

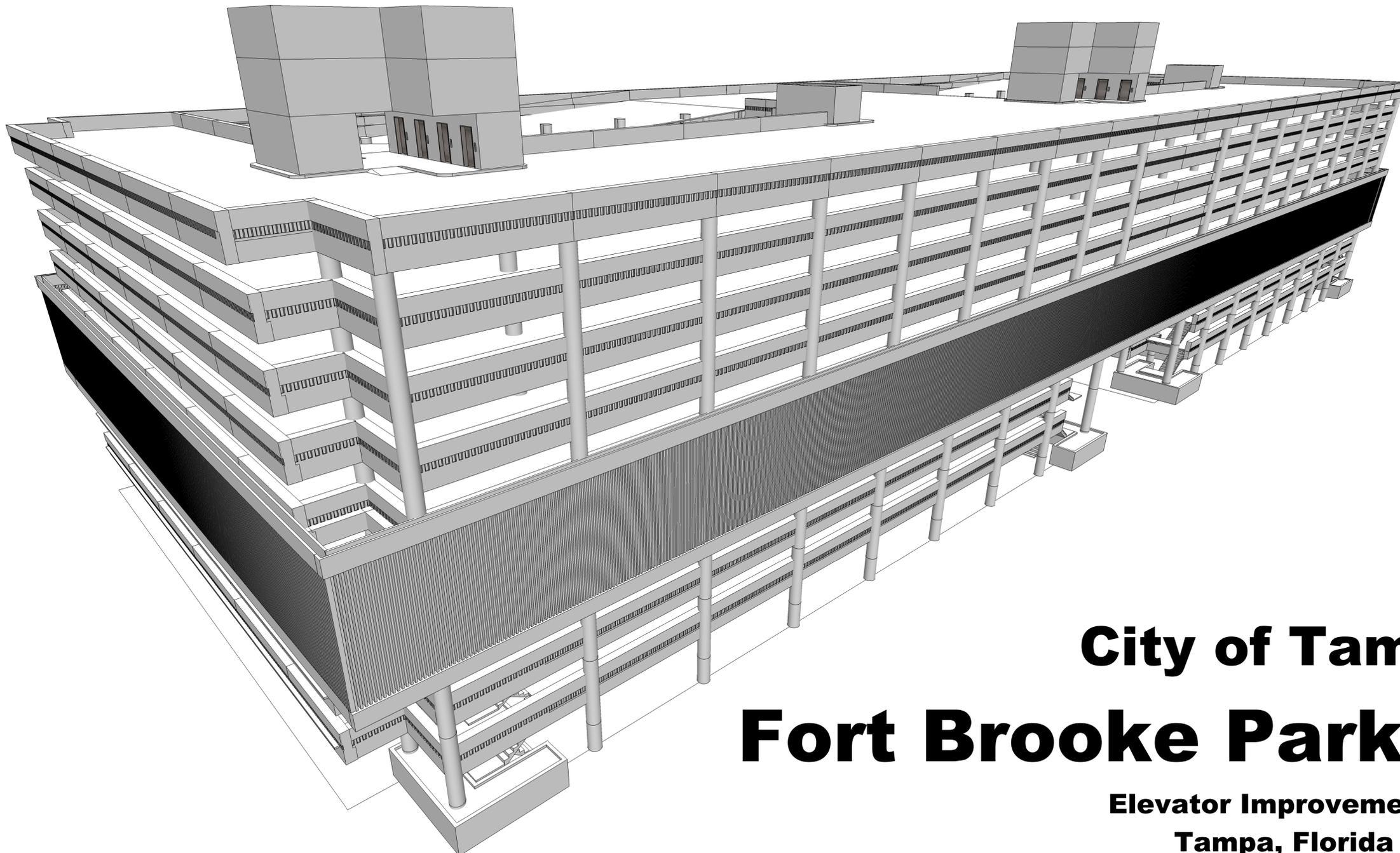
**The Enclosed Document Is Provided For Your Convenience.**

**Please Email ALL Questions:**

**[MailTo:ContractAdministration@TampaGov.net](mailto:ContractAdministration@TampaGov.net)**

**Please Let Us Know If You Plan To Bid**

City of Tampa  
Contract Administration Department  
306 E. Jackson St. #280A4N  
Tampa, FL 33602  
(813)274-8456



**DRAWING LIST:**

**COVER**

**ARCHITECTURAL**

- A-1 SITE PLAN
- A-2 FLOOR PLANS
- A-2.1 FLOOR PLANS
- A-2.2 FLOOR PLANS
- A-3 BUILDING SECTIONS

**ELECTRICAL**

- E-1 ELECTRICAL COVER SHEET
- E-2 ELECTRICAL ELEVATION
- E-3 ELECTRICAL ROOF PLAN
- E-4 ELECTRICAL PENTHOUSE PLAN
- E-5 GROUND FLOOR ELECTRICAL PLAN
- E-6 ELECTRICAL POWER RISER
- E-7 ELECTRICAL PANELS
- E-8 FA PLAN GROUND FLOOR
- E-9 FA PLAN FLOORS 2-10
- E-10 FA DETAILS
- E-11 FA DETAILS

# City of Tampa Fort Brooke Parking Garage

**Elevator Improvements**

**Tampa, Florida**

**Date: MARCH 2015**

**CONTRACT No.: 15-C-00031**

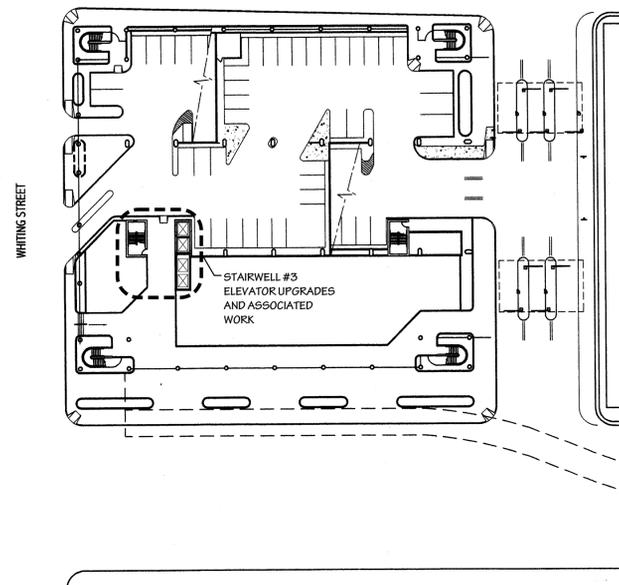
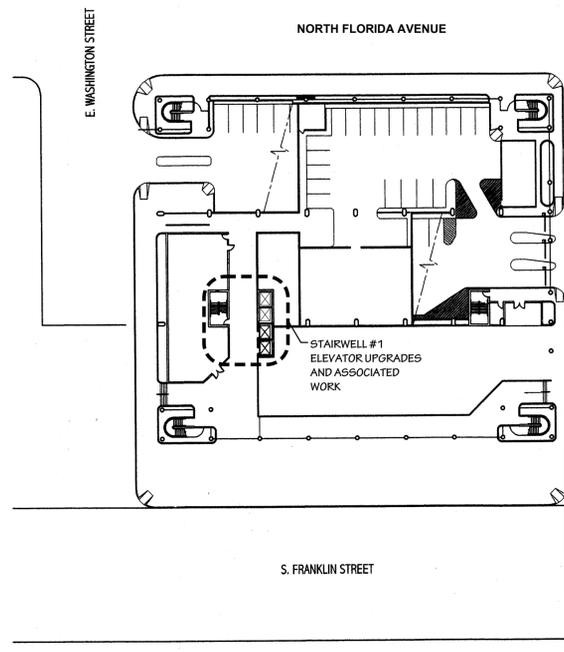
**Architect:**  
**Mechanical and Electrical Engineers:**  
**Elevator Consultant:**

**Design Harmonics Architecture, Inc**  
**Griner Engineering, Inc**  
**Vertical Assessment Associates**

ISSUE  
03-20-15

PROJECT NO.  
14-030

CONSTRUCTION  
DOCUMENTS



3 GARAGE SITE PLAN - FLOOR 1  
A-1 SCALE: NTS

**NOTES:**

BASE BID limited to the north core/elevator improvements and fire alarm system upgrade (both elevator cores, auto-dialer in office area, etc), and will include an ALTERNATE for the remaining scope (south core/elevator improvements)



2 ARCHITECTURAL SITE AERIAL  
A-1 SCALE: NTS



**LEGAL DESCRIPTION:**

SECTION 24 -TOWNSHIP 29S - RANGE 18E  
ATLAS SHEET: I-12  
FLOOD ZONE: X

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ALL PENETRATIONS THROUGH FIRE RATED WALLS SHALL BE RESEALED TO THE ORIGINAL FIRE RATINGS WITH 3M #303 FIRE SEAL PUTY OR APPROVED EQUAL.

**GENERAL NOTES - SITE:**

- SEE FT. BROOKE GARAGE SPECIFICATIONS FOR ACCESS REQUIREMENTS AND LIMITATIONS.
- PROVIDE BARRICADES, ETC. AS REQUIRED TO MAINTAIN PUBLIC SAFETY AT ALL TIMES.
- FT. BROOKE PARKING GARAGE SHALL REMAIN IN FULL OPERATION AT ALL TIMES. PROVIDE CITY AND FT. BROOKE GARAGE REPRESENTATIVES MINIMUM 48 HOURS ADVANCE NOTICE FOR REVIEW AND APPROVAL PRIOR TO DOING ANYTHING THAT MIGHT AFFECT GARAGE OPERATIONS.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND OBTAIN RESOLUTIONS TO CONFLICTS PRIOR TO CONSTRUCTION.
- PROVIDE PROTECTIVE MEASURES AS REQUIRED AND APPROPRIATE FOR THE CONDITIONS TO PROVIDE FREE AND SAFE PASSAGE OF CITY OF TAMPA PERSONNEL AND THE GENERAL PUBLIC TO AND FROM AREAS OF THE GARAGE, INCLUDING THE EXTERIOR PERIMETER AREAS AT GRADE.

**FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS**

PROJECT ADDRESS  
107 N Franklin St  
Tampa, FL 33602

Design  
Harmonics  
Architecture

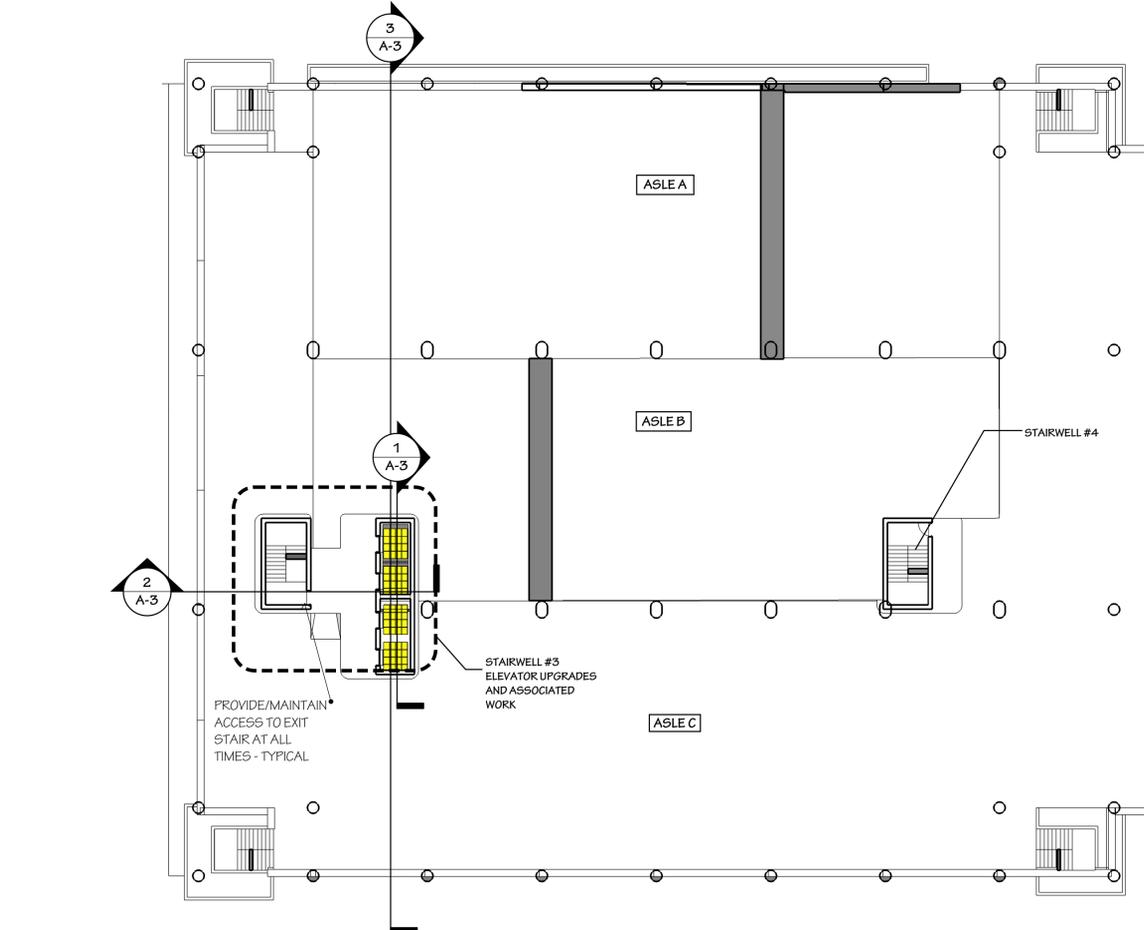
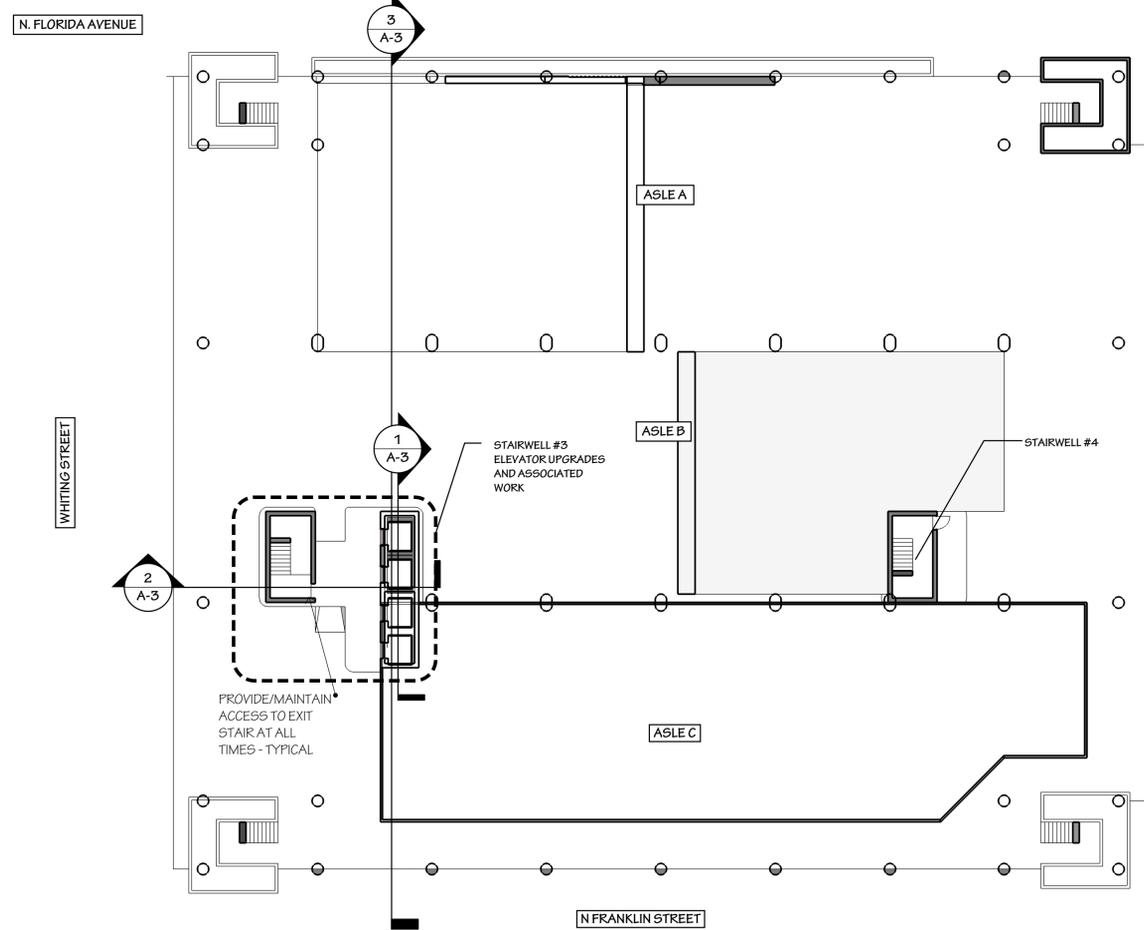
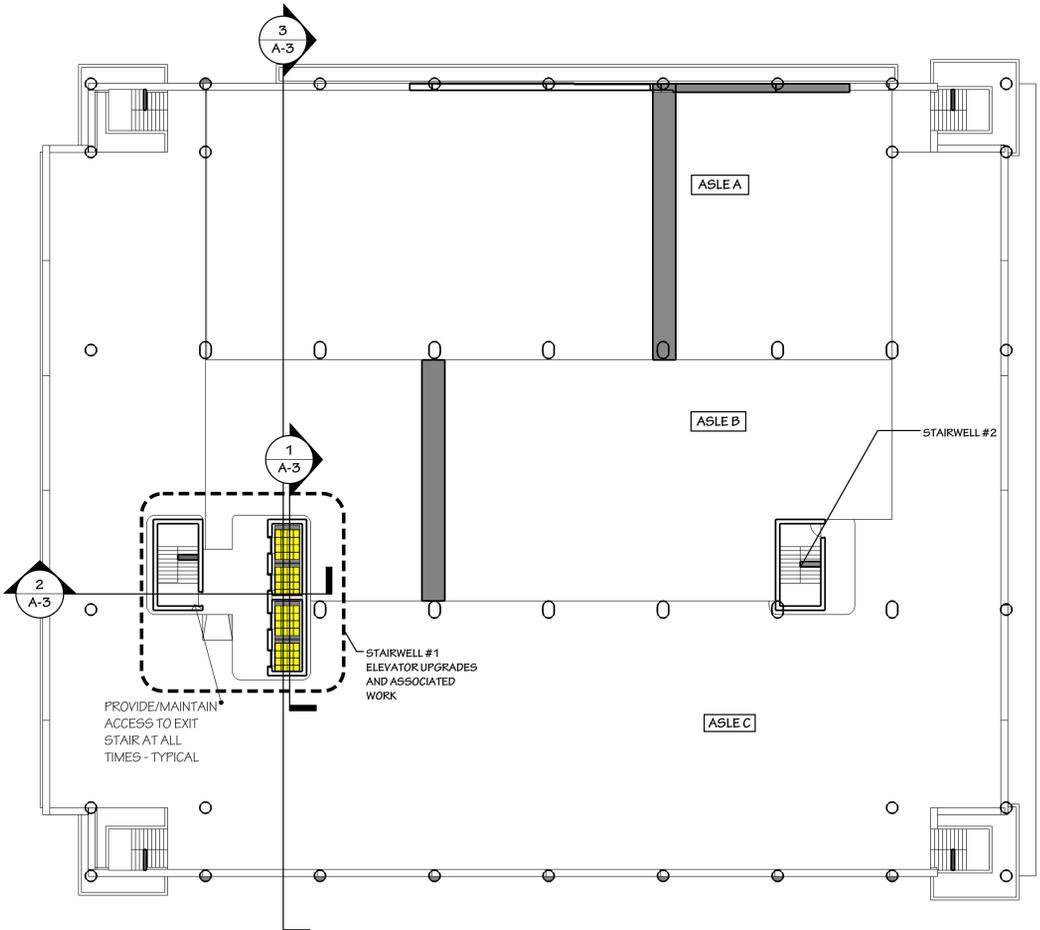
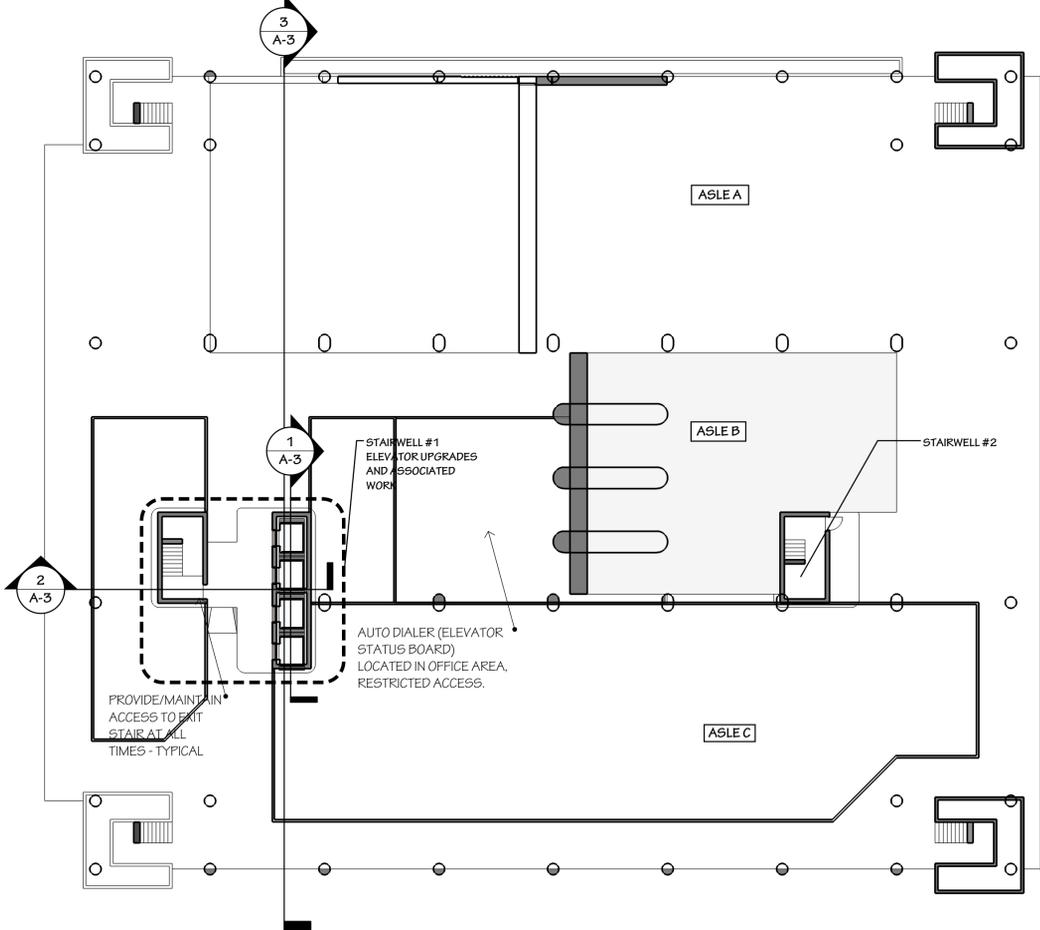
AA 26001044  
13015 Alford Blvd, #829  
Buckeye, FL 33205  
352016 Rockyford Drive, Ste 150  
Tampa, FL 33607  
Tel: (813) 330-7997 Fax: (813) 330-7801  
design@harmonicsarchitecture.net

