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**Please Email ALL Questions:**

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City of Tampa  
Contract Administration Department  
306 E. Jackson St. #280A4N  
Tampa, FL 33602  
(813)274-8456

TECHNICAL SPECIFICATIONS AND DRAWINGS  
FOR  
CITY OF TAMPA  
SOUTH REGIONAL GARAGE  
BUMPER WALL AND DECORATIVE  
FIXTURE REPAIR

TAMPA, FLORIDA

WALTER P MOORE PROJECT NUMBER S05.17007.00

October 17, 2017

**TECHNICAL SPECIFICATIONS AND DRAWINGS**

**FOR**

**CITY OF TAMPA  
SOUTH REGIONAL GARAGE BUMPER WALL AND DECORATIVE FIXTURE REPAIR  
TAMPA, FLORIDA**

**WALTER P. MOORE AND ASSOCIATES, INC.**

201 East Kennedy Boulevard, Suite 300  
Tampa, Florida 33602  
813-221-2424

**S05.17007.00**

SECTION 000105 – TITLE/CERTIFICATION PAGE

PROJECT: City of Tampa  
South Regional Garage Bumper Wall and  
Decorative Fixture Repair

PROJECT NUMBER: Walter P Moore Project No. S05.17007.00

ENGINEER: Walter P. Moore and Associates, Inc.  
201 East Kennedy Boulevard, Suite 300  
Tampa, Florida 33602  
Phone: 813-221-2424  
Fax: 813-221-2289

Principal-in-Charge  
Richard J.A. Temple, P.E.  
Walter P. Moore and Associates, Inc.  
Phone: 813-221-2424

Project Manager  
E. Webb Wright, P.E.  
Walter P. Moore and Associates, Inc.  
Phone: 407-924-7497

END OF SECTION 000105

SECTION 00 01 07 – SEALS PAGE

I HEREBY CERTIFY THAT THESE PLANS AND TECHNICAL SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA.



---

E. Webb Wright, P.E. (FL PE No. 57639)  
FL Certificate of Authorization No. 3818

END OF SECTION 00 01 07

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DIVISION 03 – CONCRETE

Section 03 01 01 – Surface Preparation for Patching

DIVISION 07 – THERMAL AND MOISTURE PROTECTION

Section 07 92 00 – Joint Sealants

DRAWINGS

END OF SECTION 00 01 10

# SOUTH REGIONAL GARAGE BUMPER WALL AND DECORATIVE FIXTURE REPAIR TAMPA, FL

Project :  
**SOUTH REGIONAL  
 GARAGE BUMPER  
 WALL AND  
 DECORATIVE  
 FIXTURE REPAIR  
 TAMPA, FL**

Client :  
**CITY OF TAMPA**

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Project Number : S05.17007.00  
 Drawn By : AZ  
 Approved By : WW  
 Checked By : WW/EVC

Certification Statement :  
 TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THE PLANS  
 AND SPECIFICATIONS COMPLY WITH THE APPLICABLE  
 MINIMUM BUILDING CODES.

Seal and Signature :

ENGINEER OF RECORD: E. WEBB WRIGHT  
 FL PE NO. - 57839  
 CERTIFICATION OF AUTHORIZATION NO.: 3818

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Sheet Title:  
**COVER  
 SHEET AND  
 SHEET INDEX**

Sheet Title:  
**COVER**



| SHEET LIST   |                             |
|--------------|-----------------------------|
| SHEET NUMBER | SHEET NAME                  |
| COVER        | COVER SHEET AND SHEET INDEX |
| S0.0         | GENERAL NOTES               |
| S0.1         | GENERAL NOTES               |
| S1.0         | PLAN - LEVEL 5              |
| S1.1         | PARTIAL PLAN                |
| S2.0         | DETAILS                     |
| S2.1         | DETAILS                     |
| S2.2         | DETAILS                     |



PART VII - MISCELLANEOUS(CONT)

7. The Contractor shall perform a pre-construction condition survey to document site conditions prior to start of work. Submit survey to Owner and the Engineer. Document location and condition of any construction designated for removal and re-installation.
8. The Contractor shall repair all damage caused during construction with similar materials and workmanship to restore conditions to levels acceptable to the Owner.

D. RESPONSIBILITY OF THE CONTRACTOR FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION

1. Repairs of structural elements of the project have been designed by the Engineer to restore the damaged members to their original condition. The ability of the structural members to resist the design forces derives from the complete installation of the repairs. It is the responsibility of the Contractor to provide all required bracing during construction to maintain the stability and safety of all structural elements during the construction process until the repair work is completely installed and all designated concrete elements have reached a minimum of 75% of their design strength.

E. CONTRACTOR SUBSTITUTIONS

1. Any materials or products submitted for approval that are different from the material or products specified in the structural contract documents will be considered for approval only if the following criteria are satisfied:
  - a. A cost savings to the Owner is documented and submitted with the request.
  - b. The material or product has been approved by the International Code Council (ICC) and the ICC report is submitted with the request.
    - 1) The ICC ESR that is submitted must reference the building code under which the project is permitted.
    - 2) ICC reports that have been discontinued at the time of product installation will not be accepted.
2. Submittals not satisfying the above criteria will not be considered.

