		0	0	0	1	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
EDR Hist Auto	0.125	1	5	NR	NR	NR	NR	8
EDR Hist Cleaner	0.125		4	NR	NR	NR	NR	4
EDR RECOVERED GOVERNMENT ARCHIVES								
<i>Exclusive Recovered Govt. Archives</i>								
RG A HWS	TP		NR	NR	NR	NR	NR	0
RG A LF	TP		NR	NR	NR	NR	NR	0
RG A LUST	TP	1	NR	NR	NR	NR	NR	1
- Totals --		7	16	9	36	3	0	71

NOTES:

- TP = Target Property
- NR = Not Requested at this Search Distance
- Sites may be listed in more than one database

Map ID	MAP FINDINGS		EDR ID Number
Direction	Site	Database(s)	EPA ID Number
Distance			
Elevation			
A1	GOLDSTAR FOODS		LUST U001356047
Target	2317 N NEBRASKA AVE		UST N/A
Property	TAMPA, FL 33602		CLEANUP SITES
	Site 1 of 6 in cluster A		DWM CONTAM
			Financial Assurance
Actual:	LUST:		
41 ft.	Region:	STATE	
	Facility Id:	8944840	
	Facility Status:	OPEN	
	Facility Type:	A - Retail Station	
	Facility Phone:	(813)443-5022	
	Facility Cleanup Rank:	Not reported	
	District:	Southwest District	
	Lat/Long (dms):	27 58 0.0494 / 82 27 3.5345	
	Section:	Not reported	
	Township:	Not reported	
	Range:	Not reported	
	Feature:	Not reported	
	Method:	AGPS	
	Datum:	0	
	Score:	10	
	Score Effective Date:	2012-04-06 00:00:00	
	Score When Ranked:	Not reported	
	Operator:	RAID DARWISH	
	Name Update:	Not reported	
	Address Update:	2010-01-14 00:00:00	
	Petroleum Cleanup PCT Facility Score:		
	Facility Cleanup Status:	ONGO - ONGOING	
	Contact:	BURT JAGNOHAN/ SHIRLEY	
	Contact Company:	O'HENRY FOODS	
	Contact Address:	16019 GLEN HAVEN DR	
	Contact City/State/Zip:	TAMPA, FL 33618	
	Phone:	(813)969-3970	
	Bad Address Ind:	N	
	State:	FL	
	Zip:	33602, 1723	
	Score:	10	
	Score Effective Date:	2012-04-06 00:00:00	
	Related Party ID:	30537	
	Primary RP Role:	ACCOUNT OWNER	
	RP Begin Date:	1994-04-22	
	RP Zip:	Not reported	
	RP Extension:	Not reported	
	Discharge Cleanup Summary:		
	Discharge Date:	11/30/2010	
	PCT Discharge Combined:	Not reported	
	Cleanup Required:	R - CLEANUP REQUIRED	
	Discharge Cleanup Status:	SA - SA ONGOING	
	Disch Cleanup Status Date:	3/14/2012	
	Cleanup Work Status:	INACTIVE	
	Information Source:	D - DISCHARGE NOTIFICATION	
	Other Source Description:	Not reported	
	Eligibility Indicator:	I - INELIGIBLE	
	Site Manager:	HEINTZ_C	
	Site Mgr End Date:	Not reported	
	Tank Office:	PCLP29 - HILLSBOROUGH ENVIRONMENTAL PROTECTION COMMISSION	

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

GOLDSTAR FOODS (Continued)

U001356047

Contaminated Media:
 Discharge Date: 11/30/2010
 Pct Discharge Combined With: Not reported
 Cleanup Required: R - CLEANUP REQUIRED
 Discharge Cleanup Status: SA - SA ONGOING
 Disch Cleanup Status Date: 3/14/2012
 Cleanup Work Status: INACTIVE
 Information Source: D - DISCHARGE NOTIFICATION
 Other Source Description: Not reported
 Elig Indicator: I - INELIGIBLE
 Site Manager: HEINTZ_C
 Site Mgr End Date: Not reported
 Tank Office: PCLP29 - HILLSBOROUGH ENVIRONM
 Contaminated Drinking Wells: Not reported
 Contaminated Monitoring Well: No
 Contaminated Soil: Yes
 Contaminated Surface Water: No
 Contaminated Ground Water: No
 Pollutant: B - Unleaded Gas
 Pollutant Other Description: Mid-grade
 Gallons Discharged: Not reported