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Revised:	

Sheet No. **A-1**

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Seal  
Wayne Rosier  
Architect  
Arch. 0013113



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- 1 NOTIFY ARCHITECT IMMEDIATELY OF ANY UNDOCUMENTED OR UNEXPECTED CONDITIONS.
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- THE PROPOSED INTERIOR ELEVATOR CAB WORK WILL INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OF PORTIONS OF EIGHT (8) ELEVATORS INCLUDING CAR FINISHES, CEILINGS AND HANDRAILS, CAR AND HOISTWAY DOORS AND SIGNAL EQUIPMENT.

1 GARAGE FLOOR PLAN - FLOOR 1  
A-2 SCALE: 1"=20'-0"

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2 GARAGE FLOOR PLAN - FLOOR 2  
A-2 SCALE: 1"=20'-0"

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Seal  
Wayne Rosier  
Architect  
No. 0013115

**FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS**

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Tampa, FL 33602

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AA 26001046  
19115 Ashford Blvd, #819  
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Seal  
Wayne Rosier  
Architect  
No. 0013113

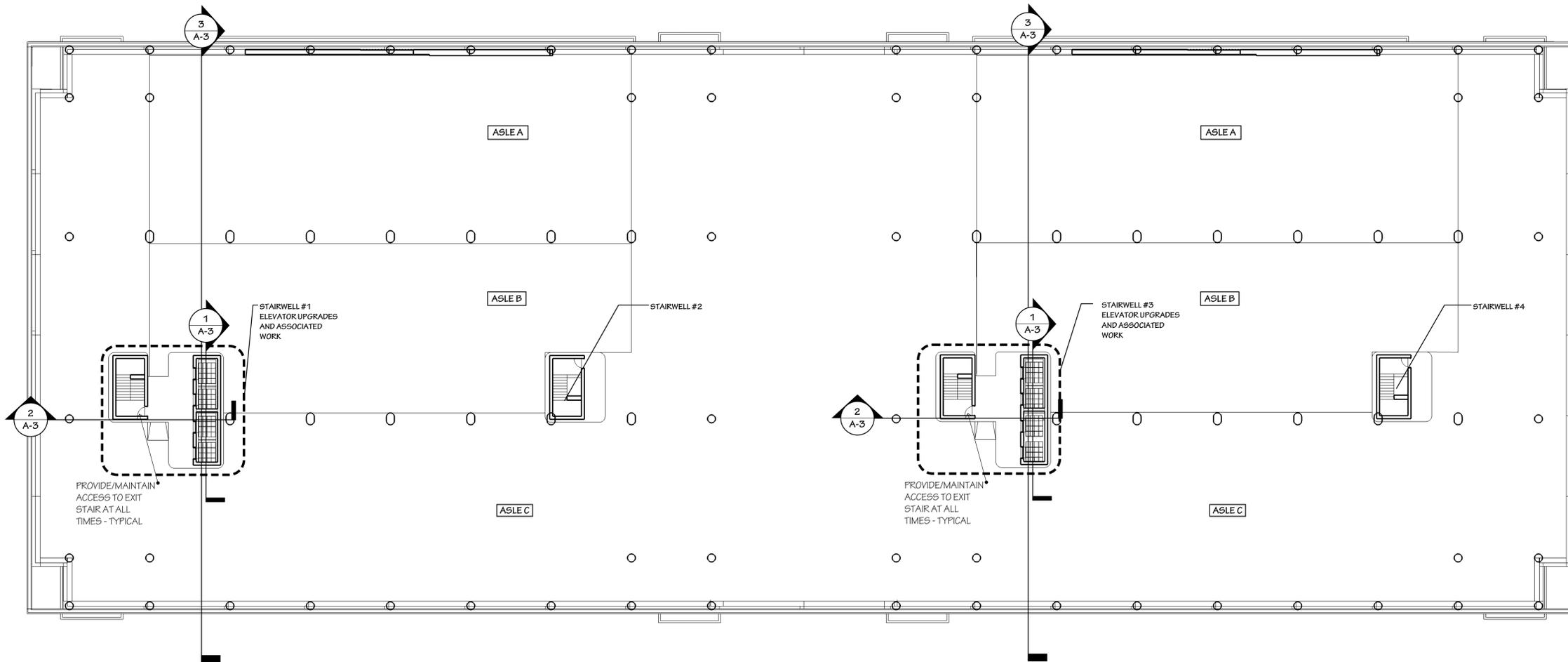
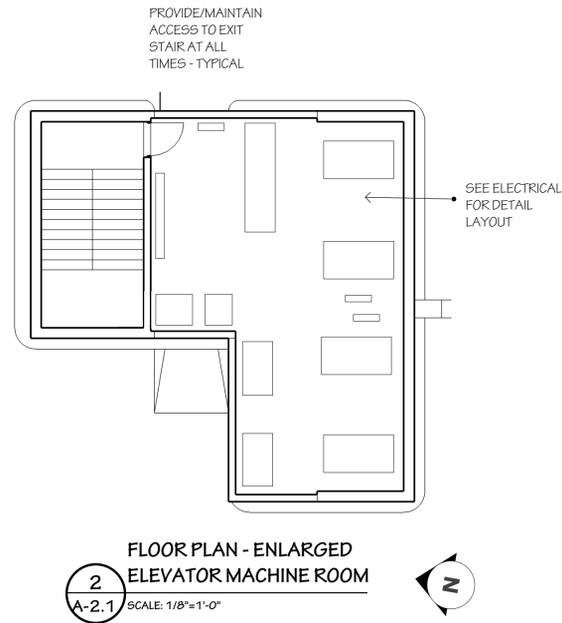
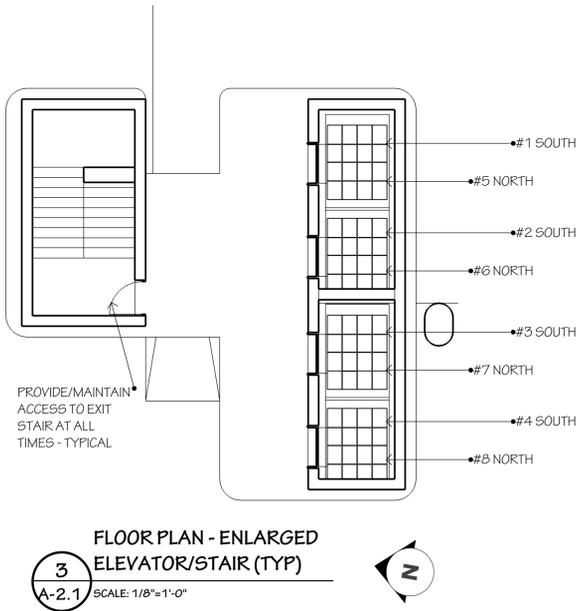
**FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS**

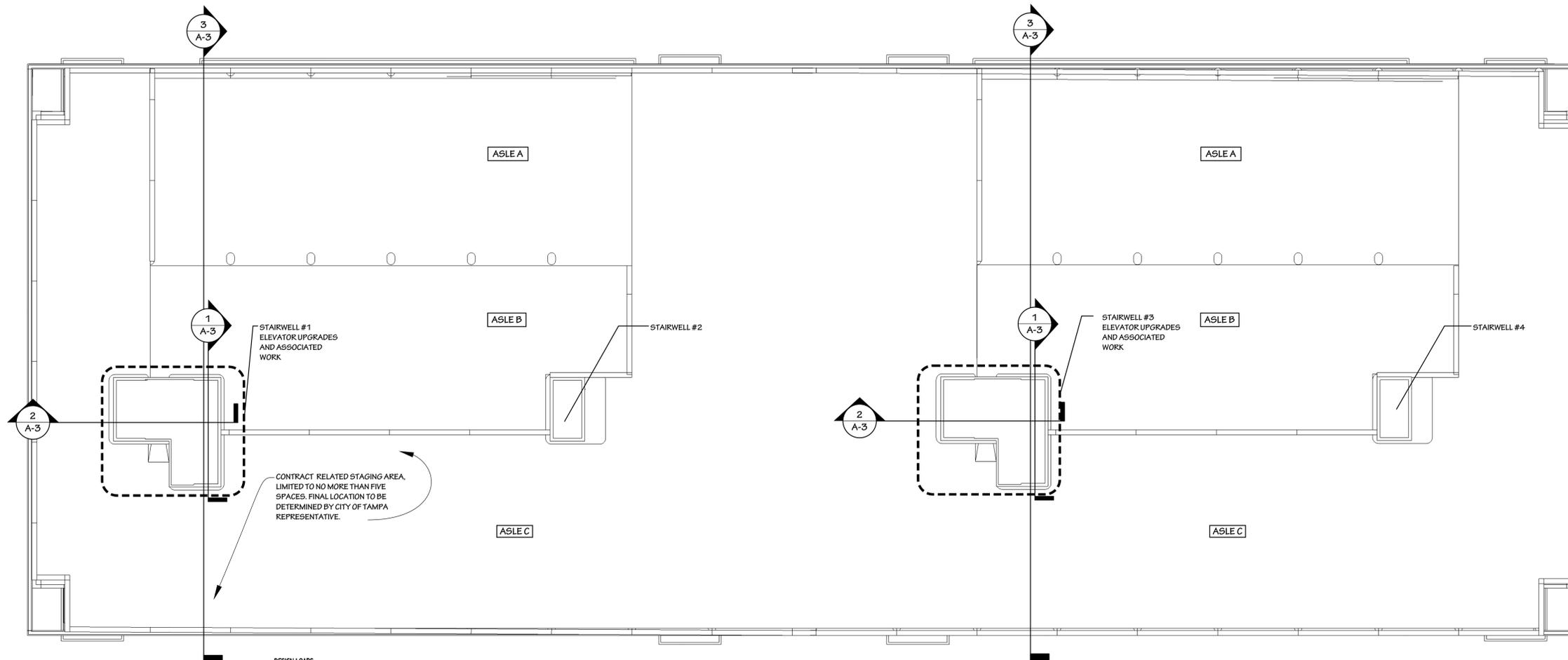
PROJECT ADDRESS  
107 N Franklin St  
Tampa, FL 33602

Design  
Harmonics  
Architecture  
AA 26007046  
19115 Alford Blvd, #879  
Rockledge, FL 32256  
3520 N Rocky Point Drive, Ste 150  
Tampa, FL 33607  
Tel: (813) 380-7997 Fax: (813) 380-7801  
design@harmonicsarchitecture.net