F. THE ENGINEER'S ROLE DURING CONSTRUCTION

1. The Engineer shall not have control nor charge of, and shall not be responsible for, construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, for the acts or omission of the Contractor, Subcontractor, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
2. Periodic site observation by field representatives of Walter P. Moore and Associates is solely for the purpose of becoming generally familiar with the progress and quality of the Work completed and determining, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the repair contract documents. This limited site observation should not be construed as exhaustive or continuous to check the quality or quantity of the work, but rather periodic in an effort to guard the Owner against defects or deficiencies in the work of the Contractor.

G. MAINTENANCE STATEMENT

1. Parking structures require periodic maintenance to extend lifespan and to ensure structural integrity from exposure to the environment. A planned program of maintenance shall be established by the building owner. This program shall include such items such as but not limited to painting of structural steel, protective coating for concrete, sealants, caulked joints, expansion joints, control joints, repair of spalls and cracks in concrete, and pressure washing of structural elements exposed to a salt environment or other harsh chemicals.

PART VIII - DRAWING INTERPRETATION

A. DRAWING VIEWS LABELED AS "TYPICAL"

1. Partial plans, elevations, sections, details, or schedules labeled with "Typical" at the beginning of their title shall apply to all situations occurring on the project that are the same or similar to those specifically shown. The applicability of the content of these views to locations on the plan can be determined from the title of the views. Such views shall apply whether or not they are keyed in at each location. Decisions regarding applicability of these "Typical" views shall be determined by the Engineer.

B. STRUCTURAL ABBREVIATIONS, SYMBOLS, AND NOTATIONS

|        |                          |
|--------|--------------------------|
| C.I.P. | Cast-in-place            |
| COL    | Column                   |
| CSP    | Concrete Surface Profile |
| EXIST  | Existing                 |
| FV     | Field Verify             |
| MIN    | Minimum                  |
| PT     | Post-Tensioned           |
| TYP    | Typical                  |

WALTER P MOORE

WALTER P. MOORE AND ASSOCIATES, INC.  
 201 EAST KENNEDY BOULEVARD, SUITE 300  
 TAMPA, FLORIDA 33602  
 PHONE: 813.221.2424 FAX: 813.221.2289

Project :

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Seal and Signature :

ENGINEER OF RECORD: E. WEBB WRIGHT  
 FL PE NO. : 57835  
 CERTIFICATION OF AUTHORIZATION NO. : 3818

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Sheet Title:

**GENERAL  
 NOTES**

Sheet Title:

**S0.1**

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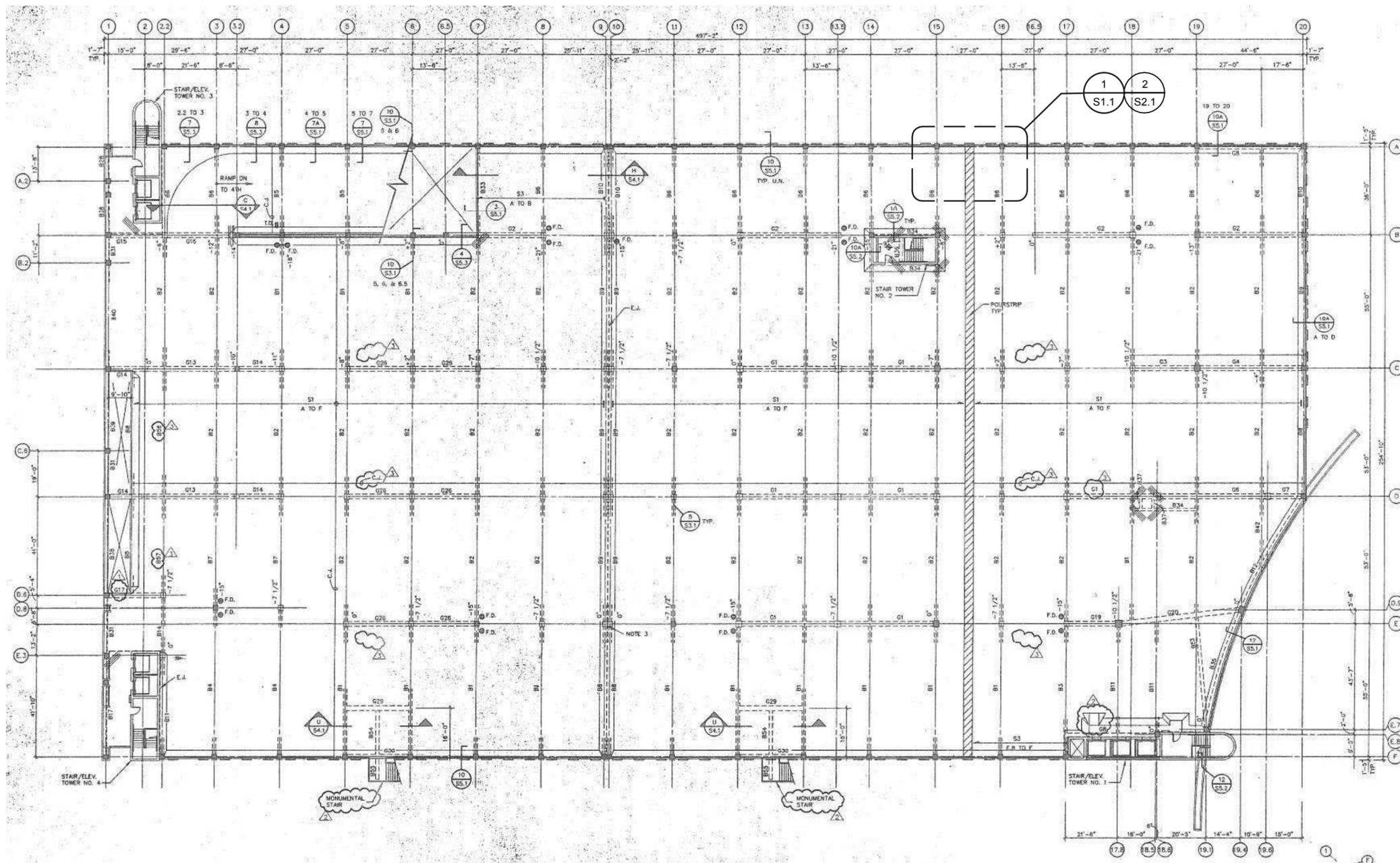
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Sheet Title:

**PLAN - LEVEL  
 5**

Sheet Title:

**S1.0**



**1** PLAN - LEVEL 5  
 NO SCALE

Project :

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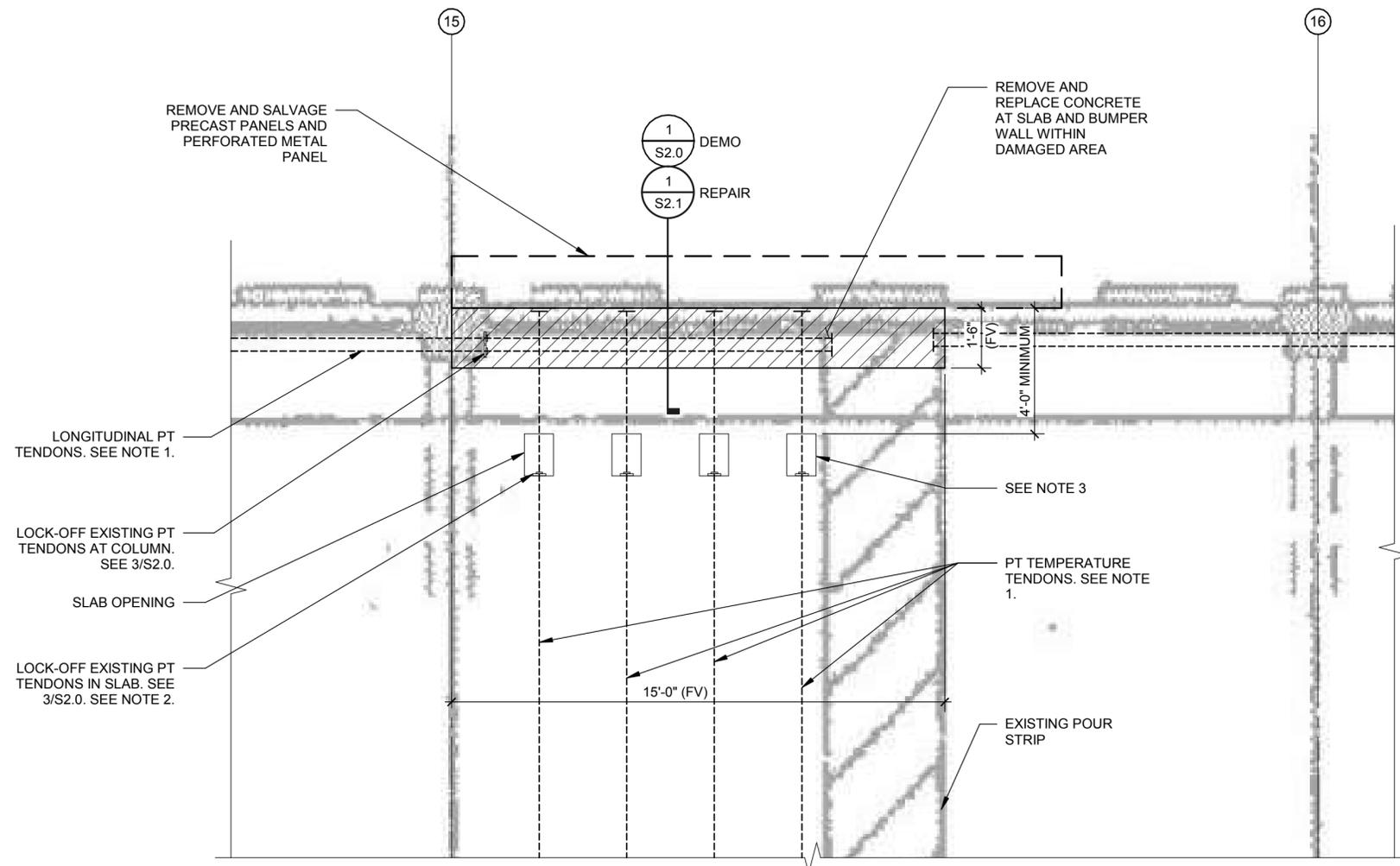
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Sheet Title:

**PARTIAL PLAN**

Sheet Title:



**WORK SEQUENCE:**

1. LOCATE PT TENDONS AND SEND REPORT TO ENGINEER.
2. REMOVE PRECAST FACADE PANELS AND PERFORATED METAL PANELS.
3. LOCK-OFF EXISTING TENDONS AT THE LOCATIONS SHOWN. CUT TENDONS BEHIND ANCHOR LOCK-OFF LEAVING ENOUGH TENDON LENGTH TO INSTALL A NEW COUPLER.
4. REMOVE CONCRETE AT BUMPER WALL AND SLAB EDGE. ENGINEER TO ASSESS EXISTING REINFORCEMENT.
5. INSTALL COUPLER AND NEW PT TENDONS AND ANCHORS.
6. POUR NEW CONCRETE AT SLAB EDGE, EXCLUDING POUR STRIP.
7. RE-STRESS TEMPERATURE TENDONS AFTER CONCRETE HAS REACHED THE STRENGTH SPECIFIED IN GENERAL NOTES.
8. RE-STRESS LONGITUDINAL TENDONS.
9. POUR NEW CONCRETE AT POUR STRIP.
10. POUR NEW CONCRETE AT BUMPER WALL.
11. REINSTALL PRECAST FACADE PANELS AND PERFORATED METAL PANELS.
12. SEAL CONSTRUCTION JOINTS IN SLAB AND COVE JOINTS.

**NOTES:**

1. TENDONS SHALL BE LOCATED USING NON-DESTRUCTIVE METHODS PRIOR TO DEMOLITION OF SLAB. LOCATION AND NUMBER OF TENDONS SHOWN IS APPROXIMATE. A REPORT OF THE LOCATION OF TENDONS SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION OF CONCRETE SLAB.
2. ANCHOR LOCK-OFF LOCATIONS ARE APPROXIMATE AND SHALL BE LOCATED A SAFE DISTANCE AWAY FROM EXISTING TENDONS PERPENDICULAR TO TENDON BEING LOCKED-OFF.
3. LOCATE THIS OPENING AWAY FROM EXISTING PT ANCHORS FOR MAIN LONGITUDINAL TENDONS. DO NOT REMOVE CONCRETE BEHIND EXISTING ANCHORS

Project :  
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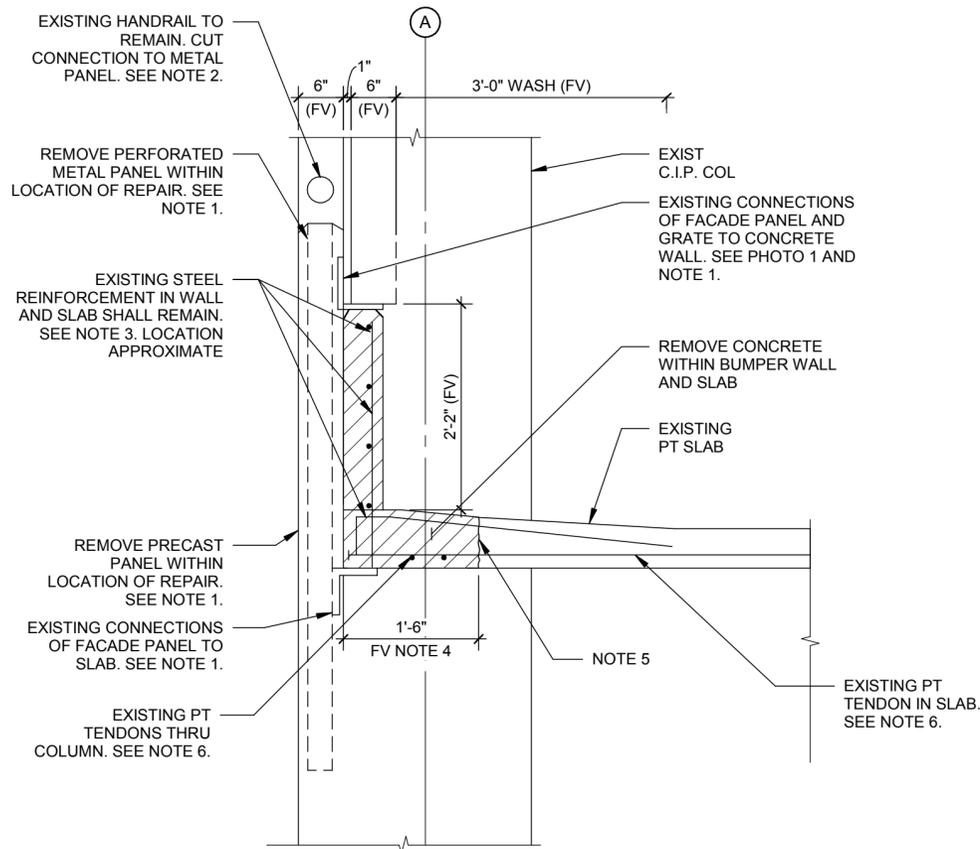
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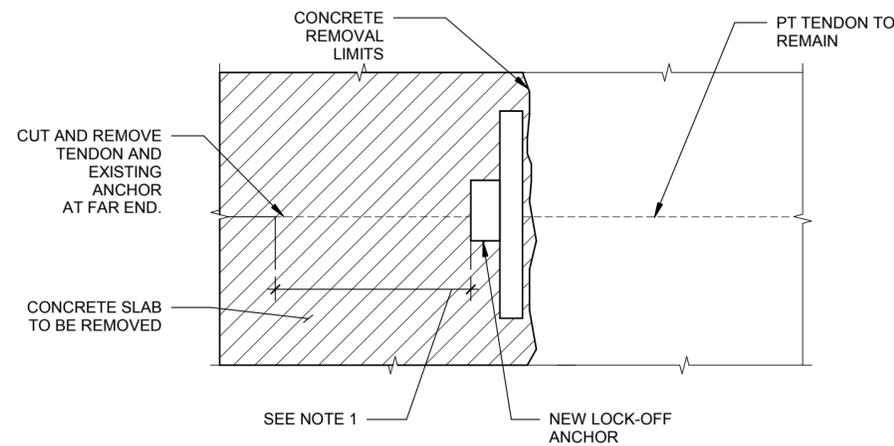
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**2** PHOTO 1 - TYPICAL EXISTING CONNECTIONS AT TOP OF BUMPER WALL  
NO SCALE