Task Information:
 District: SWD
 Facility ID: 8944840
 Facility Status: OPEN
 Facility Type: A - Retail Station -
 County: HILLSBOROUGH
 County ID: 29
 Cleanup Eligibility Status: I
 Source Effective Date: Not reported
 Discharge Date: 11-30-2010
 Cleanup Required: R - CLEANUP REQUIRED
 Discharge Cleanup Status: SA - SA ONGOING
 Disch Cleanup Status Date: 03-14-2012
 SRC Action Type: -
 SRC Submit Date: Not reported
 SRC Review Date: Not reported
 SRC Completion Status: -
 SRC Issue Date: Not reported
 SRC Comment: Not reported
 Cleanup Work Status: INACTIVE
 Site Mgr: HEINTZ_C
 Site Mgr End Date: Not reported
 Tank Office: PCLP29 - Hillsborough County
 SR Task ID: Not reported
 SR Cleanup Responsible: -
 SR Funding Eligibility Type: -
 SR Actual Cost: Not reported
 SR Completion Date: Not reported
 SR Payment Date: Not reported
 SR Oral Date: Not reported
 SR Written Date: Not reported
 SR Soil Removal: Not reported
 SR Free Product Removal: Not reported
 SR Soil Tonnage Removed: Not reported
 SR Soil Treatment: Not reported

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number

MAP FINDINGS

GOLDSTAR FOODS (Continued)

U001356047

SR Other Treatment: Not reported
 SR Alternate Proc Received Date: Not reported
 SR Alternate Procedure Status: Not reported
 SR Alternate Procedure Status Date: Not reported
 SR Alternate Procedure Comments: Not reported
 SA Task ID: 88136
 SA Cleanup Responsible: -
 SA Funding Eligibility Type: -
 SA Actual Cost: Not reported
 SA Completion Date: Not reported
 SA Payment Date: Not reported
 RAP Task ID: Not reported
 RAP Cleanup Responsible ID: -
 RAP Funding Eligibility Type: -
 RAP Actual Cost: Not reported
 RAP Completion Date: Not reported
 RAP Payment Date: Not reported
 RAP Last Order Approved: Not reported
 RA Task ID: Not reported
 RA Cleanup Responsible: -
 RA Funding Eligibility Type: -
 RA Years to Complete: Not reported
 RA Actual Cost: Not reported

[Click here for Florida Oculus:](#)

UST:

Facility Id: 8944840
 Facility Status: OPEN
 Type Description: Retail Station
 Facility Phone: 8134435022
 Region: STATE
 Positioning Method: AGPS
 Lat/Long (dms): 27 57 47 / 82 26 16

Owner:

Owner Id: 30537
 Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address 2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City, St, Zip: TAMPA, FL 33618
 Owner Contact: BURT JAGNOHAN/ SHIRLEY
 Owner Phone: 8139693970

Tank Info:

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 Tank Id: 1
 Status: Removed
 Status Date: 11/18/2010
 Install Date: 7/1/1984
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 6000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: C

MAP FINDINGS

Map ID: _____ Direction: _____ Distance: _____ Elevation: _____ Site: _____ Database(s): _____ EDR ID Number: _____ EPA ID Number: _____

GOLDSTAR FOODS (Continued)

U001356047

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 Tank Id: 2
 Status: Removed
 Status Date: 11/16/2010
 Install Date: 7/1/1984
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 6000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: C

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 Tank Id: 3
 Status: Removed
 Status Date: 11/16/2010
 Install Date: 7/1/1984
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 6000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: C

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 Tank Id: 4
 Status: Removed
 Status Date: 4/30/1992
 Install Date: Not reported
 Substance: Kerosene
 Content Description: Kerosene
 Gallons: 550
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: C

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 Tank Id: 5
 Status: In service
 Status Date: 11/1/2010
 Install Date: 11/1/2010
 Substance: Unleaded gas
 Content Description: Unleaded Gas
 Gallons: 20000
 Vessel Indicator: TANK
 Tank Location: UNDERGROUND
 DEP Contractor: C

Construction:
 Tank Id: 5
 Construction Category: Primary Construction
 Construction Description: Steel
 Tank Id: 5

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
--------	-----------	----------	-----------	------	-------------	---------------	---------------

GOLDSTAR FOODS (Continued)