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**A - 2.1**





- DESIGN LOADS**
- A. LIVE LOADS:**
- UNIFORMLY DISTRIBUTED LIVE LOADS PSF
    - PARKING DECKS (LEVELS 8, 9, & ROOF).....50
    - PARKING DECK (LEVEL 7 ONLY) SEE PLAN
    - MECHANICAL ROOMS (OR ACTUAL EQUIPMENT LOAD, WHICHEVER IS LARGER).....150
  - CONCENTRATED LIVE LOADS LBS.
    - PASSENGER CARS ON AN AREA OF 20 SQ IN....2,000
    - ELEVATOR MACHINE ROOM GRATING ON AN AREA OF 4 SQ IN.....300
    - PARKING GUARDRAILS, 18 IN ABOVE FLOOR AT ANY POINT ALONG GUARDRAIL.....10,000
    - STAIR TREADS (ON CENTER OF TREADS).....300
  - LIVE LOAD REDUCTION: FOR LIVE LOADS OF 100 LBS/SQ FT OR LESS, THE DESIGN LOADS HAVE BEEN REDUCED AS PER THE STANDARD BUILDING CODE.
- B. WIND LOADS:**
- ALL WIND LOADS SHALL BE BASED ON THE REQUIREMENTS OF THE STANDARD BUILDING CODE.
    - BASIC WIND SPEED =100 MPH

**1 GARAGE FLOOR PLAN - ROOF**  
A-2.2 SCALE: 1"=20'-0"

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Seal  
Wayne Rosier  
Architect  
No. 0013113

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ELEVATOR IMPROVEMENTS**

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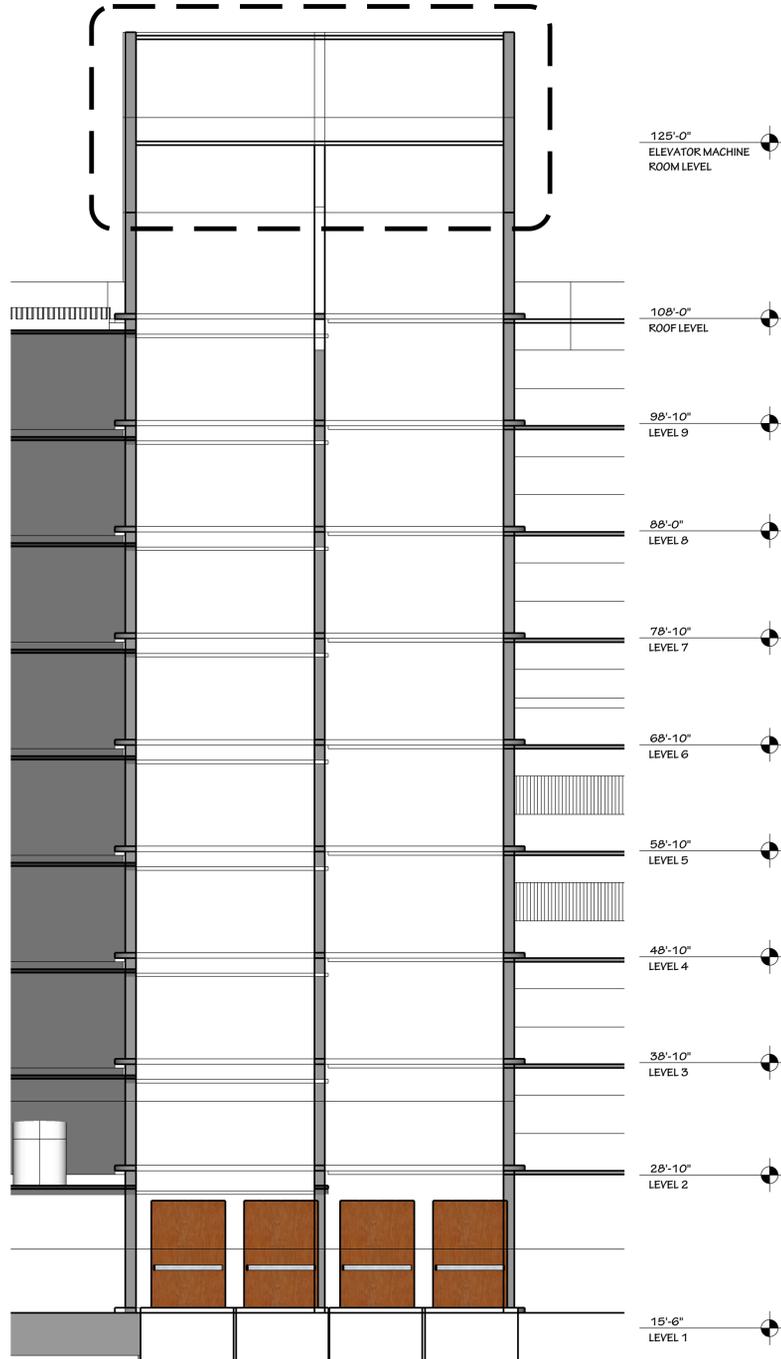
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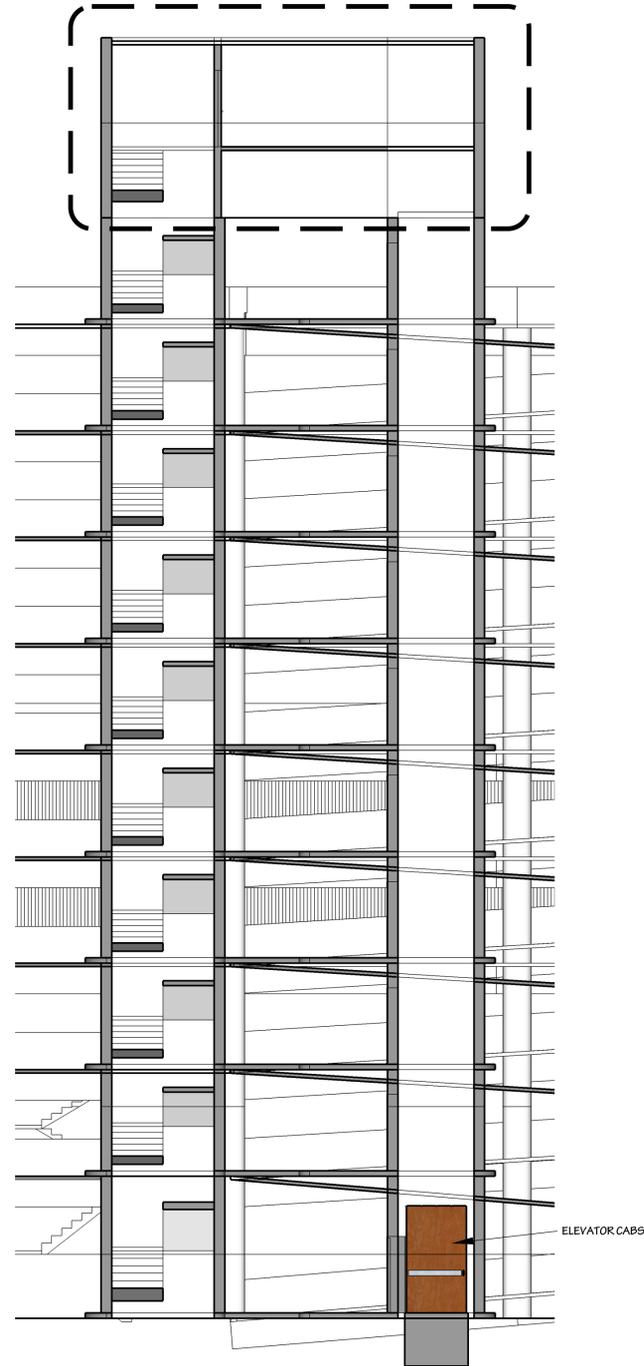
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Architect  
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**2 ELEVATOR MECH ROOM**  
A-3 SCALE: 1/8"=1'-0"



**2.1 ELEVATOR MECH ROOM**  
A-3 SCALE: 1/8"=1'-0"



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**PHASING:**

KEEP MINIMUM OF 2 ELEVATORS, PER CORE, IN OPERATION PER SPECIFICATION SECTION 14210.

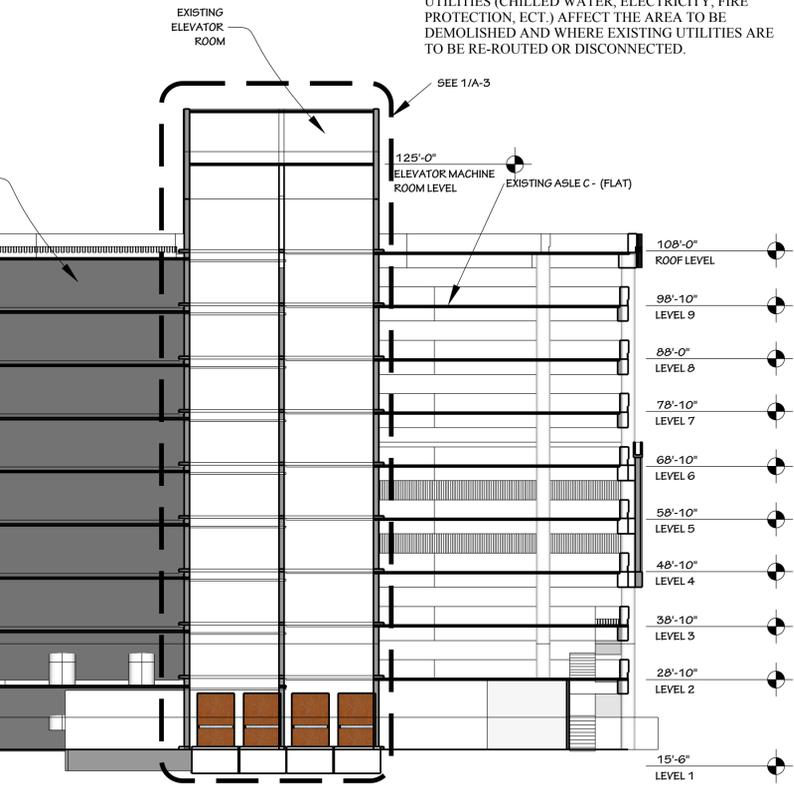
INTERIOR ITEMS (NOT LIMITED TO:)

1. REMARKS AND NOTES ON ARCHITECTURAL DRAWINGS FOR GENERAL AREAS REQUIRING PAINTING.
2. DRYWALL WALLS, BULKHEADS, AND CEILING.
3. ACCESS DOORS AND PANELS, ELECTRICAL PANELS, MISCELLANEOUS TRIM AND SURFACES NOT PRE-FURNISHED OR EXCLUDED SPECIFICALLY.
4. MECHANICAL GRILLS, REGISTERS, DIFFUSERS, ELECTRICAL PANELS, ETC, FURNISHED IN PRIME COATS. PAINT TO MATCH ADJACENT SURFACES.

THE PROPOSED INTERIOR ELEVATOR CAB WORK WILL INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OF PORTIONS OF EIGHT (8) ELEVATORS INCLUDING CAR FINISHES, CEILINGS AND HANDRAILS, CAR AND HOISTWAY DOORS AND SIGNAL EQUIPMENT.

**DEMOLITION NOTES:**

- 1 WHERE DEMOLITION OCCURS, CONTRACTOR IS RESPONSIBLE FOR LEVELING FLOOR AS REQUIRED TO MATCH SURROUNDING SURFACES PRIOR TO INSTALLATION OF NEW MATERIALS.
- 2 CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH COT PERSONNEL, ELECTRICAL AND MECHANICAL ENGINEERS OR ANY OTHER PERSONS THAT CAN GIVE INSIGHT INTO HOW THE EXISTING UTILITIES (CHILLED WATER, ELECTRICITY, FIRE PROTECTION, ECT.) AFFECT THE AREA TO BE DEMOLISHED AND WHERE EXISTING UTILITIES ARE TO BE RE-ROUTED OR DISCONNECTED.



**1 ENLARGED ELEVATOR SECTION**  
A-3 SCALE: 1/4"=1'-0"

**2 ELEVATOR CAB/STAIR SECTION**  
A-3 SCALE: 1/8"=1'-0"

**3 GARAGE SECTION**  
A-3 SCALE: 1/16"=1'-0"

**FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS**

PROJECT ADDRESS  
107 N Franklin St  
Tampa, FL 33602

Design  
**Harmonics  
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Sheet Title:	<b>BUILDING SECTIONS</b>
Comm. No.:	14-030
Scale:	AS NOTED
Date:	03-20-15
Drawn:	WR
Checked:	WR
Revised:	

Sheet No. **A-3**

ELECTRICAL SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MOUNTING
	1 X 4 FLUORESCENT FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	LINEAR INDIRECT FLUORESCENT FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	2 X 4 FLUORESCENT FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	SHADING DENOTES FIXTURE WITH EM BATTERY PACK. 'NL' DENOTES FIXTURE UNSWITCHED FOR NIGHT LIGHT	SEE FIXTURE SCHEDULE
	FLUORESCENT STRIP FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	FLUORESCENT WALL BRACKET FIXTURE LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	PL FLUORESCENT DOWNLIGHT LETTER INDICATES TYPE	SEE FIXTURE SCHEDULE
	EXIT-SHADING DENOTES FACEPLATE LOCATION. LETTER INDICATES TYPE. PROVIDE ARROWS AS REQUIRED.	SEE FIXTURE SCHEDULE
	SINGLE POLE SWITCH (20A-120/277) '3' DENOTES 3-WAY 'D' DENOTES DIMMER	48" AFF OR AS NOTED
	OCCUPANCY SENSOR	48" AFF OR AS NOTED
	LOW VOLTAGE LIGHTING SWITCH	48" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A 'IG' DENOTES ISOLATED GROUND	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A	18" AFF OR AS NOTED
	DUPLEX RECEPTACLE, 125V, 20A	48" AFF OR AS NOTED
	QUAD RECEPTACLE, 125V, 20A	18" AFF OR AS NOTED
	POWER/TELEPHONE POLE	SEE DETAIL OR AS NOTED
	OUTLET BOX OR J-BOX FOR POWER AND DATA SUPPLY TO FURNITURE SYSTEMS	18" AFF OR AS NOTED
	COMBINATION VOICE/DATA OUTLET	18" AFF OR AS NOTED
	DATA OUTLET	18" AFF OR AS NOTED
	VOICE OUTLET	18" AFF OR AS NOTED
	FAX OUTLET	18" AFF OR AS NOTED
	CARD READER	COORDINATE WITH SECURITY INSTALLER
	SURVEILLANCE CAMERA	COORDINATE WITH SECURITY INSTALLER
	T.V. OUTLET	18" AFF OR AS NOTED
	PANELBOARD 120/208V	SEE PANEL SCHEDULE
	RACEWAY CONCEALED IN WALL OR ABOVE CEILING	SEE SPECIFICATIONS
	HOMERUN TO PANEL. LETTERS INDICATE PANEL, NUMBERS INDICATE CIRCUIT. NOTE: HASH MARKS INDICATES THE NUMBER OF WIRES EXCLUDING THE REQUIRED EQUIPMENT GROUND.	SEE SPECIFICATIONS
	MOTOR, NUMERAL INDICATES HORSEPOWER	AS NOTED
	MOTOR RATED SWITCH WITH OVERLOAD RELAYS AS REQUIRED.	MOUNTED ADJACENT TO EQUIPMENT
	NON-FUSIBLE SAFETY SWITCH-SIZE AS NOTED	SEE SPECIFICATIONS
	FUSIBLE SAFETY SWITCH-SIZE AS NOTED	SEE SPECIFICATIONS
	FAN OR AIR HANDLER SHUTDOWN RELAY	MOUNTED ADJACENT TO EQUIPMENT
	FIRE ALARM VISUAL SIGNAL 75cd UON	80" AFF OR AS NOTED
	FIRE ALARM MANUAL PULLSTATION	48" AFF OR AS NOTED
	FIRE ALARM AUDIBLE/VISUAL SIGNAL 75cd UON. ADA COMPATIBLE.	80" AFF OR AS NOTED
	FIRE ALARM AUDIBLE/VISUAL SIGNAL 75cd UON. ADA COMPATIBLE.	CEILING MOUNTED AS NOTED
	FIRE ALARM SMOKE DETECTOR	ON CEILING OR AS NOTED
	FIRE ALARM HEAT DETECTOR	ON CEILING OR AS NOTED
	120 VOLT SINGLE STATION SMOKE DETECTOR	WALL OR AS NOTED
	FIRE ALARM SMOKE DETECTOR	CEILING OR AS NOTED
	FIRE ALARM TAMPER AND FLOW SWITCH	AS NOTED
	FIRE ALARM MINIHORN	WALL OR AS NOTED
	FIRE ALARM COMBINED HEAT AND SMOKE SYSTEM DETECTOR	ON CEILING OR AS NOTED
	FIRE ALARM COMBINED SMOKE AND HEAT SYSTEM DETECTOR 'SB' DENOTES SOUND BASE	ON CEILING OR AS NOTED
	FIRE ALARM PANEL ('FACP' DENOTES FIRE ALARM CONTROL PANEL, 'FAA' DENOTES ANNUNCIATOR)	60" AFF OR AS NOTED
	REFER TO LIKE NUMBERED NOTES	