- NOTES:**
- EXISTING CONNECTIONS OF PRECAST PANEL AND PERFORATED METAL PANEL TO CONCRETE BUMPER WALL SHALL BE MEASURED AND DOCUMENTED PRIOR TO DEMOLITION AND REPLACED IN-KIND DURING THE REPAIR. MEASURE ALL DIMENSIONS OF CONNECTION ELEMENTS INCLUDING SIZE AND LENGTH OF WELDS. DISCONNECT FACADE PANELS BY GRINDING THE WELDS AT THE CONNECTIONS. EMBED PLATES IN CONCRETE WALL ARE ALLOWED TO BE REMOVED AND SALVAGED.
  - EXISTING CONNECTION OF HANDRAIL TO PERFORATED METAL PANEL SHALL BE DOCUMENTED PRIOR TO DEMOLITION AND REPLACED IN-KIND DURING THE REPAIR.
  - EXISTING REINFORCEMENT SHALL BE OBSERVED BY ENGINEER PRIOR TO REPAIR. SUPPLEMENTAL REINFORCEMENT MAY BE REQUIRED. CONTRACTOR SHALL PROVIDE ENGINEER MINIMUM 3 DAYS ADVANCE NOTICE FOR VISIT TO OBSERVE EXISTING REINFORCEMENT FOLLOWING DEMOLITION.
  - REMOVE DAMAGED CONCRETE AT EDGE OF SLAB AND ADDITIONAL 6 INCHES WITHIN SOUND CONCRETE.
  - INITIAL GRINDING OR SAWCUTTING OF EXISTING CONCRETE SHALL BE PERPENDICULAR TO SURFACE. ROUGHEN EXISTING CONCRETE SURFACE TO CSP-9.
  - PROTECT EXISTING REINFORCEMENT FROM DAMAGE DURING CHIPPING, GRINDING OR SAWCUTTING.
  - REFER TO SECTION "SURFACE PREPARATION FOR PATCHING" SPECIFICATIONS FOR CLEANING AND COATING ALL EXPOSED REINFORCEMENT. REPAIR DAMAGED TENDON SHEATHING IN ACCORDANCE WITH DETAIL 3/S2.1.



- NOTES:**
- EXISTING TENDON LENGTH TO REMAIN ON DEMOLITION SIDE OF LOCK-OFF AS NEEDED TO ATTACH NEW COUPLER SPLICE.
  - ACTUAL LENGTH OF SPLICE AND PT HARDWARE TO BE DETERMINED BY SPECIALTY CONTRACTOR.
  - PT TENDON REPAIR OPERATION SHALL BE PERFORMED ONLY BY A QUALIFIED PT RESTORATION CONTRACTOR.