U001356047

Construction Category:	Overfill/Spill
Construction Description:	Ball check valve
Tank ID:	5
Construction Category:	Secondary Containment
Construction Description:	Double wall - tank jacket
Tank ID:	5
Construction Category:	Miscellaneous Attributes
Construction Description:	Compartmented
Tank ID:	5
Construction Category:	Overfill/Spill
Construction Description:	Flow shut-Off
Tank ID:	5
Construction Category:	Overfill/Spill
Construction Description:	Spill containment bucket
Monitoring:	
Tank ID:	5
Monitoring Description:	Monitor dbl wall tank space
Tank ID:	5
Monitoring Description:	Electronic monitor pipe sumps
Tank ID:	5
Monitoring Description:	Visual inspect dispenser liners
Tank ID:	5
Monitoring Description:	Continuous electronic sensing
Tank ID:	5
Monitoring Description:	Monitor dbl wall pipe space
Tank ID:	5
Monitoring Description:	Mechanical line leak detector
Piping:	
Tank ID:	5
Piping Category:	Miscellaneous Attributes
Piping Description:	Pressurized piping system
Tank ID:	5
Piping Category:	Primary Construction
Piping Description:	Approved synthetic material
Tank ID:	5
Piping Category:	Miscellaneous Attributes
Piping Description:	Dispenser liners
Tank ID:	5
Piping Category:	Secondary Containment
Piping Description:	Double wall

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

GOLDSTAR FOODS (Continued)

U001356047

[Click here for Florida Oculus:](#)

CLEANUP SITES:

Name: GOLDSTAR FOODS
 Address: 2317 N NEBRASKA AVE
 City, State, Zip: TAMPA, FL 33602
 DEP Cleanup Site Key: 59734328
 Source Database Name: Storage Tank Contamination Monitoring
 Source Database Id: 8944840
 CPAC Program Area Id: TK
 CLLC Cleanup Category Key: PETRO
 RSC2 Remediation Status Key: ACTIVE
 Data Load Date: 08/26/2019
 OC3 Office Id: SWD
 Physical Address Line 2: Not reported
 OIC Object Of Interest Id: FACIL
 PC2 Proximity Id: EXACT
 Calc Coordinates Accuracy Level Id: 4
 CMC2 Coordinate Method Id: Digital Aerial Photography With Ground Control
 DC4 Datum Id: High Accuracy Reference Network
 VSC1 Verification Status: REVIEWED
 Collect Username: RICCI_L
 Collect Date: 06/04/2003
 Collect Affiliation: DEPARTMENT OF ENVIRONMENTAL PR
 Map Source: 1994 doqs
 Map Source Scale: 2670
 Interpolation Scale: Not reported
 Verifier Username: RICCI_L
 Verifier Affiliation: DEPARTMENT OF ENVIRONMENTAL PR
 Verification Date: 06/04/2003
 Verified Coordinate Method Id: Digital Aerial Photography With Ground Control
 Source Database Name Code: STCM
 CMC2 Coordinate Method ID Code: DPHO
 DC4 Datum ID Code: HARN
 Verified Coordinate Method ID Code: DPHO
 Comments: Not reported
 Latitude/Longitude (deg/min/sec): 27 58 0.0494 / 82 27 3.5345

DWM CONTAM:

Program Site Id: 8944840
 Lat DD: 27
 Lat MM: 58
 Lat SS: 0.0494
 Long DD: 82
 Long MM: 27
 Long SS: 3.5345
 Office/ District: SWD
 Program Area: Storage Tanks
 Offsite Contamination: Not reported
 Project Manager: Not reported
 Priority Score: 10
 Datum: 0
 Method: AGPS
 Facility Status: OPEN
 Feature: Not reported



Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
--------	-----------	----------	-----------	------	-------------	---------------	---------------

MAP FINDINGS

GOLDSTAR FOODS (Continued)

U001356047

Section: Not reported
 Township: Not reported
 Range: Not reported
 Staff Assigned: Not reported
 Priority (Y/N): Not reported

FL Financial Assurance 3:

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P
 Financial Responsibility: INSURANCE
 Insurance Company: ACE
 Effective Date: 12/27/2012
 Expire Date: 12/27/2013
 Owner ID: 30537
 Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City, St, Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P
 Financial Responsibility: INSURANCE
 Insurance Company: ACE
 Effective Date: 12/27/2014
 Expire Date: 12/27/2015
 Owner ID: 30537
 Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City, St, Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P
 Financial Responsibility: INSURANCE
 Insurance Company: ACE
 Effective Date: 12/27/2015
 Expire Date: 12/27/2016
 Owner ID: 30537