ELECTRICAL GENERAL NOTES:	
1.	ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2010 - NATIONAL ELECTRIC CODE 2008, NFPA 70 AND ALL LOCAL ORDINANCES LATEST EDITIONS.
2.	BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK AND THE EXTENT OF DEMOLITION. THE SUBMISSION OF A BID WILL BE EVIDENCED THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
3.	ELECTRICAL CONTRACTOR SHALL BE EXPERIENCED IN PERFORMING AND INSTALLATION OF WORK SIMILAR TO THAT REQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL SUBMIT A LIST OF AT LEAST FIVE PROJECTS WITH SIMILAR PROJECT SCOPE OF WORK THAT THEY HAVE BEEN CONTRACTED AND COMPLETED CONSTRUCTION ON.
4.	PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL HAVE STUDIED AND COMPARED THE CONTRACT DOCUMENTS WITH EXISTING/PROPOSED CONDITIONS AND NOT LATER THAN TEN (10) DAYS PRIOR TO THE BID OPENING SHALL REPORT TO THE ENGINEER ANY ERROR, INCONSISTENCY, OR OMISSION IN THE CONTRACT DOCUMENTS.
5.	ELECTRICAL EQUIPMENT SHALL BE AS SPECIFIED. ARCHITECT AND ENGINEER WILL REVIEW ANY SUBSTITUTION FOR COMPATIBILITY.
6.	ALL CUTTING, PATCHING AND REPAIR WORK SHALL BE THE RESPONSIBILITY OF THE TRADE INVOLVED.
7.	PROTECT ELECTRICAL EQUIPMENT AND INSTALLATIONS AS NECESSARY. IF DAMAGED OR DISTURBED IN THE COURSE OF THE WORK, REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL CAPACITY, QUALITY, AND FUNCTIONALITY.
8.	THE CONTRACTOR SHALL INCLUDE WITHIN THE BID ALL REQUIRED OFF HOUR, OVERTIME, AND NON-BUSINESS HOUR WORK AS REQUIRED.
9.	ALL WORK SHALL BE COORDINATE WITH OTHER TRADES FOR ITEMS IN THEIR SCOPE OF WORK WHICH WOULD REQUIRE ELECTRICAL WORK (DISCONNECTION/RECONNECTION ETC.) AND ARE NOT INDICATED ON THE ELECTRICAL PLANS. ALL SUBCONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE BORNE BY THE SUBCONTRACTOR.
10.	THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS FOR ELECTRICAL EQUIPMENT SHOWN ON THE PLANS AND SPECIFICATIONS FOR THE ENGINEERS APPROVAL. THE ENGINEER MAY REQUIRE THE CONTRACTOR TO REDO ANY WORK, WHICH WAS NOT APPROVED, OR THE ENGINEER MAY REQUIRE A CREDIT TO THE OWNER. PROVIDE A SET OF AS BUILTS AFTER THE JOB IS COMPLETED. THIS SET SHALL BE CONTINUOUSLY UPDATED DURING CONSTRUCTION.
11.	PROVIDE IDENTIFICATION FOR ALL LIGHT FIXTURES AND ALL ELECTRICAL COVER PLATES WITH PERMANENT MARKER ON A SELF-ADHERING TAG INDICATING PANEL AND CIRCUIT NUMBER. TYPICAL FOR ALL LIGHTING AND POWER DEVICES.
12.	ALL WORK SHALL BE PERFORMED DURING TIME PERIODS ACCEPTABLE TO THE OWNER. SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING.
13.	THE CONTRACTOR SHALL PERFORM ALL TEMPORARY WORK NECESSARY TO MAINTAIN CONTINUITY OF ELECTRICAL SERVICE (LIKE SAWPOLE SERVICE) WHEN CONNECTION IS MADE. THIS SERVICE SHALL NOT BE INTERRUPTED WITHOUT PRIOR CONSENT OF THE OWNER'S REPRESENTATIVE AND MAY BE INTERRUPTED ONLY AT AND FOR THE SPECIFIED TIME DESIGNATED BY OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE GUIDED BY THE OWNER'S REPRESENTATIVE AT ALL TIMES IN MATTERS AFFECTING THE FACILITIES.
14.	THE CONTRACTOR SHALL COORDINATE ALL PHASING OF ELECTRICAL WORK AS REQUIRED AND INDICATED ON THE ELECTRICAL DRAWINGS.
15.	THE OWNER PROJECT REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO CUTTING OF ANY STRUCTURAL ITEM (I.E. CONCRETE FLOOR, MASONRY, WALL, ETC.) WITHIN THE EXISTING BUILDING. METHOD OF CUTTING SHALL BE APPROVED BY THE OWNER PROJECT REPRESENTATIVE.
16.	CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE BUILDING WATERTIGHT DURING CONSTRUCTION.
17.	ALL WIRING IN CEILING SPACE OR IN AIR HANDLING PLENUMS NOT IN CONDUIT SHALL BE UL LISTED AS SUITABLE FOR PLENUM USE.
18.	ALL JUNCTION BOXES AND COVER PLATES SHALL BE PAINTED AND LABELED.
19.	ALL RECEPTACLES WITHIN (6) FEET OF PLUMBING FIXTURES SHALL BE PROVIDED WITH 5 MILLIAMPERE GROUND FAULT INTERRUPTERS.
20.	EXIT SIGNS AND ALL EMERGENCY LIGHTING SHALL BE WIRED AHEAD OF ANY SWITCHING OR CONTACTORS. DO NOT SWITCH EXIT SIGNS OR EMERGENCY NIGHT LIGHTS. CONTRACTOR SHALL PROVIDE AN UNSWITCHED HOT TO BYPASS ANY SWITCHING AND/OR CONTACTORS FOR ALL SWITCHED EMERGENCY LIGHTING.
21.	EDGE OF LIGHT SWITCH WALL PLATE SHALL BE NOT MORE THAN 4" AWAY FROM METAL/WOOD DOOR FRAME. TYPICAL FOR SINGLE OR MULTIPLE WALL SWITCHES.
22.	CONFIRM MOUNTING HEIGHTS AND COORDINATE LOCATION OF ALL OUTLETS, SWITCHES, AND OTHER DEVICES WITH ARCHITECTURAL ELEVATIONS (FURNITURE LAYOUT) PRIOR TO ROUGH-IN.
23.	PROVIDE SEAL FOR PENETRATION OF FIRE RATED WALLS BY CONDUIT.
24.	BACK TO BACK RECEPTACLES IN ALL ONE HOUR FIRE RATED WALLS SHALL BE LOCATED A MINIMUM OF 24" ON CENTER.
25.	BRANCH CIRCUIT CONDUCTORS SHALL NOT BE SMALLER THAN NO. 12 AND WHERE BRANCH CIRCUIT CONDUCTOR RUNS FROM SOURCE (PANEL) TO THE LAST DEVICE ON THE CIRCUIT EXCEEDS 75 FT. IN LENGTH, THE CONDUCTORS SHALL BE NO. 10 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. FOR RUNS OVER 150 FT. IN LENGTH THE CONDUCTOR SHALL BE NO. 8 MINIMUM AND FOR THE ENTIRE LENGTH OF THE CIRCUIT. THE ABOVE APPLIES TO 120 VOLT CIRCUITS ONLY.
26.	THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE REMOVAL AND DISPOSAL OF ALL ELECTRICAL MATERIAL WHICH IS NOT TO BE USED ON THE PROJECT. CONTRACTOR SHALL REMOVE AND STORE ANY ELECTRICAL MATERIAL IF SO DIRECTED BY OWNER. PATCH AND PAINT WALLS AND CEILINGS AS REQUIRED THE CONTRACTOR SHALL COORDINATE INSTALLATION OF NEW LIGHTING FIXTURES, RECEPTACLES, PANEL BOARDS, ETC. WITH EXISTING STRUCTURE, PIPING, ETC. AND MAKE ADJUSTMENTS AS REQUIRED.
27.	REFER TO ELECTRICAL SPECIFICATIONS SHEET FOR REQUIREMENTS.
28.	UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL INSURE THAT ALL SYSTEMS OPERATE AS DESIGNED AND REQUIRED AND SHALL REVIEW THEIR OPERATION WITH THE OWNER AND PROVIDE TRAINING OF THE MAINTENANCE PERSONNEL. COMPLETE SET OF AS-BUILT DRAWINGS SHALL BE COMPILED (BY THE CONTRACTOR) AND ISSUED (1 EACH) TO THE ARCHITECT AND BUILDING MAINTENANCE PERSONNEL UPON COMPLETION OF CONSTRUCTION AND TESTING.

ABBREVIATIONS:			
AFF	- ABOVE FINISHED FLOOR	HVAC	- HEATING, VENTILATING, AIR CONDITIONING
AHU	- AIR HANDLING UNIT	JB	- JUNCTION BOX
BFG	- BELOW FINISHED GRADE	LRA	- LOCKED ROTOR AMPERES
C	- CONDUIT	MCB	- MAIN CIRCUIT BREAKER
CW	- COOL WHITE	MLO	- MAIN LUGS ONLY
DACP	- DOOR ALARM CONTROL PANEL	N	- NEUTRAL
DN	- FEED DOWNWARD	NL	- NIGHT LIGHT
EF	- EXHAUST FAN	OB	- OUTLET BOX
EG	- EQUIPMENT GROUND	PB	- PULL BOX, PUSH-BUTTON
ENCL	- ENCLOSURE	PS	- PAY STATION
EWC	- ELECTRIC WATER COOLER	SF	- SUPPLY FAN
EWI	- ELECTRIC WATER HEATER	SPEC	- SPECIFICATIONS
WX	- EXPLOSION PROOF	TL	- TWISTLOCK
FCU	- FAN COIL UNIT	TTB	- TELEPHONE TERMINAL BOARD
FHP	- FRACTIONAL HORSEPOWER	TVIB	- TELEVISION TERMINAL BOARD
FLA	- FULL LOAD AMPERES	UNO	- UNLESS NOTED OTHERWISE
G	- GROUND	UP	- FEED UPWARD
GFI	- GROUND FAULT INTERRUPTER	VERT	- VERTICAL
HID	- HIGH INTENSITY DISCHARGE	WM	- WATT MISER
HORIZ	- HORIZONTAL	WP	- WEATHERPROOF
IG	- ISOLATED GROUND	WW	- WARM WHITE
LW	- LIGHT WHITE	XFMR	- TRANSFORMER
HP	- HORSEPOWER, HEAT PUMP		

**NATIONAL ELECTRIC CODE NOTES:**  
ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF NFPA 70 - 2008 NATIONAL ELECTRIC CODE

**FIRE ALARM GENERAL NOTES:**  
ALL FIRE ALARM WORK SHALL BE DONE BY A LICENSED ELECTRICAL/FIRE ALARM CONTRACTOR.

**ELECTRICAL SUBMITTAL NOTES:**  
SUBMIT ALL ELECTRICAL SYSTEMS SUBMITTALS AT ONE (1) TIME IN ONE (1) INTEGRAL GROUP. PIECE-BY-PIECE SUBMISSION OF INDIVIDUAL ITEMS WILL NOT BE ACCEPTABLE. ENGINEER MAY CHECK CONTENTS OF EACH SUBMITTAL SET UPON INITIAL DELIVERY. IF NOT COMPLETE AS SET FORTH HEREIN, SUBMITTAL SETS MAY BE RETURNED TO CONTRACTOR WITHOUT REVIEW AND APPROVAL AND WILL NOT BE ACCEPTED UNTIL MADE COMPLETE. SHOP DRAWINGS WILL BE REVIEWED MAXIMUM TWICE AS PART OF THIS CONTRACT.

**NOTE:**  
1. ALL MOUNTING HEIGHTS SHOWN ARE TO THE TOP OF THE DEVICE UNLESS NOTED OTHERWISE.  
2. NOT ALL SYMBOLS APPEAR ON PLANS.

ELECTRICAL DRAWING INDEX:		
#	SHEET	DESCRIPTION
1	E1	ELECTRICAL COVER SHEET
2	E2	ELECTRICAL ELEVATION
3	E3	ELECTRICAL ROOF PLAN
4	E4	ELECTRICAL PENTHOUSE PLAN
5	E5	GROUND FLOOR ELECTRICAL PLAN
6	E6	ELECTRICAL POWER RISER
7	E7	ELECTRICAL PANELS
8	E8	FA PLAN GROUND FLOOR
9	E9	FA PLAN FLOOR 2-10
10	E10	FA DETAILS
11	E11	FA DETAILS

**GENERAL NOTE:**  
CITY OF TAMPA FACILITY MANAGEMENT STORAGE IS LOCATED AT:  
1550 NORTH GRADY AVE. TAMPA, FLORIDA.  
CONTRACTOR IS RESPONSIBLE FOR LOADING AND TRANSPORTING THE SPECIFIED/OWNER PURCHASED EQUIPMENT TO THE JOB SITE AND INSTALLING EQUIPMENT PER CONSTRUCTION DRAWINGS.

All dimensions and job conditions shall be checked by the contractor who shall be responsible for the same, any and all discrepancies shall be reported to the architect prior to the start of construction. The information contained herein is the sole property of Design Harmonics Architecture, Inc. Unauthorized reproduction and/or use may be prosecuted under appropriate copyright and patent laws.

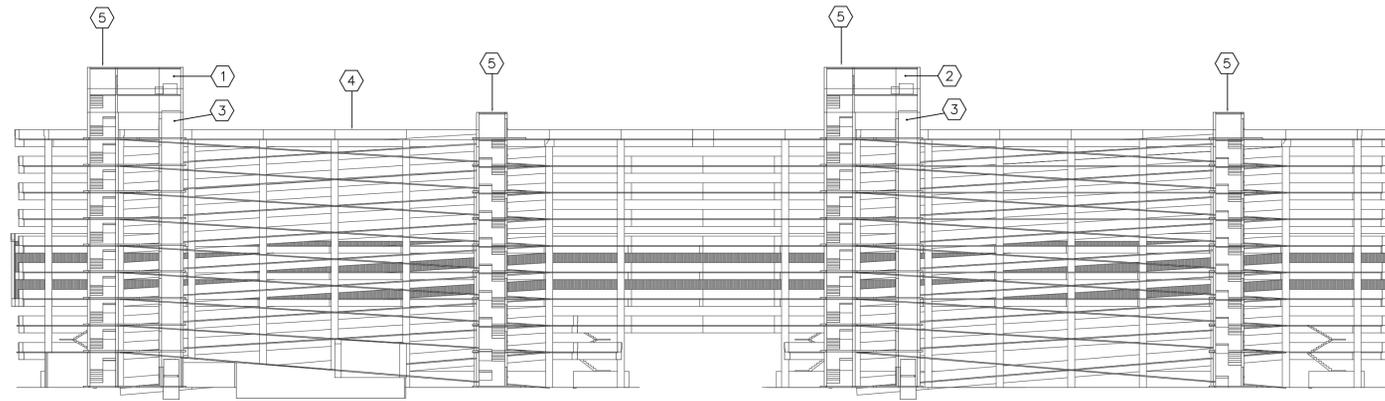
FORT BROOKE PARKING GARAGE  
 ELEVATOR IMPROVEMENTS  
 107 N Franklin St  
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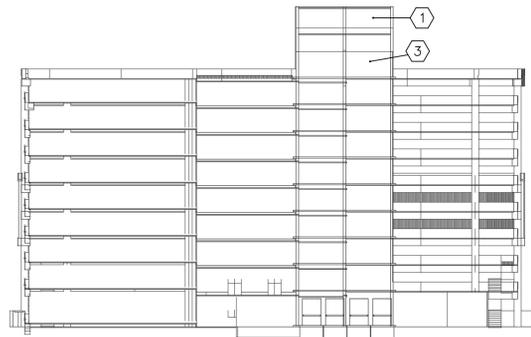
Sheet Title:	
ELECTRICAL COVER SHEET	
Comm. No.	14-030
Scale:	AS NOTED
Date:	10-31-14
Drawn:	WR
Checked:	WR
Revised:	

Sheet No.  
E-1

	<b>GRINER ENGINEERING, INC.</b>	Date	11/07/2014
	1628 First Avenue North St. Petersburg, Florida 33713	Drawn	RHM
	Phone: (727) 822-2355	Designed	RHM
	Fax: (727) 821-3361	FOR	JHG
	Certificate of Authorization #3173	Job no.	14160



**PARKING GARAGE  
NORTH/SOUTH SECTION VIEW**  
E1  
SCALE: 1/32" = 1'-0"



**PARKING GARAGE  
EAST/WEST END SECTION VIEW**  
E2  
SCALE: 1/32" = 1'-0"

**ELECTRICAL RENOVATION NOTES:**

1. EXISTING NORTH ELEVATOR PENTHOUSE FOR ELEVATORS NO. 5 THRU 8. ACCESS FROM ROOF ELEVATION.
2. EXISTING SOUTH ELEVATOR PENTHOUSE FOR ELEVATORS NO. 1 THRU 4. ACCESS FROM ROOF ELEVATION.
3. EXISTING ELEVATOR HOISTWAY AND ELEVATOR CAR PLATFORM AND WALL FRAMING TO BE REUSED. ELEVATOR CAR INTERIOR FEATURES TO BE REPLACED/UPGRADED AS DEFINED IN THE CONTRACT DOCUMENTS (TYPICAL).
4. EXISTING PARKING GARAGE ROOF LEVEL.
5. EXISTING STAIR TOWER (TYPICAL).