**1** DEMOLITION OF WALL AND SLAB  
NO SCALE

**3** EXISTING PT TENDON LOCK-OFF  
NO SCALE

Project :  
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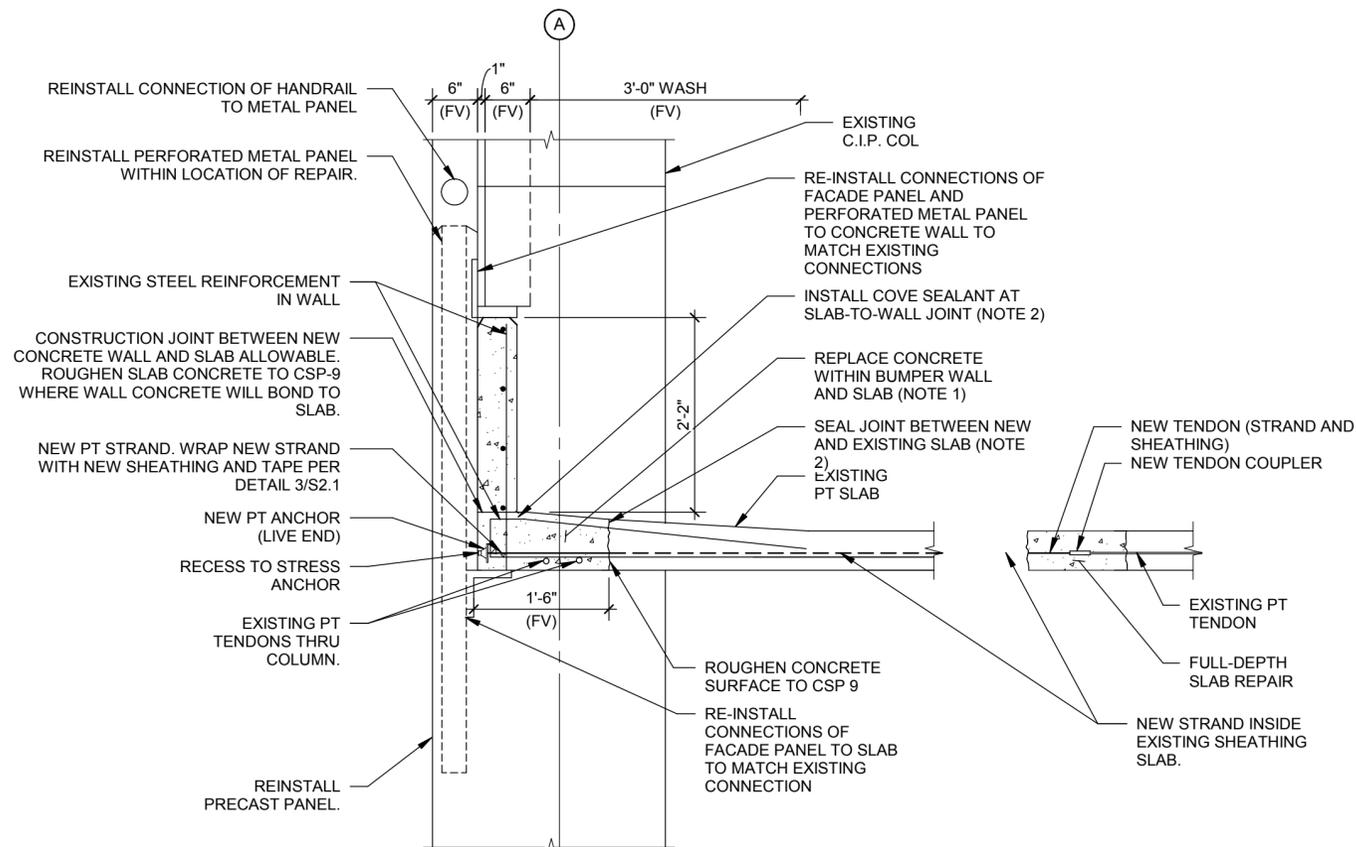
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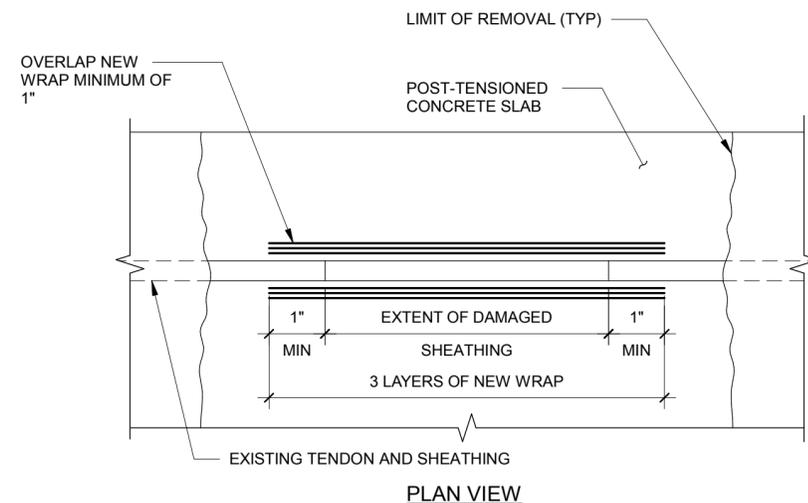
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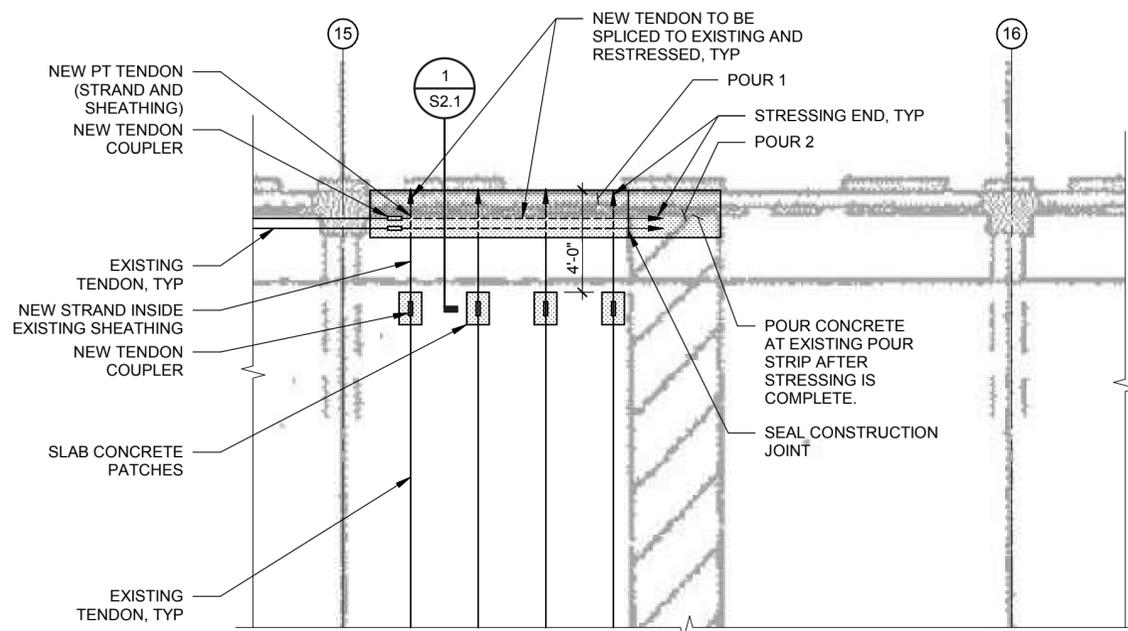
- NOTES:
1. NEW CONCRETE SURFACES SHALL MATCH EXISTING FINISH.
  2. USE SIKAFLEX-2C NS TG FOR HORIZONTAL (NON-COVE) JOINTS AND SIKAFLEX-2C NS FOR COVE JOINTS. SEE ALSO SECTION "JOINT SEALANTS."