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
MAP FINDINGS							

GOLDSTAR FOODS (Continued)

U001356047

Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City,St,Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P

Financial Responsibility: INSURANCE
 Insurance Company: ACE AMER INS CO
 Effective Date: 12/27/2016
 Expire Date: 12/27/2017
 Owner ID: 30537

Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City,St,Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P

Financial Responsibility: INSURANCE
 Insurance Company: AMERICAN SAFETY INDEMNITY CO
 Effective Date: 04/25/2008
 Expire Date: 04/25/2009
 Owner ID: 30537

Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City,St,Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P

Financial Responsibility: INSURANCE
 Insurance Company: ZURICH-AMERICAN
 Effective Date: 12/27/2010
 Expire Date: 12/27/2011
 Owner ID: 30537

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
--------	-----------	----------	-----------	------	-------------	---------------	---------------

MAP FINDINGS

GOLDSTAR FOODS (Continued)

U001356047

Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City,St,Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

Region: 3
 Facility ID: 8944840
 Facility Phone: 8134435022
 Facility Status: OPEN
 Facility Type: A
 Type Description: Retail Station
 DEP CO: P

Financial Responsibility: INSURANCE
 Insurance Company: ZURICH-AMERICAN
 Effective Date: 12/27/2011
 Expire Date: 12/27/2012
 Owner ID: 30537

Owner Name: O'HENRY FOODS
 Owner Address: 16019 GLEN HAVEN DR
 Owner Address2: ATTN: BURT JAGNOHAN/ SHIRLEY
 Owner City,St,Zip: TAMPA, FL 33618
 Contact: BURT JAGNOHAN/ SHIRLEY
 Resp Party Phone: 8139693970

A2	ULTRA TUNE CL AVANA MGR	EDR Hist Auto	1009102538
Target	2317 NEBRASKA AVE		N/A
Property	TAMPA, FL		

Site 2 of 6 in cluster A

Actual: 41 ft. EDR Hist Auto

Year:	Name:	Type:
1939	FOX SERVICE STATION	GASOLINE AND OIL SERVICE STATIONS
1944	HERMAN S SERVICE STATION	GASOLINE AND OIL SERVICE STATION
1949	ROMEO ALT	GASOLINE AND OIL SERVICE STATIONS
1955	LEO S SERVICE STATION	GASOLINE SERVICE STATIONS
1959	SCOTT S SINCLAIR SERVICE STATIO	GASOLINE STATIONS
1969	THOMPSON SINCLAIR SERVICE STATI	GASOLINE STATIONS
1974	THOMPSON S AUTO SERVICE	AUTOMOBILE REPAIRING
1978	V & V AUTO SERVICE	GASOLINE STATION
1983	ULTRA TUNE CL AVANA MGR	AUTOMOBILE REPAIRING
1986	GOLD STAR FOOD STORES INC	Grocery Stores
1987	GOLD STAR FOOD STORES INC	Grocery Stores
1987	O HENRYS FOODS INC	Grocery Stores
1988	O HENRYS FOODS INC	Grocery Stores
1989	O HENRYS FOODS INC	Convenience Stores
1990	O HENRYS FOODS INC	Convenience Stores
1991	O HENRYS FOODS INC	Convenience Stores
1992	O HENRYS FOODS INC	Convenience Stores
1993	O HENRYS FOODS INC	Convenience Stores
1994	O HENRYS FOODS INC	Convenience Stores
1995	O HENRYS FOODS INC	Convenience Stores



ATTACHMENT V

Local/State Search Information

From: [Figari, Jeannette](#)
To: [Tom Martinelli](#)
Subject: RE: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive
Date: Friday, November 15, 2019 1:43:07 PM

Good afternoon Mr. Marinelli,

In follow up to the response I sent yesterday, I just wanted to confirm that the Air, Water and Wetlands Divisions did not locate any records for the three properties in question.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal Department
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Figari, Jeannette
Sent: Thursday, November 14, 2019 2:29 PM
To: Tom Martinelli <tmartinelli@ohcnet.com>
Subject: FW: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

Good afternoon Mr. Martinelli,

As we discussed, included below is the response from our Waste Division. Please contact Pat Pons at 813-627-2600 x 1204 and she will be able to let you know if the records are paper records or electronic records.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."

Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Pons, Pat <Pons@epchc.org>
Sent: Wednesday, November 13, 2019 1:10 PM
To: Figari, Jeannette <FigariJ@epchc.org>
Subject: RE: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

Hi Jeannette,

The Waste Division has the following records for these locations:

2317 North Nebraska:
Enforcement Case – 14-44840
Warning Notices - #31073, #31074, #15834, #2005-2554H, #12160 and #2011-0158H
Tanks – Facility ID – 298944840
Cleanup- 298944840

1023 East Columbus Drive
SQG -Yes
Tanks – Facility ID – 298508982
Cleanup – 298508982

1312 East Columbus Drive
Enforcement Case – 01-24765 and 99-18467
Warning Notices - #18467, #21316, #2016-0085H, #2016-0086H and #2015-278H
Tanks – Facility ID – 298624765
Cleanup – 298624765

Pat

Patricia Pons
Environmental Specialist III
Waste Management Division
(813) 627-2600 ext. 1204/www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619

Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."

Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Figari, Jeannette <FigariJ@epchc.org>

Sent: Tuesday, November 12, 2019 11:16 AM

To: Castillo, Laura <castillol@epchc.org>; Hager, Margaret <Hager@epchc.org>; Merchant, Sabatia <merchants@epchc.org>; Mishriki, Madlein <Mishriki@epchc.org>; Myrick, Joyce <myrickj@epchc.org>; Noblitt, Paula <NoblittP@epchc.org>; Pons, Pat <Pons@epchc.org>; Reese, Marsha <Reese@epchc.org>; Sanchez, Silvia <sanchezs@epchc.org>; Torres, Gladys <torresg@epchc.org>

Cc: Barthle, Beth <barthler@epchc.org>; Blount, Marvin <Blount@epchc.org>; Boostani, Hooshang <Boostani@epchc.org>; Elrabi, Sam <Elrabi@epchc.org>; Schipfer, Andy <Schipfer@epchc.org>; Sims, Jeff <SimsJ@epchc.org>; Woodard, Sterlin <Woodard@epchc.org>

Subject: PRR - 2317 N. Nebraska Ave, 1023 E. Columbus Drive, 1312 E. Columbus Drive

The Legal Dept. received a request for records pertaining to the following properties:

2317 N. Nebraska Ave, Tampa – folio #198390-0000

1023 E. Columbus Drive, Tampa – folio #198262-0000

1312 E. Columbus Drive, Tampa – folio #186699-0000.

Please let me know by Monday, November 18, 2019 if your Division does or does not have any records.

Thank you,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

November 24, 2019
Mr. Jeff Siewert – Ayres Associates
2317 North Nebraska Avenue
Phase I Environmental Assessment
OHC Project No. 190237-ES

From: [Figari, Jeannette](#)
To: [Tom Martinelli](#)
Subject: RE: Right to Know Request
Date: Tuesday, November 12, 2019 9:48:47 AM

Good morning Mr. Martinelli,

The Environmental Protection Commission of Hillsborough County received your records request and will initiate an Agency-wide records search in accordance with Chapter 119, F.S. We are glad to assist in locating any responsive records and will contact you regarding the outcome of the search as soon as possible.

If you have any questions, please feel free to contact me.

Sincerely,

Jeannette Figari

Legal Administrative Assistant
Legal and Administrative Services Division
(813) 627-2600 ext. 1054 | www.epchc.org

Environmental Protection Commission

3629 Queen Palm Drive, Tampa, FL 33619
Our mission is "to protect our natural resources, environment, and quality of life in Hillsborough County."
Follow us on: [Twitter](#) | [Facebook](#) | [YouTube](#)

This e-mail message and its attachments may contain confidential and/or legally privileged information. If you are not the intended recipient, please notify the sender immediately and delete this message. Both incoming and outgoing EPC communications may be public records and subject to public inspection.

From: Tom Martinelli <tmartinelli@ohcnet.com>
Sent: Monday, November 11, 2019 9:00 AM
To: Figari, Jeannette <FigariJ@epchc.org>
Subject: Right to Know Request

Please search your records for any spills, discharges, hazardous materials releases, underground/aboveground storage tanks, environmental remediation activities, etc. for the sites listed below. Thanks.

O-Henry's Foods Inc.