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**FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS**

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Sheet Title:  
**ELECTRICAL  
ELEVATION**

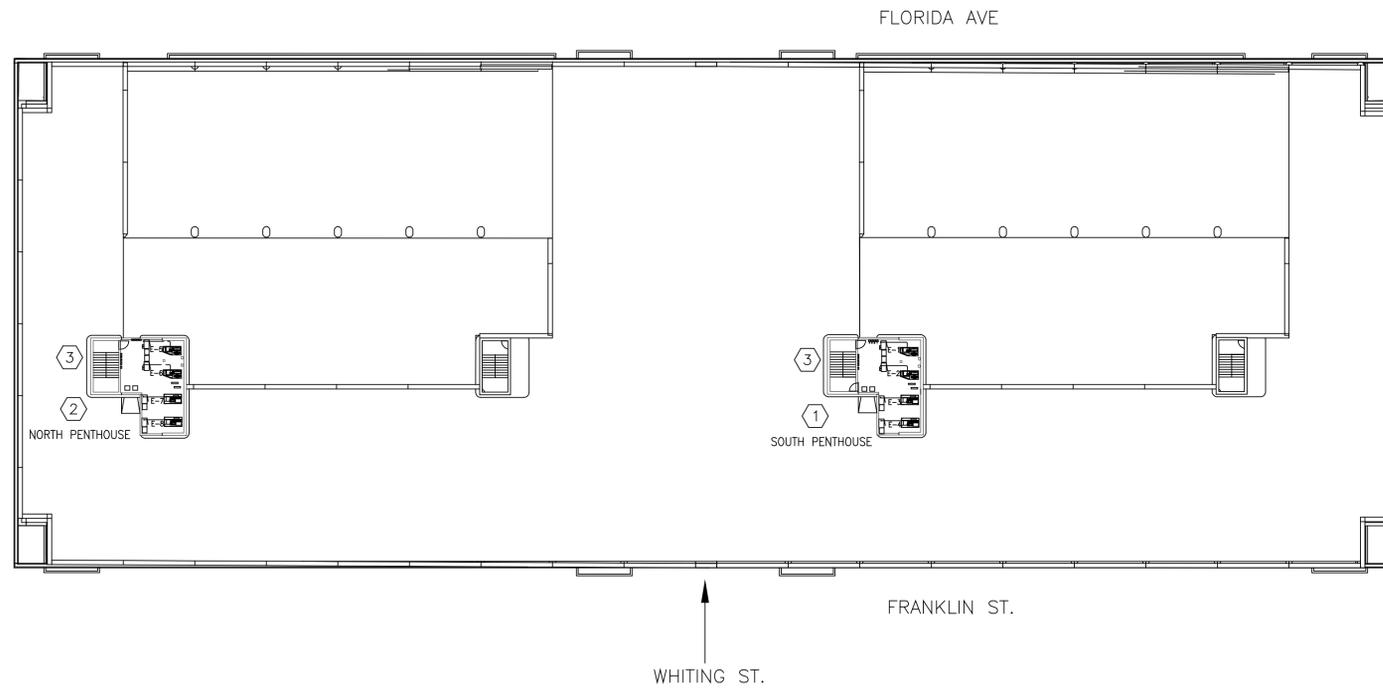
Comm. No.	14-030
Scale:	AS NOTED
Date:	10-31-14
Drawn:	WR
Checked:	WR
Revised:	

<b>G</b>	<b>GRINER ENGINEERING, INC.</b>	Date	11/07/2014
	1628 First Avenue North	Drawn	RHM
	St. Petersburg, Florida 33713	Designed	RHM
	Phone: (727) 822-2355	EOR	JHG
	Fax: (727) 821-3361	Job no.	14160
	Certificate of Authorization #3173		

Sheet No.  
**E-2**

**ELECTRICAL RENOVATION NOTES:**

1. EXISTING SOUTH ELEVATOR PENTHOUSE FOR ELEVATORS NO. 1 THRU 4. ACCESS FROM ROOF ELEVATION. WORK TO THESE UNITS BY ALTERNATE CONTRACT.
2. EXISTING NORTH ELEVATOR PENTHOUSE FOR ELEVATORS NO. 5 THRU 8. ACCESS FROM ROOF ELEVATION. WORK TO UNITS #5, #6, #7, #8 UNDER THIS CONTRACT. SEE PENTHOUSE AND RISER SHEETS FOR DETAILS.
3. EXISTING STAIRWAY (TYPICAL)



All dimensions and job conditions shall be checked by the contractor who shall be responsible for the same, any and all discrepancies shall be reported to the architect prior to the start of construction. The information contained herein is the sole property of Design Harmonics Architecture, Inc. Unauthorized reproduction and/or use may be prosecuted under appropriate copyright and patent laws.

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Sheet Title:	
ELECTRICAL ROOF PLAN	
Comm. No.	14-030
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Date:	10-31-14
Drawn:	WR
Checked:	WR
Revised:	

ELECTRICAL ROOF PLAN  
 WITH ELEVATOR MACHINE ROOMS  
 SCALE: 1/32" = 1'-0"

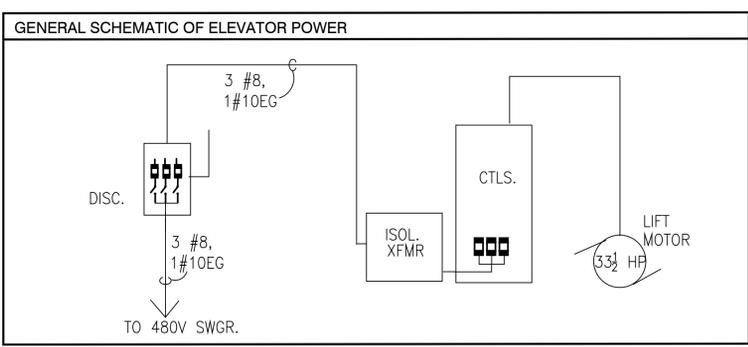
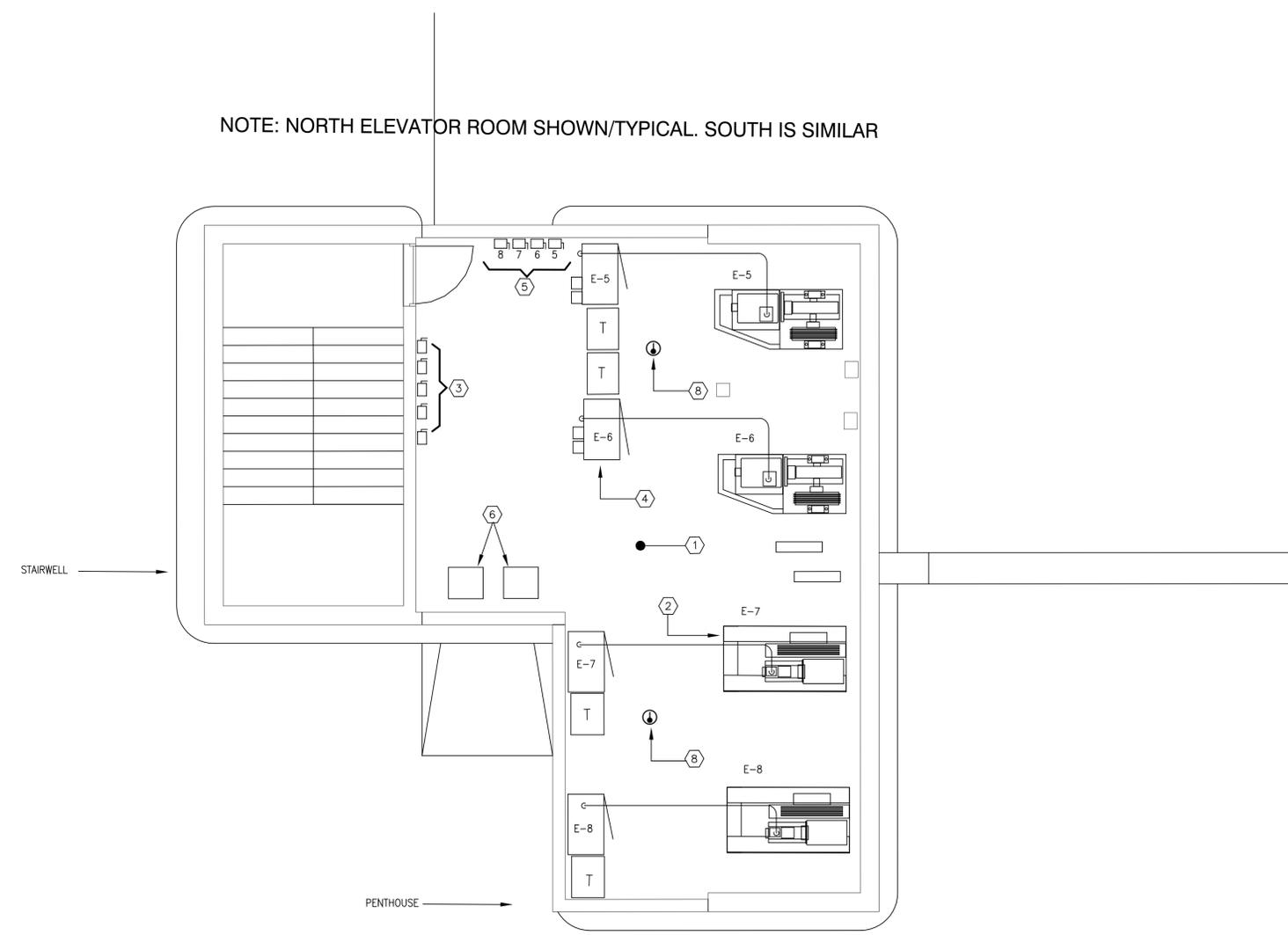
<b>G</b>	GRINER ENGINEERING, INC.	Date	11/07/2014
	1628 First Avenue North	Drawn	RHM
	St. Petersburg, Florida 33713	Designed	RHM
	Phone: (727) 822-2355	FOR	JHG
	Fax: (727) 821-3361	Job no.	14160
Certificate of Authorization #3173			

Sheet No.  
**E-3**

All dimensions and job conditions shall be checked by the contractor who shall be responsible for the same, any and all discrepancies shall be noted and corrected prior to the start of construction. The information contained herein is the sole property of Design Harmonics Architecture, Inc. Unauthorized reproduction and/or use may be prosecuted under appropriate copyright and patent laws.

- ELECTRICAL RENOVATION NOTES:**
- EXISTING NORTH ELEVATOR PENTHOUSE FOR ELEVATORS NO. 5 THRU 8. ACCESS FROM ROOF ELEVATION, SOUTH PENTHOUSE IS SIMILAR LAYOUT WITH ELEVATORS 1 THRU 4.
    - NORTH PENTHOUSE ELEVATORS (#5,#6,#7,#8) TO BE INCLUDED IN THIS CONTRACT.
    - SOUTH PENTHOUSE ELEVATORS (#1,#2,#3,#4) TO BE BY ALTERNATE CONTRACT.
  - ELEVATOR TRACTION MACHINE TO BE PURCHASED BY CITY AND REPLACED BY CONTRACTOR (TYPICAL). UNITS #5 AND #6 ARE TO BE REPLACED BY CONTRACT DOCUMENTS (UNITS #1 AND #2 BY ALTERNATE CONTRACT). REMAINING UNITS SHALL BE REFURBISHED AND ADJUSTED TO ACCEPTABLE CONDITION.
  - EXISTING 480V 60A 3 POLE FUSED DISCONNECT WITH 50A FUSES FOR ELEVATOR POWER TO REMAIN TO BE REUSED (TYPICAL). REPLACE EXISTING FUSES WHEN NEW ELEVATOR EQUIPMENT IS INSTALLED, TRACTION MACHINES #5 AND #6 ARE TO BE REPLACED BY CONTRACT DOCUMENTS. REMAINING UNITS WILL BE REFURBISHED TO ACCEPTABLE CONDITION. TRACTION MACHINES FOR UNITS #1, #2, BY ALTERNATE CONTRACT.
  - ELEVATOR CONTROLLERS FOR UNITS #5,#6,#7,#8 TO BE PURCHASED BY CITY AND REPLACED BY CONTRACTOR (TYPICAL). CONTROLLERS FOR UNITS #1, #2, #3, #4 BY ALTERNATE CONTRACT.
  - EXISTING FUSED DISCONNECTS FOR ELEVATOR CAR LIGHTS (TYPICAL).
  - EXISTING DX HVAC UNITS (TYPICAL)
  - EXISTING 31KVA 3 PHASE 480V DELTA TO 480V WYE ISOLATION TRANSFORMER FOR EACH CONTROLLER. TRANSFORMER TO REMAIN TO BE REUSED AS NEEDED WITH REPLACEMENT CONTROLLER.
  - REMOVE FIRE ALARM 120V HEAT DETECTOR AS SHOWN (TYPICAL). FURNISH AND INSTALL NEW ADDRESSABLE HEAT DETECTOR AND RUN TO NEW FIRE ALARM PANEL IN GROUND FLOOR VIA APPROVED METHODS AND MATERIALS AND CONNECT. SEE FIRE ALARM PANEL SHEET FOR USE OF EXPANDER PANELS FOR DISTANCE.

NOTE: NORTH ELEVATOR ROOM SHOWN/TYPICAL. SOUTH IS SIMILAR



ELEVATOR PENTHOUSE TYPICAL PLAN  
ELEVATOR RENOVATION  
SCALE: 1/4" = 1'-0"

FORT BROOKE PARKING GARAGE  
 ELEVATOR IMPROVEMENTS  
 107 N Franklin St  
 Tampa, FL 33602

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ELECTRICAL PENTHOUSE PLAN	
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<b>G</b>	GRINER ENGINEERING, INC.	Date	11/07/2014
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	Fax: (727) 821-3361	Job no.	14160
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**E-4**

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ELEVATOR IMPROVEMENTS

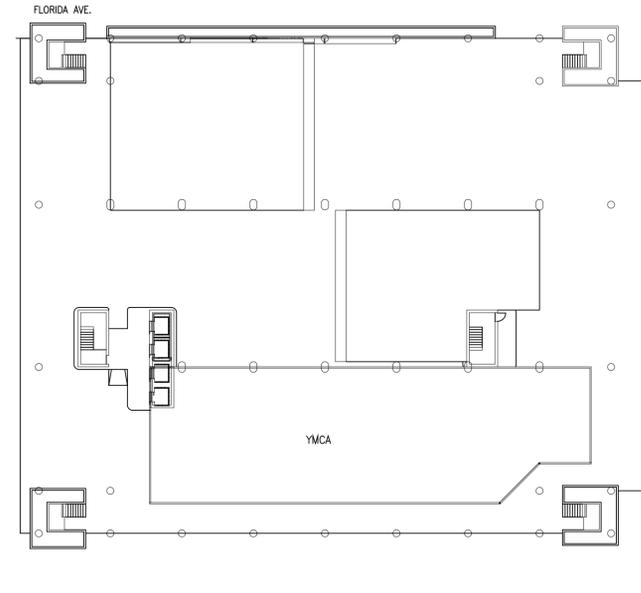
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Sheet Title: GROUND FLOOR POWER PLAN	
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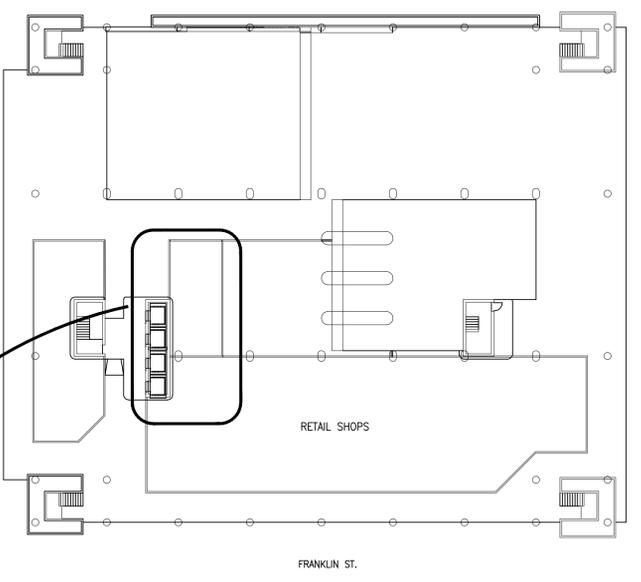
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E-5