**1** REPAIR OF WALL AND SLAB  
NO SCALE



- NOTES:
1. REMOVE CONCRETE TO EXPOSE UNDAMAGED SHEATHING.
  2. REMOVE DAMAGED SHEATHING AND CLEAN TENDON TO GRAY STEEL.
  3. APPLY NON CORROSIVE GREASE TO EXPOSED TENDON.
  4. COVER EXPOSED TENDON WITH PLASTIC SHEATHING. PROVIDE OVERLAP AS SHOWN.
  5. COVER SHEATHING SPLICE WITH WATERPROOF TAPE AND SEAL ENDS TO EXISTING SHEATHING.
  6. THE SHEATHING SHALL BE CONTINUOUSLY EXTRUDED POLYETHYLENE OR POLYPROPYLENE WITH A MINIMUM DENSITY OF 0.034 LB./IN., A MINIMUM THICKNESS OF 50 MILS, AND AN INSIDE DIAMETER AT LEAST 0.03 INCHES GREATER THAN THE MAXIMUM DIAMETER OF THE STRAND.
  7. ACCEPTABLE REPAIR TAPE SHALL BE ONE OF THE FOLLOWING OR APPROVED EQUAL:  
a. 3M TAPE NO. 226, 3M, ST. PAUL, MN  
b. DENSO LT TAPE, DENSO
  8. THIS WORK IS INCLUDED IN REPAIRS OF ALL POST-TENSIONED CONCRETE MEMBERS.
  9. PLACE SPECIFIED REPAIR MATERIAL OVER EXPOSED TENDON TO PROVIDE A MINIMUM COVER OF 1".

**3** TYPICAL - SHEATHING REPAIR OF POST-TENSIONED TENDONS  
NO SCALE



- NOTES:
1. ACTUAL LENGTH OF SPLICE AND PT HARDWARE TO BE DETERMINED BY SPECIALTY CONTRACTOR.
  2. PT TENDON REPAIR OPERATION SHALL BE PERFORMED ONLY BY A QUALIFIED PT RESTORATION CONTRACTOR.
  3. ANCHORS AT STRESSING END SHALL BE AT MID-DEPTH OF SLAB.

**2** PARTIAL PLAN - PT SLAB TENDON REPAIR  
NO SCALE

Project :

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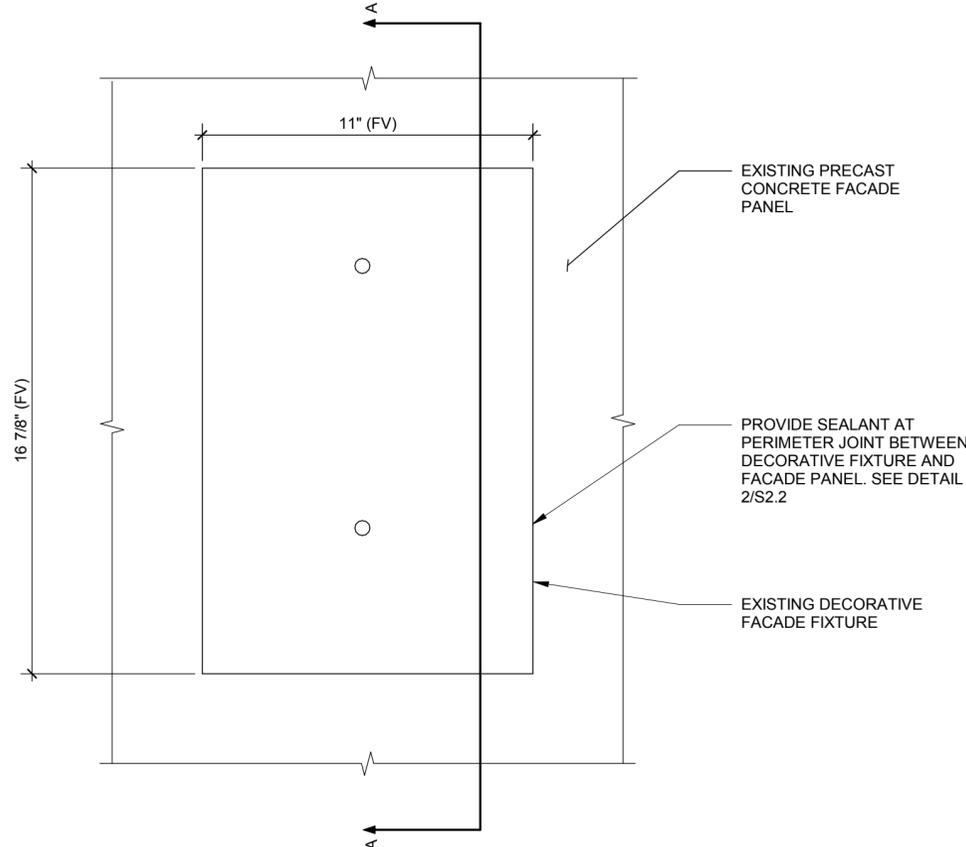
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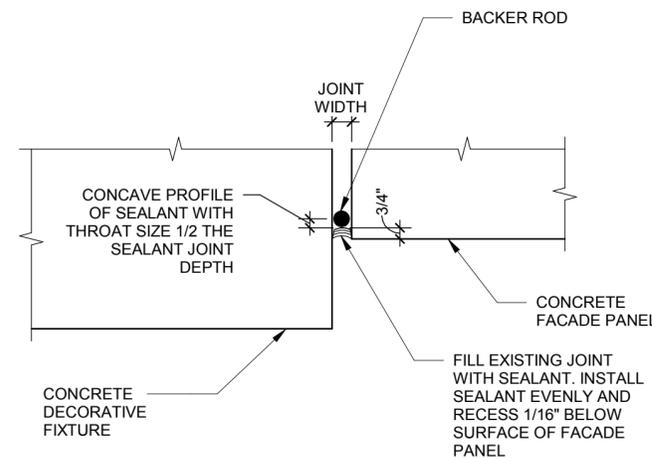
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ELEVATION