Parcel #A-18-29-19-51D-000000-00001.0
2317 N NEBRASKA AVE, TAMPA 33602

Danny's Generators-
Ramos, Deborah Lisa
Parcel #A-18-29-19-51A-000000-1-00001.0
1023 E COLUMBUS DR, TAMPA 33605

Columbus Foods-
Pearl Managementco Inc.
Parcel #A-07-29-19-4UV-000000-00048.0
1312 E COLUMBUS DR, TAMPA 33605

From: [FireMarshal](#)
To: [Tom Martinelli](#)
Subject: RE: Right to Know Request
Date: Tuesday, November 12, 2019 9:07:18 AM
Attachments: [image003.png](#)
[image004.png](#)

Good morning Mr. Martinelli,

Those properties are in the City of Tampa jurisdiction, please contact the City of Tampa Fire Marshal's office at 813-274-7000 to request those records.

Thank you, have a blessed day.

Miguelina (Betty) Rodriguez
Administrative Assistant
Hillsborough County Fire Rescue

P: (813) 744-5541
F: (813) 744-5794
E: RodriguezMB@HCFLGov.Net
W: HCFLGov.net

Hillsborough County Fire Rescue
9450 E. Columbus Drive, Tampa, FL 33619

[Facebook](#) | [Twitter](#) | [YouTube](#) | [LinkedIn](#)

Please note: All correspondence to or from this office is subject to Florida's Public Records law.



**Hillsborough
County Florida**

From: Tom Martinelli [<mailto:tmartinelli@ohcnet.com>]
Sent: Monday, November 11, 2019 9:18 AM
To: FireMarshal <FireMarshal@HillsboroughCounty.ORG>
Subject: Right to Know Request

[External]

Please provide any emergency response incident records at the properties listed below. Thanks.

O-Henry's Foods Inc.
Parcel #A-18-29-19-51D-000000-00001.0
2317 N NEBRASKA AVE, TAMPA 33605

Dann's Generators-

Ramos, Deborah Lisa
Parcel #A-18-29-19-51A-000000-1-00001.0
1023 E COLUMBUS DR, TAMPA 33602

Columbus Foods-
Pearl Managementco Inc,
Parcel #A-07-29-19-4UV-000000-00048.0
1312 E COLUMBUS DR, TAMPA 33602

This email is from an **EXTERNAL** source and did not originate from a Hillsborough County email address.
Use caution when clicking on links and attachments from outside sources.

Goldstar Foods

2317 North Nebraska Avenue
Tampa, FL 33602

Inquiry Number: 5864597.5
November 11, 2019

The EDR-City Directory Abstract



6 Armstrong Road
Shelton, CT 06484
800.352.0050
www.edrnet.com

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. **NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OR DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT.** Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice.

Copyright 2017 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc. or its affiliates is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1920 through 2014. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 660 feet of the target property.

A summary of the information obtained is provided in the text of this report.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.

Data by

 Copyright © 2008
 All Rights Reserved

RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2014	EDR Digital Archive	-	X	X	-
	EDR Digital Archive	X	X	X	-
2010	EDR Digital Archive	-	X	X	-
	EDR Digital Archive	X	X	X	-
2005	EDR Digital Archive	-	X	X	-
2004	Cole Publishing	-	X	X	-
	Cole Publishing	X	X	X	-
1999	Hill-Donnelly Corporation	-	X	X	X
	Hill-Donnelly Corporation	X	X	X	X
1993	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1988	R. L. Polk Co.	-	X	X	X

EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>IP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1988	R. L. Polk Co.	X	X	X	X
1986	R. L. Polk & Co.	-	-	-	-
1983	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1980	R.L. POLK & CO.	-	-	-	-
1978	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1975	R.L. POLK & CO.	-	-	-	-
1974	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1971	R.L. POLK & CO.	-	-	-	-
1969	R. L. Polk & Co.	-	X	X	X
	R. L. Polk & Co.	X	X	X	X
1966	R.L. POLK & CO.	-	-	-	-
1964	R.L. POLK & CO. PUBLISHERS	-	-	-	-
1963	R.L. POLK & CO.	-	-	-	-
1962	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1959	R. L. Polk Co.	-	X	X	X
1955	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1949	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1944	R. L. Polk Co. Publishers	-	X	X	X
	R. L. Polk Co. Publishers	X	X	X	X
1939	R. L. Polk Co.	-	X	X	X
	R. L. Polk Co.	X	X	X	X
1934	R. L. Polk Co.	-	X	X	X
1930	R. L. Polk Co.	-	X	X	X
1925	R. L. Polk Co.	-	X	X	X
1920	R. L. Polk Co.	-	X	X	X

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

EDR is licensed to reproduce certain City Directory works by the copyright holders of those works. The purchaser of this EDR City Directory Report may include it in report(s) delivered to a customer. Reproduction of City Directories without permission of the publisher or licensed vendor may be a violation of copyright.