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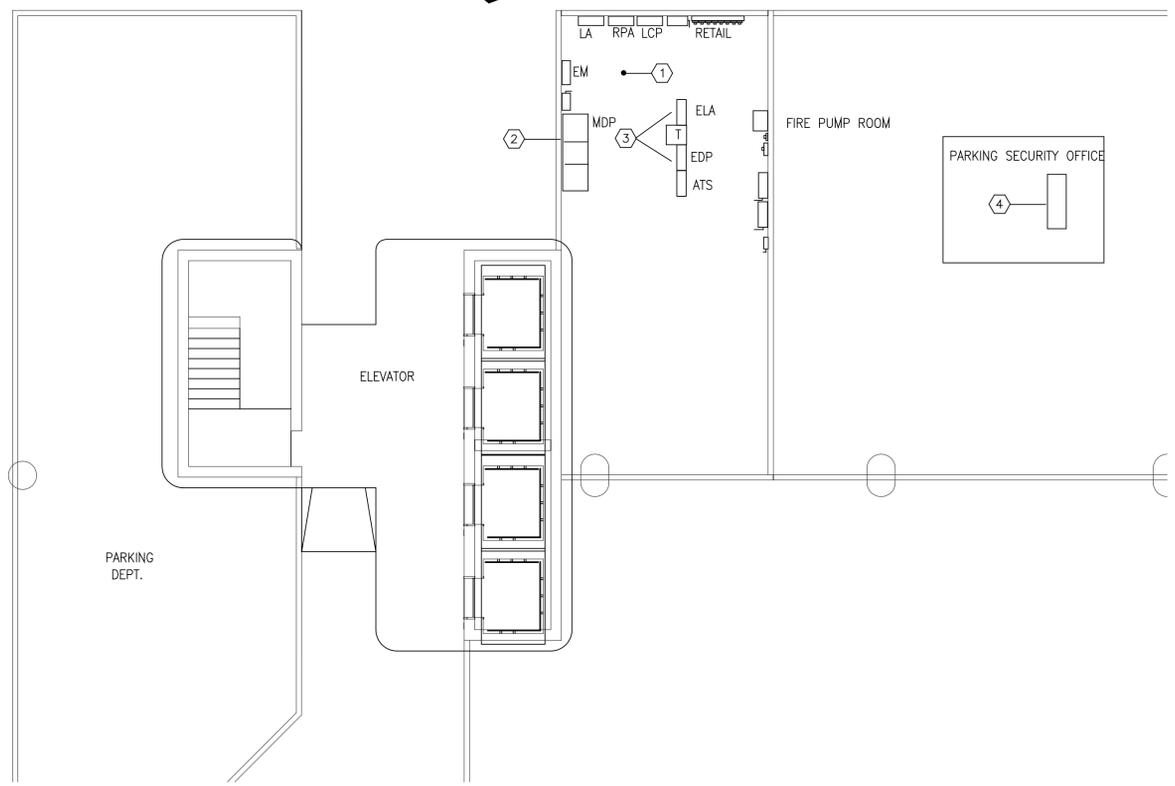


PARKING GARAGE GROUND FLOOR PLAN  
ELEVATOR RENOVATION  
SCALE: 1/16" = 1'-0"

- ELECTRICAL POWER NOTES:**
1. EXISTING ELECTRICAL ROOM ON GROUND FLOOR.
  2. EXISTING MAIN DISCONNECT AND MAIN DISTRIBUTION PANEL 'MDP'.
  3. EXISTING PANEL 'EDP' AND 'ELA'. SEE RISER SHEET FOR ELEVATOR REFERENCE. EXISTING ELEVATOR FEEDERS AND CIRCUIT BREAKERS TO BE REUSED IF REUSABLE. CIRCUITS, WIRING AND CONDUIT, FOR CONTROLS AND LIGHTING TO BE REUSED. SEE RISER SHEET E-6 FOR DETAILS.
  4. EXISTING REMOTE ELEVATOR MONITOR PANEL FOR ALL ELEVATORS TO BE REPLACED BY ELEVATOR RENOVATION. CONTRACTOR TO VERIFY REQUIREMENTS AND CRITERIA AS SPECIFIED BY THE CONTRACT DOCUMENTS, INCLUDING SPECIFICATION 14210. NOTE: CONTRACTOR TO VERIFY LOCATION.



PARKING GARAGE GROUND FLOOR  
PARTIAL PLAN  
SCALE: 1/8" = 1'-0"



**E2**

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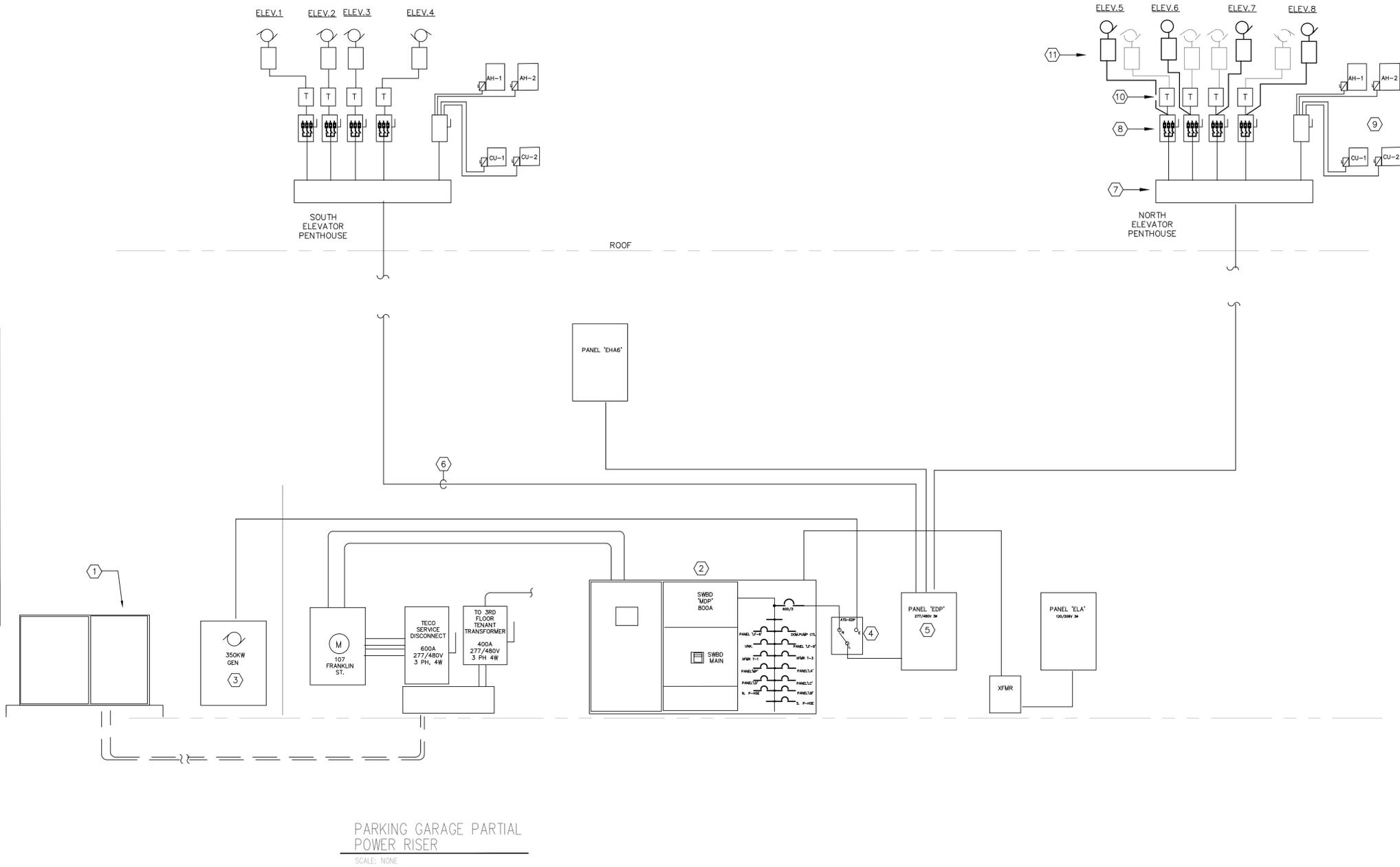
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ELEVATOR IMPROVEMENTS**  
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Sheet Title: <b>ELECTRICAL RISER DIAGRAM</b>	
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	Fax: (727) 821-5361	Job no.	14160
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- RISER DIAGRAM NOTES:**
- EXISTING TECO 277/480V 3 PHASE TRANSFORMER FOR BUILDING POWER.
  - EXISTING SWITCHBOARD "MDP".
  - EXISTING STANDBY GENERATOR.
  - EXISTING AUTOMATIC TRANSFER SWITCH.
  - EXISTING PANEL "EDP".
  - EXISTING ELEVATOR ROOM FEEDER, 3-500MCM, 1 #3 EG -3 INCH (TYPICAL).
  - EXISTING WIREWAY (TYPICAL).
  - EXISTING ELEVATOR 60A 3 POLE FUSED DISCONNECT (TYPICAL).
  - EXISTING ELEVATOR PENTHOUSE HVAC SYSTEMS TO REMAIN (TYPICAL).
  - EXISTING 31KVA 480V DELTA TO 480V WYE ISOLATION TRANSFORMER (TYPICAL), TO BE REMOVED IF NOT NEEDED DEPENDING ON VENDOR WINNING BID.
  - ELEVATOR TRACTION MACHINES #5 AND #6 AND CONTROLLERS FOR UNITS #5, #6, #7, #8 TO BE REMOVED AND REPLACED (TYPICAL OF 2 TRACTION MACHINES, 4 CONTROLLERS). EQUIPMENT IS PURCHASED BY CITY OF TAMPA AND INSTALLED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR:
    - COMPLETE REMOVAL AND DISPOSAL OF EXISTING EQUIPMENT.
    - OBTAINING AND TRANSPORTING NEW EQUIPMENT FROM CITY FACILITY MANAGEMENT (SEE SHEET E-1 FOR LOCATION) AND INSTALLING AS REQUIRED TO MAKE A COMPLETE ASSEMBLY...TRACTION MACHINE, CONTROLS, WIRING.
    - RIGGING, BRINGING TO ROOF ELEVATION AND INSTALLING NEW ELEVATOR ASSEMBLY. SEE SPECIFICATIONS IN BID PACKAGE.
    - START-UP AND TESTING OF NEW INSTALLED ELEVATOR ASSEMBLY.
- NOTE: SOUTH PENTHOUSE UNITS #1, #2, #3, #4 TO BE BY ALTERNATE CONTRACT FOR TRACTION MACHINES AND CONTROLLERS.

**PARKING GARAGE PARTIAL  
POWER RISER**  
SCALE: NONE

EXISTING		PANEL EDP 277/480V 3PH, 4W										LOAD WATTS				
LOAD WATTS		LOAD DESCRIPTION		CIR	BKR	600/3 MLO		CIR	BKR	LOAD DESCRIPTION		LOAD WATTS				
A φ	B φ	C φ		TRIP	NO.	TRIP	NO.	TRIP	NO.	TRIP		A φ	B φ	C φ		
			ELEVATORS, HVAC NORTH	400	1	2	400	2	400	ELEVATORS, HVAC SOUTH						
				3	4	5	6	7	8							
			TRANSFORMER PANEL ELA	50	7	9	10	11	12	PANEL EHA6						
				13	14	15	16	17	18							
			PANEL EM	60	19	20	21	22	23							
				24	25	26	27	28	29							
-	-	-	TOTAL CONNECTED:	ESTIMATED DEMAND:												

NOTE: PANEL SCHEDULES WERE PREPARED FROM SITE INFORMATION AND AS BUILT DRAWINGS. THE INFORMATION IS CONTRADICTIONARY AND SHALL BE VERIFIED PRIOR TO PERFORMING ANY WORK TO THE ELEVATOR SYSTEMS. AS SUCH, WHAT IS SHOWN IS HISTORICAL MATERIAL.

FOR GENERAL INFORMATION ONLY

EXISTING		PANEL ELA 120/208V 3PH, 4W										LOAD WATTS				
LOAD WATTS		LOAD DESCRIPTION		CIR	BKR	100/3 MCB		CIR	BKR	LOAD DESCRIPTION		LOAD WATTS				
A φ	B φ	C φ		TRIP	NO.	TRIP	NO.	TRIP	NO.	TRIP		A φ	B φ	C φ		
			ELEV. #1 LGT/CTLS	20	1	2	20	2	20	SPARE						
			ELEV. #2 LGT/CTLS	20	3	4	20	4	20	FIRE PUMP RUN ALARM						
			ELEV. #3 LGT/CTLS	20	5	6	20	6	20	ELEV. #7 LGT/CTLS						
			ELEV. #4 LGT/CTLS	20	7	8	20	8	20	ELEV. #8 LGT/CTLS						
			R ELEV.MACH RM.N	20	9	10	20	10	20	ELEV. MACH. RM. SO						
			PHOTOCELL ON ROOF	20	11	12	20	12	20	ELEV. MACH. RM. SO						
			ELEV. CORE N. 6,7,8	20	13	14	20	14	20	ELEV. CORE S. 6,7,8						
			ELEV. CORE N. 9,10	20	15	16	20	16	20	ELEV. CORE S. 9,10						
			ELEV. PIT N. L,R	20	17	18	20	18	20	ELEV. PIT S. L,R						
			ELEV. CORE #1 L,R	20	19	20	20	20	20	ELEV. CORE #1 L,R						
			ELEV. CORE #2 L,R	20	21	22	20	22	20	ELEV. CORE #2 L,R						
			ELEV. CORE #3 L,R	20	23	24	20	24	20	ELEV. CORE #3 L,R						
			ELEV. CORE #4 L,R	20	25	26	20	26	20	ELEV. CORE #4 L,R						
				20	27	28	20	28	20	ELEVATOR SMOKE DET.						
			SWITCHES	20	29	30	20	30	20	ELEVATOR SMOKE DET.						
			CAR CHARGER	20	31	32	20	32	20							
				33	34	30	30	30	30	GEN BLOCK HEATER						
				35	36	37	37	37	37							
			CAR CHARGER	20	37	38	20	38	20	CAR CHARGER						
				39	40	41	41	41	41							
				40	42	42	20	42	20							
-	-	-	TOTAL CONNECTED:	ESTIMATED DEMAND:												