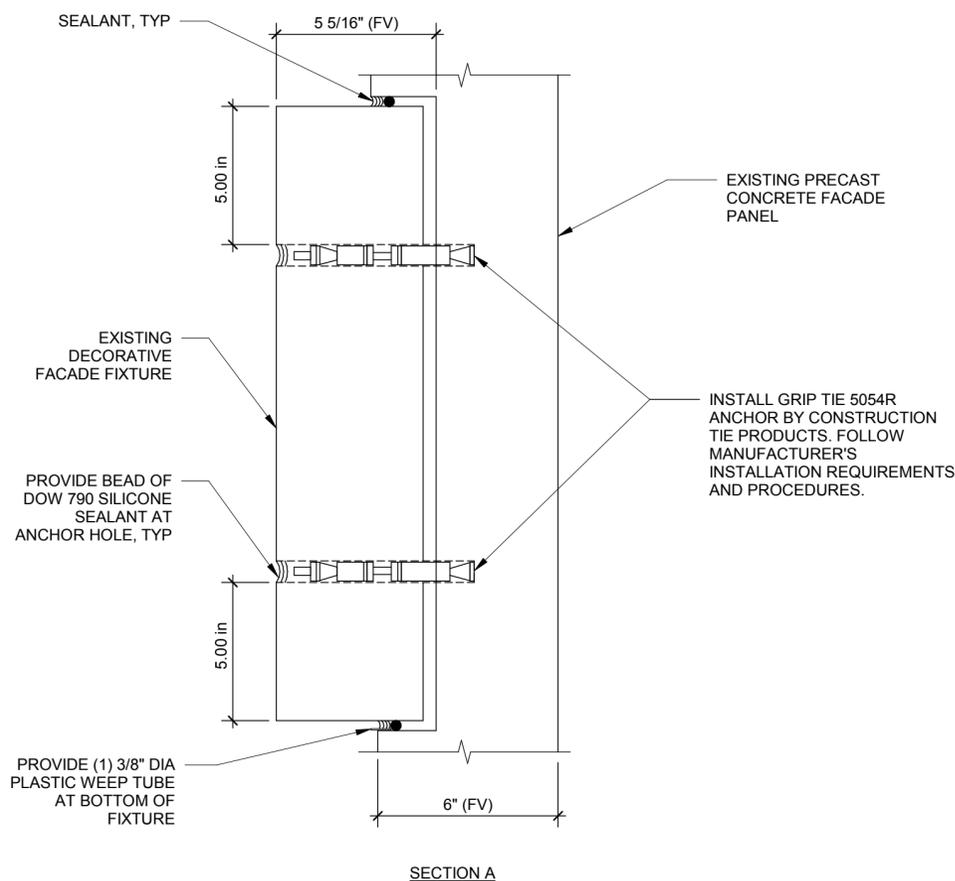
**NOTES:**

1. REMOVE EXISTING JOINT SEALANT MATERIAL.
2. CLEAN JOINT BEFORE FILLING WITH SEALANT SUCH THAT THERE ARE NO OLD RESIDUAL MATERIALS, DUST AND CONTAMINANTS.
3. DO NOT OVERFILL THE JOINT.
4. JOINT SEALANT SHALL BE DOW 790 SILICONE SEALANT.
5. SEALANT COLOR TO BE CHOSEN BY OWNER.
6. REFER ALSO TO SECTION "JOINT SEALANTS."

**2**

**JOINT SEALANT BETWEEN DECORATIVE  
FIXTURE AND FACADE PANEL**

NO SCALE



SECTION A

**NOTES:**

1. PROVIDE REPAIR DETAIL AT ALL 291 LOCATIONS OF DECORATIVE FIXTURE AT GARAGE FACADE.

**1**

**ANCHORAGE FOR EXISTING DECORATIVE  
CONCRETE FACADE FIXTURE**

NO SCALE

**3**

**EXISTING DECORATIVE FIXTURE**

NO SCALE