Data by
*info*USA®
Copyright ©2008
All Rights Reserved

FINDINGS

TARGET PROPERTY INFORMATION

ADDRESS

2317 North Nebraska Avenue
 Tampa, FL 33602

FINDINGS DETAIL

Target Property research detail.

N Nebraska Ave

2317 N Nebraska Ave

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	GOLD STAR GAS INC	EDR Digital Archive
2010	ONE STAR INC	EDR Digital Archive
	RND BROTHERS INC	EDR Digital Archive

NEBRASKA AVE

2317 NEBRASKA AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2004	Goldstar Food Store	Cole Publishing	
	Star Gold	Cole Publishing	
1993	GOLD STAR FOODS gas & food	R. L. Polk Co.	Image pg. A14
1988	Citgo Food Mart gas & food mart	R. L. Polk Co.	Image pg. A24
1983	Ultra Tune CI Avana Mgr auto repr	R. L. Polk Co.	Image pg. A33
1978	V & V Auto Service gas sta	R. L. Polk Co.	Image pg. A44
1974	Thompsons Auto Service serv & gas	R. L. Polk Co.	Image pg. A54
1969	THOMPSON SINCLAIR SERVICE STATION	R. L. Polk & Co.	Image pg. A65
1962	Diaz Prod	R L Polk Co	Image pg. A78
1956	Leos Serv Sta	R L Polk Co	Image pg. A98
1949	Romeo Alf fill sta	R L Polk Co	Image pg. A108
1944	Hermans Service Station filling sta	R. L. Polk Co, Publishers	Image pg. A121
1939	Fox Service Station filling sta	R. L. Polk Co.	Image pg. A143

NEBRASKA AVE N

2317 NEBRASKA AVE N

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1999	GOLD STAR FOODS	Hill-Donnelly Corporation	Image pg. A1

FINDINGS

ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

10TH ST

2401 10TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1959	Hernandez John	R L Polk Co	Image pg. A89
	Martinez Sixto L	R L Polk Co	Image pg. A89
1955	Vacant	R L Polk Co	Image pg. A99
	Quintana Virgilio	R L Polk Co	Image pg. A99
1949	Bowers Philip A	R L Polk Co	Image pg. A109
1944	Bowers Philip A	R L Polk Co, Publishers	Image pg. A122
1939	Sierra Antonio Jr	R L Polk Co	Image pg. A144
1934	Martinez Virginia	R L Polk Co	Image pg. A160
1930	Blanco Alfonso	R L Polk Co	Image pg. A169
1925	Arth Schleman Jr	R L Polk Co	Image pg. A177
1920	Mrs I Dorman	R L Polk Co	Image pg. A184

2402 10TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1939	Chillura Anthony	R L Polk Co	Image pg. A145

2403 10TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1944	Rodriguez Frank M	R L Polk Co, Publishers	Image pg. A122
1939	Lala Catalina Mrs	R L Polk Co	Image pg. A146
1934	Lala Catalina Mrs	R L Polk Co	Image pg. A160
1930	Lala Catalina Mrs	R L Polk Co	Image pg. A169

2405 10TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
1959	Lala Martin	R L Polk Co	Image pg. A89
	Duran Julia Mrs	R L Polk Co	Image pg. A89
1955	Lala Martin	R L Polk Co	Image pg. A99
1949	Pittisci I Chas	R L Polk Co	Image pg. A109
1944	Pittisci Ignazio C	R L Polk Co, Publishers	Image pg. A122

ATTACHMENT VI

Sanborn Map Report

Goldstar Foods
2317 North Nebraska Avenue
Tampa, FL 33602


Inquiry Number: 5864597.3
November 11, 2019

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com



Certified Sanborn® Map Report		11/11/19
Site Name:	Client Name:	
Goldstar Foods	OHC Environmental Engineering	
2317 North Nebraska Avenue	5420 Bay Center Drive Suite 100	
Tampa, FL 33602	Tampa, FL 33609-0000	
EDR Inquiry # 5864597.3	Contact: Thomas Martinelli	

The Sanborn Library has been searched by EDR and maps covering the target property location as provided by OHC Environmental Engineering were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting www.edrnet.com/sanborn.