PARKING GARAGE  
ELEVATOR IMPROVEMENTS  
PANEL SCHEDULES W/ ELEVATOR LOADS  
SCALE: NONE

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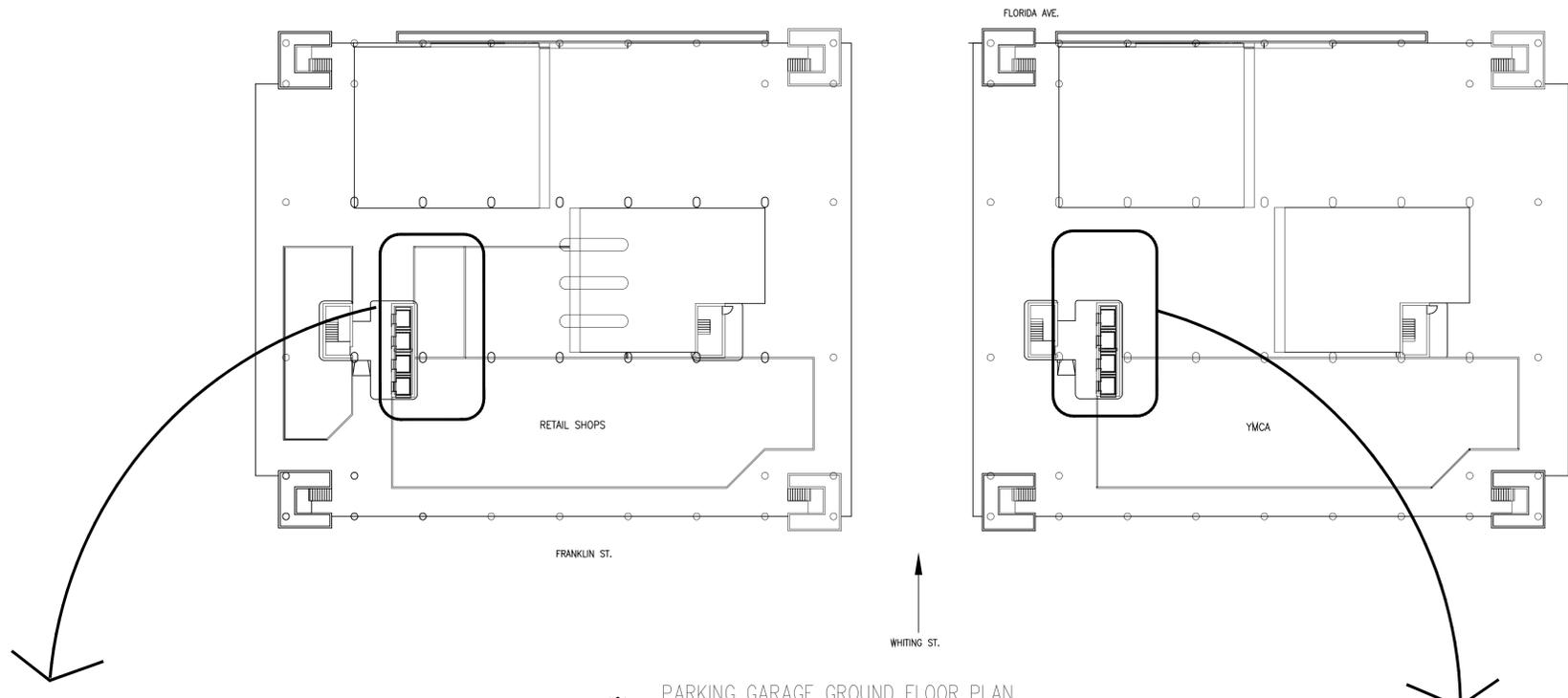
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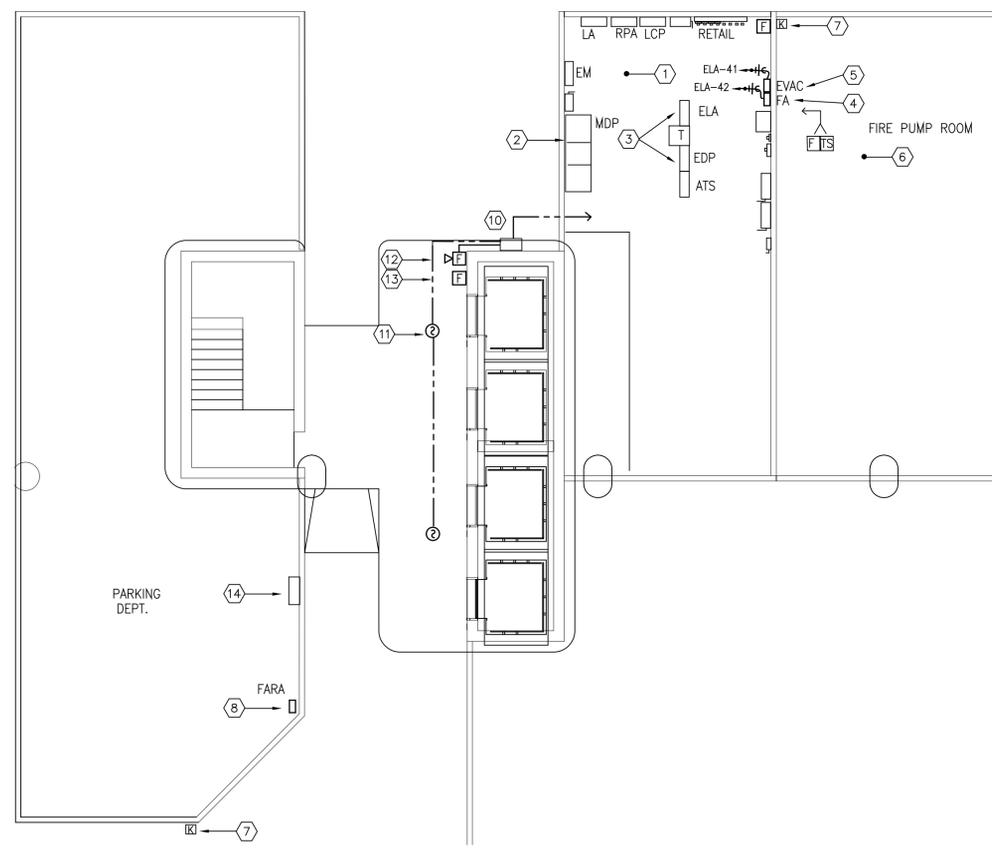
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	St. Petersburg, Florida 33713	Designed	RHM
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	Fax: (727) 821-3361	Job no.	14160
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Sheet No.	E-7
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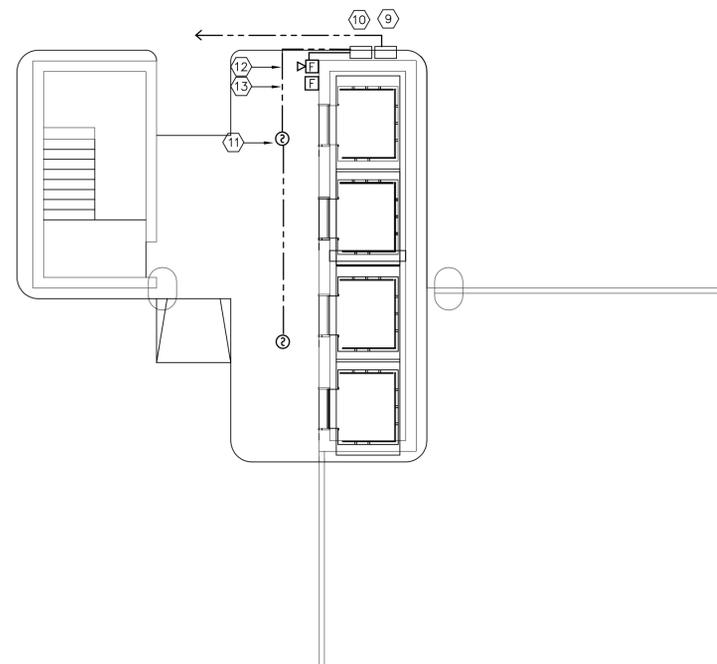
PARKING GARAGE GROUND FLOOR ELEVATOR RENOVATION  
SCALE: 1/16" = 1'-0"



PARKING GARAGE GROUND FLOOR PARTIAL PLAN  
SCALE: 1/8" = 1'-0"

**ELECTRICAL PARTIAL PLAN NOTES:**

1. EXISTING ELECTRICAL ROOM ON GROUND FLOOR.
2. EXISTING MAIN DISCONNECT AND MAIN DISTRIBUTION PANEL 'MDP'.
3. EXISTING PANEL 'EDP' AND 'ELA'. SEE RISER SHEET E-7 FOR ELEVATOR REFERENCE. EXISTING ELEVATOR FEEDERS AND CIRCUIT BREAKERS TO BE REUSED IS REUSABLE. CIRCUITS FOR CONTROLS AND LIGHTING TO BE REUSED.
4. CITY TO FURNISH AND INSTALL NEW ADDRESSABLE MULTIZONE EXPANDABLE NON-PROPRIETARY FIRE ALARM PANEL. UNIT TO BE FIRE LITE, HONEYWELL, GAMEWELL, FIKE, SILENT KNIGHT OR OTHER EQUAL APPROVED BY TAMPA FIRE DEPT. NEW PANEL TO BE FURNISHED WITH BATTERY BACK UP SYSTEM. CONTRACTOR TO OBTAIN PANEL FROM CITY (SEE SHEET E-1) AND INSTALL PANEL TO INCLUDE DIGITAL COMMUNICATOR.
5. FURNISH AND INSTALL NEW VOICE EVAC PANEL SYSTEM AND CONNECT VIA NEW FIRE ALARM PANEL IN NOTE 4 ABOVE.
6. EXISTING FIRE SPRINKLER PUMP SYSTEM AND CONTROLLER. CONNECT TO FIRE ALARM SYSTEM TO REPORT INITIATION. TIE TO FIRE PROTECTION SYSTEM STANDPIPE FLOW AND TAMPER DEVICES. FURNISH AS REQUIRED.
7. FURNISH AND INSTALL NEW KNOX BOX (TYPICAL) FOR FIRE DEPT KEY ACCESS.
8. NEW FIRE ALARM PANEL REMOTE ANNUNCIATOR (FARA). WIRE BACK TO FIRE ALARM PANEL AND CONNECT.
9. FURNISH AND INSTALL NEW EXPANDER/POWER SUPPLY PANEL AS REQUIRED (TYPICAL) FOR THE DISTANCES EXCEEDING % ALLOWABLE VOLTAGE DROP FOR UPPER LEVELS. VENDOR/CONTRACTOR TO CALCULATE FEET OF DISTANCE AND INSTALL AS REQUIRED (TYPICAL THE STRUCTURE-LEVELS 1 THRU 10).
10. FURNISH AND INSTALL NEW FIRE ALARM CONNECTION CABINET AS REQUIRED FOR DEVICES ON FLOORS.
11. FURNISH AND INSTALL NEW ADDRESSABLE SMOKE DETECTOR COMPATIBLE WITH NEW PANEL AND CONNECT USING APPROVED METHODS AND MATERIALS (TYPICAL THE STRUCTURE-LEVELS 1 THRU 10 ).
12. FURNISH AND INSTALL NEW SPEAKER/STROBE, 110 CANDELA AND CONNECT VIA NEW FIRE ALARM AND EVAC PANEL (TYPICAL THE STRUCTURE-LEVELS 1 THRU 10).
13. NEW MANUAL PULL STATION (TYPICAL)
14. FIRE ALARM DIALER FOR NOTIFICATION DURING AN EVENT TO BE LOCATED IN OCCUPIED SPACE AS DIRECTED. CONTRACTOR TO ARRANGE FOR LOCAL OUTSIDE PHONE CARRIER DEDICATED LINE AS APPROVED BY FIRE DEPT, AND CONNECT AS REQUIRED. CONTRACTOR TO CONNECT TO FIRE ALARM PANEL.



PARKING GARAGE GROUND FLOOR PARTIAL PLAN  
SCALE: 1/8" = 1'-0"

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ELEVATOR IMPROVEMENTS  
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GROUND FLOOR PLAN	
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<b>G</b>	GRINER ENGINEERING, INC.	Date	11/07/2014
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**E-8**

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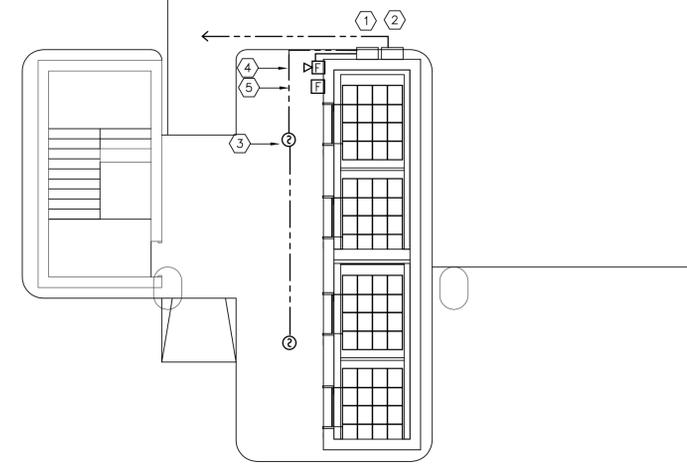
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F/A PLAN FLOORS 2-10	
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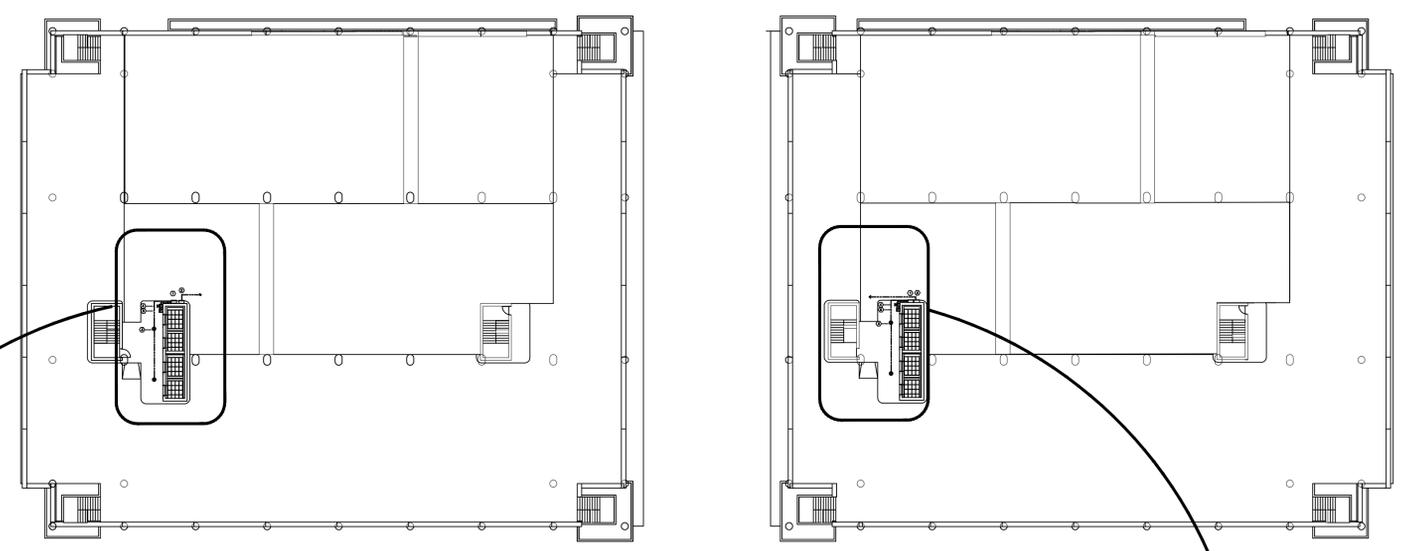
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PARKING GARAGE F/A PLAN FLOOR 2-10 NORTH  
SCALE: 1/8" = 1'-0"



PARKING GARAGE F/A FLOORS 2-10 (TYPICAL)  
SCALE: 1/16" = 1'-0"

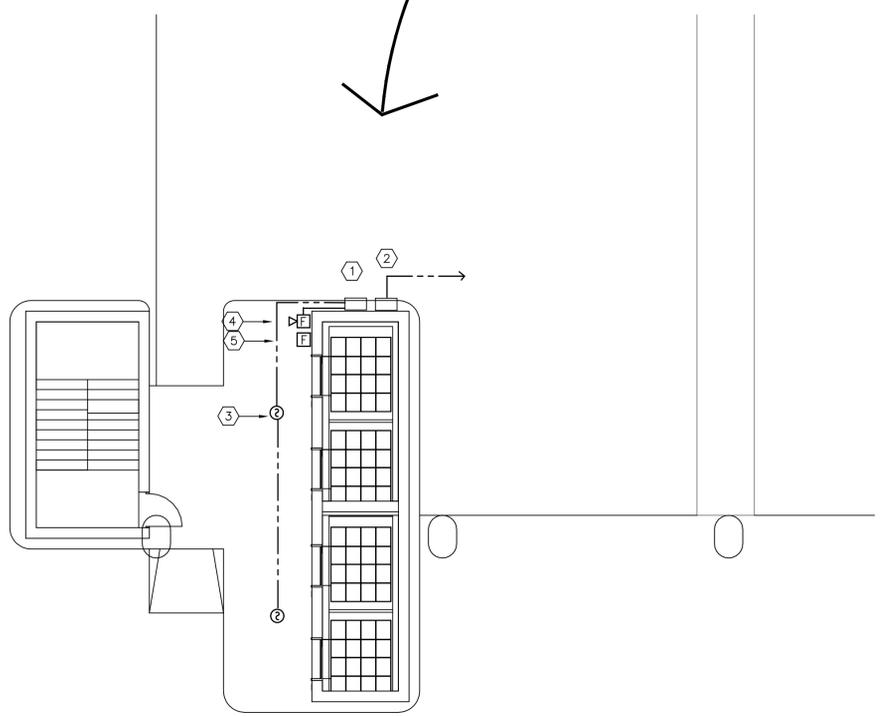


NOTE:  
CONTRACTOR TO FURNISH LINE ITEM ADD ALTERNATE FOR EACH AS FOLLOWS:  
ADD 1.) INCORPORATE ELEVATOR RECALL AND FLOOR LANDING INTO NEW FIRE ALARM.  
ADD 2.) CONNECT NEW FIRE ALARM SYSTEM TO 3RD FLOOR RESTRICTED ACCESS EXECUTIVE OFFICE AREA. FURNISH AND INSTALL DEVICES AND EQUIPMENT AS REQUIRED BY LOCAL CODES.  
ADD 3.) CONNECT NEW FIRE ALARM SYSTEM TO GROUND FLOOR PARKING AND SECURITY OFFICES. FURNISH AND INSTALL DEVICES AND EQUIPMENT AS REQUIRED BY LOCAL CODES.  
ADD 4.) CONNECT NEW FIRE ALARM SYSTEM TO GROUND FLOOR RETAIL SPACES... EG, YMCA, ETC. FURNISH AND INSTALL DEVICES AND EQUIPMENT AS REQUIRED BY LOCAL CODES.

FIRE ALARM PLANS FLOORS 2-10

- FURNISH AND INSTALL NEW EXPANDER/POWER SUPPLY PANEL FOR THE DISTANCE EXCEEDING % ALLOWABLE VOLTAGE DROP. VENDOR/CONTRACTOR TO CALCULATE FEET OF DISTANCE AND INSTALL AS REQUIRED (TYPICAL THE STRUCTURE AS NEEDED).
- FURNISH AND INSTALL NEW FIRE ALARM CONNECTION CABINET AS REQUIRED FOR DEVICES ON FLOORS (TYPICAL THE STRUCTURE-ALL LEVELS).
- FURNISH AND INSTALL NEW ADDRESSABLE SMOKE DETECTOR COMPATIBLE WITH NEW PANEL AND CONNECT USING APPROVED METHODS AND MATERIALS (TYPICAL THE STRUCTURE-ALL LEVELS).
- FURNISH AND INSTALL NEW SPEAKER/STROBE, 110 CANDELA AND CONNECT VIA NEW FIRE ALARM AND EVAC PANEL (TYPICAL THE STRUCTURE-ALL LEVELS).
- NEW MANUAL PULL STATION (TYPICAL THE STRUCTURE-ALL LEVELS).