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # 8323-40A8-BB1E
PO # NA
Project 2317 North Nebraska Avenue

Maps Provided:

- 1979
- 1976
- 1950
- 1931
- 1915



Sanborn® Library search results
 Certification #: 8323-40A8-BB1E

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- ✓ Library of Congress
- ✓ University Publications of America
- ✓ EDR Private Collection

The Sanborn Library LLC Since 1866™

Limited Permission To Make Copies

OHC Environmental Engineering (the client) is permitted to make up to FIVE photocopies of this Sanborn Map transmittal and each fire insurance map accompanying this report solely for the limited use of its customer. No one other than the client is authorized to make copies. Upon request made directly to an EDR Account Executive, the client may be permitted to make a limited number of additional photocopies. This permission is conditioned upon compliance by the client, its customer, and their agents with EDR's copyright policy, a copy of which is available upon request.

Disclaimer - Copyright and Trademark Notice

This Report contains certain information obtained from a variety of public and other sources reasonably available to Environmental Data Resources, Inc. It cannot be concluded from this Report that coverage information for the target and surrounding properties does not exist from other sources. NO WARRANTY EXPRESSED OR IMPLIED, IS MADE WHATSOEVER IN CONNECTION WITH THIS REPORT. ENVIRONMENTAL DATA RESOURCES, INC. SPECIFICALLY DISCLAIMS THE MAKING OF ANY SUCH WARRANTIES, INCLUDING WITHOUT LIMITATION, MERCHANTABILITY OR FITNESS FOR A PARTICULAR USE OR PURPOSE. ALL RISK IS ASSUMED BY THE USER. IN NO EVENT SHALL ENVIRONMENTAL DATA RESOURCES, INC. BE LIABLE TO ANYONE, WHETHER ARISING OUT OF ERRORS OR OMISSIONS, NEGLIGENCE, ACCIDENT OR ANY OTHER CAUSE, FOR ANY LOSS OF DAMAGE, INCLUDING, WITHOUT LIMITATION, SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR EXEMPLARY DAMAGES. ANY LIABILITY ON THE PART OF ENVIRONMENTAL DATA RESOURCES, INC. IS STRICTLY LIMITED TO A REFUND OF THE AMOUNT PAID FOR THIS REPORT. Purchaser accepts this Report "AS IS". Any analyses, estimates, ratings, environmental risk levels or risk codes provided in this Report are provided for illustrative purposes only, and are not intended to provide, nor should they be interpreted as providing any facts regarding, or prediction or forecast of, any environmental risk for any property. Only a Phase I Environmental Site Assessment performed by an environmental professional can provide information regarding the environmental risk for any property. Additionally, the information provided in this Report is not to be construed as legal advice. Copyright 2019 by Environmental Data Resources, Inc. All rights reserved. Reproduction in any media or format, in whole or in part, of any report or map of Environmental Data Resources, Inc., or its affiliates, is prohibited without prior written permission.

EDR and its logos (including Sanborn and Sanborn Map) are trademarks of Environmental Data Resources, Inc. or its affiliates. All other trademarks used herein are the property of their respective owners.

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



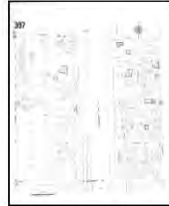
1979 Source Sheets



Volume 1, Sheet 66



Volume 1, Sheet 67



Volume 3 & 6, Sheet 307



Volume 3 & 6, Sheet 308

1976 Source Sheets

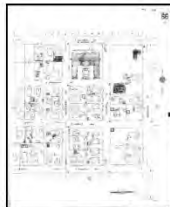


Volume 1, Sheet 66



Volume 1, Sheet 67

1950 Source Sheets



Volume 1, Sheet 66



Volume 1, Sheet 67



Volume 3, Sheet 307



Volume 3, Sheet 308

1931 Source Sheets



Volume 1, Sheet 66



Volume 1, Sheet 67



Volume 3, Sheet 307



Volume 3, Sheet 308

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1915 Source Sheets



Volume 1, Sheet 61