PARKING GARAGE F/A PLAN FLOOR 2-10 NORTH  
SCALE: 1/8" = 1'-0"



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### FIRE ALARM SYSTEM SEQUENCE MATRIX

#### NOTIFICATION

TRANSMIT TROUBLE SIGNAL TO MONITORING STATION

TRANSMIT SUPERVISORY SIGNAL TO MONITORING STATION

TRANSMIT ALARM SIGNAL TO MONITORING STATION

ACTUATE OCCUPANT NOTIFICATION

#### SYSTEM ANNUNCIATION

COMMON TROUBLE ANNUNCIATION

SUPERVISORY ZONE ANNUNCIATION

ALARM ZONE ANNUNCIATION

#### FIRE SAFETY CONTROL

SHUT DOWN AIR HANDLER

UNLOCK ACCESS CONTROLLED LOCK (IF PROVIDED FOR OFFICES)

ELEVATOR RECALL

SYSTEM INPUTS	A	B	C	D	E	F	G	H	I	J	K	L
1 MANUAL PULL STATIONS	X			X	X			X	X	X		
2 SMOKE/HEAT DETECTORS	X			X	X			X	X	X		
3 NOT USED												
4 NOT USED												
5 NOT USED												
6 NOT USED												
7 NOT USED												
8 NOT USED												
9 NOT USED												
10 SYSTEM TROUBLE			X				X					
	A	B	C	D	E	F	G	H	I	J	K	L

#### GENERAL NOTES:

- ALL FIRE ALARM SYSTEM DEVICES TO BE ADDRESSABLE.

### FIRE ALARM GENERAL NOTES:

1. THE CONTRACTOR SHALL SUBMIT DRAWINGS OF THE PROPOSED RENOVATION OF THE EXISTING PARKING GARAGE AND ADDITION OF FIRE ALARM SYSTEM, INCLUDING ALL DEVICES AND WIRING LAYOUTS, BATTERY CALCULATIONS AND FREQUENCY OF OPERATION TO THE FIRE MARSHAL FOR APPROVAL PRIOR TO SUBMITTING TO ENGINEER AS SHOP DRAWINGS FOR REVIEW. ANY REVISIONS AND/OR ADDITIONS REQUIRED BY THE LOCAL JURISDICTION PRIOR TO OBTAINING CERTIFICATION OF THE SYSTEM ARE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT BE REASON FOR ADDITIONAL COMPENSATION TO THE CONTRACTOR.
2. THE FIRE ALARM SYSTEM SHALL BE INSTALL IN COMPLIANCE WITH NFPA 70, 72, FLORIDA BUILDING CODE, AND LOCAL ORDINANCE.
3. SYSTEM SUPPLIER SHALL SUPERVISE INSTALLATION, PROGRAM AND TEST SYSTEM, AND INSTRUCT OWNER.
4. ALL CONNECTION CABINETS/EXPANDER PANELS SHALL BE GROUNDED PER NEC AND MANUFACTURER SPECIFICATION.
5. SYSTEM INSPECTION, TEST RESULT, AND OPERATION SHEETS SHALL BE PROVIDED TO THE OWNER.
6. REFER TO FIRE DRAWINGS E-8 AND E-9 FOR ADDITIONAL REQUIREMENTS.
7. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS SHOWING EXACT FIELD INSTALLATION TO THE OWNER AFTER COMPLETION OF THE PROJECT.
8. ALL FIELD CHANGES SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE.
9. FIRE ALARM SYSTEM SHALL BE ENERGIZED UNDER THE SUPERVISION OF THE MANUFACTURER.
10. VERIFY LOCATION OF THE FIRE ALARM CONTROL PANEL AND REMOTE ANNUNCIATOR WITH THE LOCAL AUTHORITY HAVING JURISDICTION. SEE SHEET E-8
11. ALL CONTROL AND ALARM CABLES SHALL BE INSTALLED IN CONDUIT.
12. CONTRACTOR SHALL VERIFY THAT THE QUANTITY AND LOCATIONS SHOWN ON THE DRAWINGS SHALL PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM TO THE OWNER.
13. INSTALLATION OF WIRING, RACEWAY, AND DEVICES SHALL BE IN ACCORDANCE WITH UNIFORM RULE 69A, RULES AND REGULATIONS OF THE STATE FIRE MARSHAL'S OFFICE; ALL APPLICABLE COUNTY CODES, AND F.S. 633-701. RACEWAY SHALL BE MINIMUM 3/4" CONDUIT UNLESS OTHERWISE NOTED.
14. WALL-MOUNTED AUDIBLE, VISUAL, AND AUDIBLE-VISUAL APPLIANCES SHALL HAVE THE BOTTOM OF THE FACE PLATE AT 80" AFF, OR 6" FROM THE TOP OF FACE PLATE TO CEILING, WHICHEVER IS LOWER.
15. DO NOT MOUNT SMOKE AND/OR HEAT DETECTORS CLOSER THAT 3'-0" TO ANY SUPPLY REGISTER OF THE A/C SYSTEM.
16. WHEN CEILING MOUNTED, SMOKE AND/OR HEAT DETECTORS SHALL BE MOUNTED NO CLOSER THAT 4" TO A SIDE WALL.
17. ALL DEVICES SUCH AS FIRE ALARM PULLS, STROBES AND HORNS, AND ETC ARE TO BE RED IN COLOR.
18. SLC AND NAC CIRCUITS SHALL BE DESIGNED SUCH THAT SPARE CAPACITY IS PROVIDED. NO CIRCUIT SHOULD BE LOADED TO MORE THAN 75% OF ITS CAPACITY. NAC CIRCUIT VOLTAGE DROP AS INSTALLED SHALL NOT EXCEED 75% OF THE MAXIMUM ALLOWED BY THE MANUFACTURER AT THE LAST APPLIANCE ON EACH CIRCUIT.
19. CONTRACTOR SHALL INCLUDE MINIMUM (4) HOURS IN HIS BID PROPOSAL FOR OWNER'S TRAINING. THE TRAINING TO BE PERFORMED AFTER COMPLETION OF FIRE ALARM SYSTEM.

# FORT BROOKE PARKING GARAGE ELEVATOR IMPROVEMENTS

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Sheet Title:  
FIRE ALARM  
DETAILS

Comm. No. 14-030

Scale: AS NOTED

Date: 10-31-14

Drawn: WR

Checked: WR

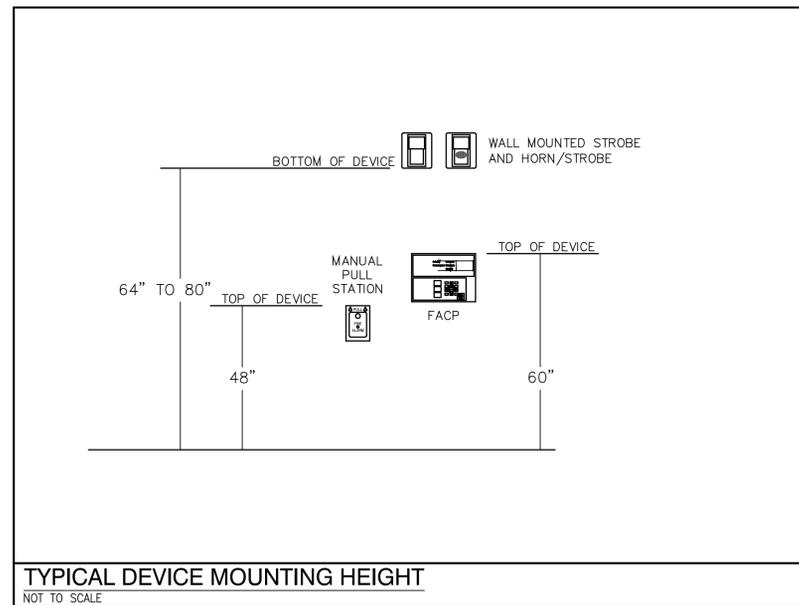
Revised:



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1628 First Avenue North  
St. Petersburg, Florida 33713  
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Certificate of Authorization #3173

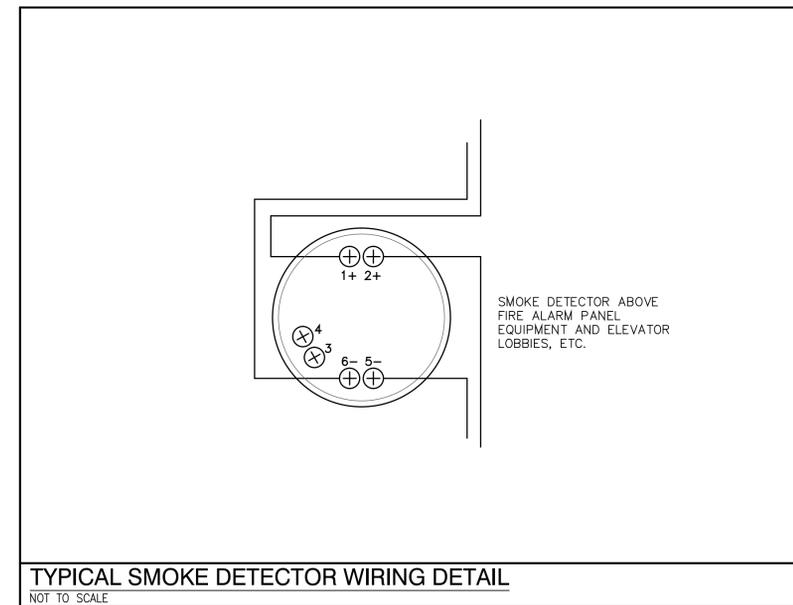
Date	11/07/2014
Drawn	RHM
Designed	RHM
EOR	JHG
Job no.	14160

Sheet No.  
E-10



TYPICAL DEVICE MOUNTING HEIGHT

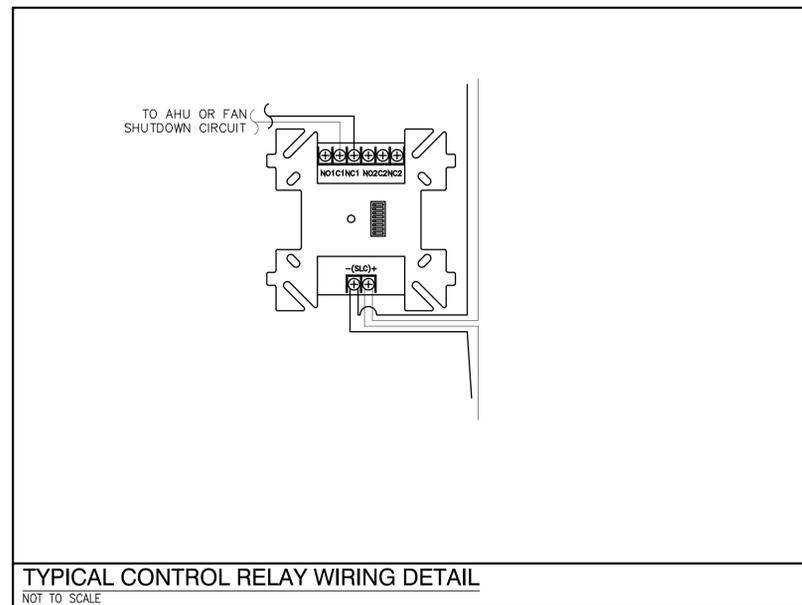
NOT TO SCALE



TYPICAL SMOKE DETECTOR WIRING DETAIL

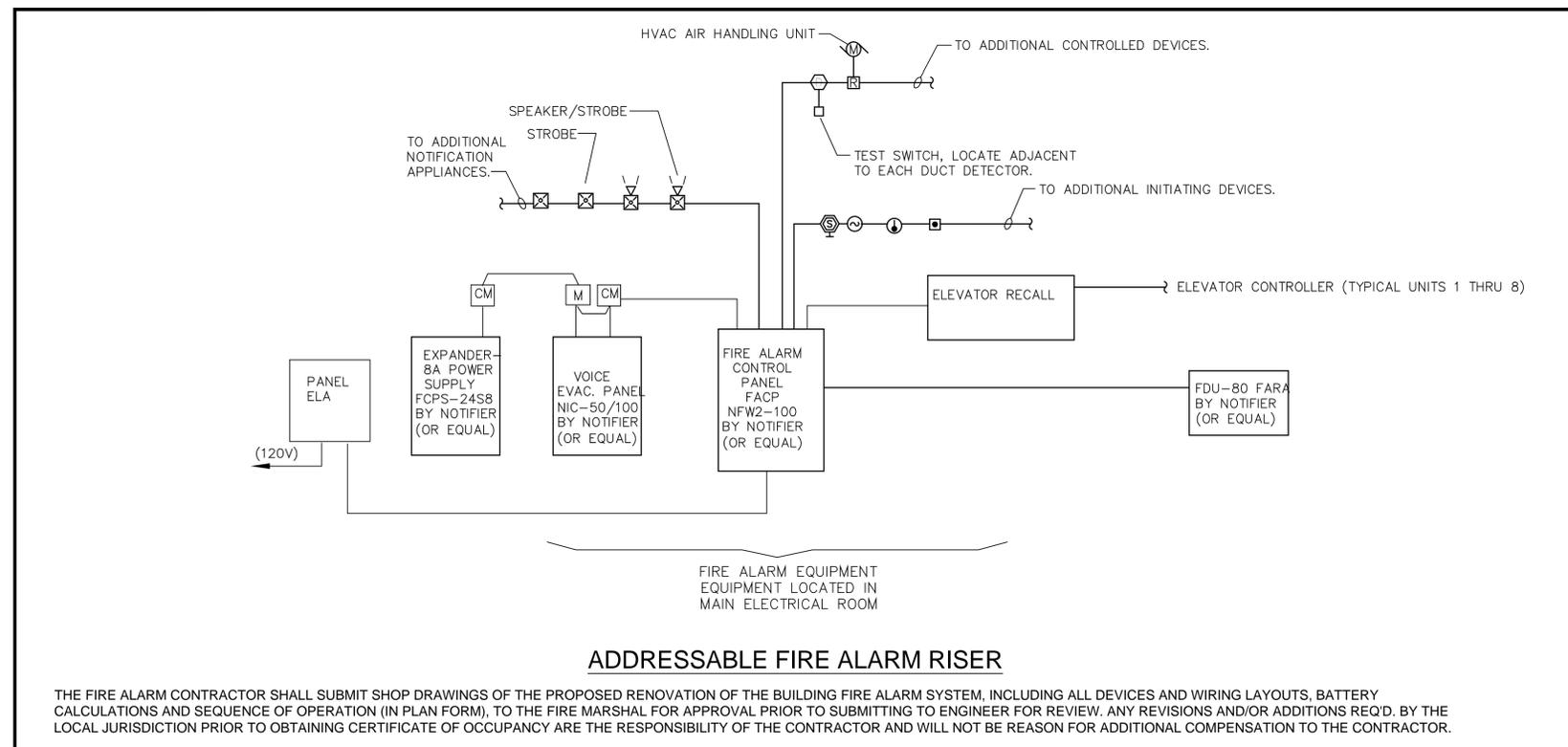
NOT TO SCALE

FIRE ALARM CONDUCTOR SCHEDULE			
DESIG-NATION	CONDUCTOR	DEVICE TYPE	COLOR CODE
A	2 NO. 14 'THHN' - STRANDED	INITIATION DEVICES	TWISTED PAIR
C	2 NO. 12 'THHN' - STRANDED	AUDIO/VISUAL DEVICES	RED/BLACK
E	2 NO. 14 'THHN' - STRANDED	AUXILLIARY RELAYS	BLUE/ORANGE
F	2 NO. 14 'THHN' - STRANDED	SUPERVISORY DEVICES	PURPLE/BROWN



TYPICAL CONTROL RELAY WIRING DETAIL

NOT TO SCALE



ADDRESSABLE FIRE ALARM RISER

THE FIRE ALARM CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE PROPOSED RENOVATION OF THE BUILDING FIRE ALARM SYSTEM, INCLUDING ALL DEVICES AND WIRING LAYOUTS, BATTERY CALCULATIONS AND SEQUENCE OF OPERATION (IN PLAN FORM), TO THE FIRE MARSHAL FOR APPROVAL PRIOR TO SUBMITTING TO ENGINEER FOR REVIEW. ANY REVISIONS AND/OR ADDITIONS REQ'D. BY THE LOCAL JURISDICTION PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY ARE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT BE REASON FOR ADDITIONAL COMPENSATION TO THE CONTRACTOR.

All dimensions and job conditions shall be checked by the contractor who shall be responsible for the same; any and all discrepancies shall be reported to the architect prior to the start of construction. The information contained herein is the sole property of Design Harmonics Architecture, Inc. Unauthorized reproduction and/or use of any part of this drawing is prohibited. Design Harmonics Architecture, Inc. appropriate copyright and patent laws.

FORT BROOKE PARKING GARAGE  
ELEVATOR IMPROVEMENTS

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Revised:	

Sheet No.  
E-11

<b>G</b>	GRINER ENGINEERING, INC.	Date	11/07/2014
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	St. Petersburg, Florida 33713	Designed	RHM
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