

City of Tampa Community Redevelopment Agency

Recommended Tax Increment Financing Budgets
For the Fiscal Year Ending September 30, 2014



Downtown



Ybor City



Channel District



Drew Park



East Tampa



Tampa Heights Riverfront



Central Park

City of Tampa
Community Redevelopment Agency

Recommended Tax Increment Financing Budgets
For the Fiscal Year Ending September 30, 2014

Bob Buckhorn, Mayor
Bob McDonough, Administrator of Economic Opportunity
Sonya Little, Chief Financial Officer



Bob Buckhorn, Mayor

September 30, 2013

Honorable Chairman and Members of the
Tampa Community Redevelopment Agency

I am pleased to present for your consideration the recommended Tax Increment Financing (TIF) Budgets for the fiscal year beginning October 1, 2013 and ending September 30, 2014.

I am pleased to report to you that our overall TIF revenues increased by an impressive 11.8% this year, largely attributable to growth in the Downtown and Channel District neighborhoods. The Central Park and Ybor City 1 and 2 CRAs also experienced growth this year. On a not so positive note, Drew Park and Tampa Heights Riverfront are facing another year of revenue reductions and East Tampa is entering its second consecutive year without new TIF revenue.



Even though the overall growth in TIF revenues is much welcomed news, we have not lost sight of the fact that we cannot depend solely on this funding stream in order to meet our redevelopment goals. With this in mind, the recommended budgets reflect the allocation of TIF revenues in a manner that enhances each community's ability to leverage non-TIF resources and to continue participating in non-TIF funded activities.

In addition to detailing our fiscal 2014 budget recommendations, this report also highlights some of our past year redevelopment achievements, including:

- Tampa Hotel Partners, LLC. broke ground on redeveloping the Classic Federal Courthouse in Downtown into a boutique hotel.
- Work began on the 7th Avenue Streetscape Project in Ybor City.
- Related Development opened the *Pierhouse at Channelside* apartment complex in the Channel District.
- Work began on the Grady Avenue segment of the Drew Park Streetscape and Beautification Project.
- Phase 2 construction of the North 22nd Street Enhancement Project was completed in East Tampa.
- Ulele Inc. began redeveloping the historic Water Works building in Tampa Heights Riverfront into a riverside restaurant.
- The Tampa Housing Authority opened the *Ella* seniors-only apartment complex and started construction on the *Trio* multi-family apartment complex.

Honorable Chairman and Members of the Tampa Community Redevelopment Agency
September 30, 2013
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These accomplishments, along with many others, will propel us forward with great momentum and will help us continue to attract additional public and private sector investments to our great city.

I am confident that the Community Redevelopment Agency and this Administration, working in close partnership with the private sector and our dedicated community stakeholders, will continue to achieve our mission of making our redevelopment areas more attractive, safe, convenient, environmentally friendly, and economically strong.

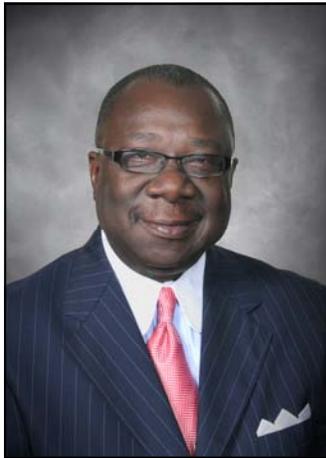
Sincerely,

A handwritten signature in blue ink that reads "Bob Buckhorn". The signature is written in a cursive, flowing style.

Bob Buckhorn
Mayor

Tampa Community Redevelopment Agency Board of Directors

Message from the Chairman



Frank Reddick

In partnership with the private sector and many dedicated community stakeholders, we continue to enhance the quality of life in our redeveloping communities through the strategic investment of resources. Many of these successes are highlighted throughout this budget report.

Fiscal year 2013 has been an exciting year for each of our redeveloping communities. For instance, we celebrated the opening of the Pierhouse at Channelside apartment complex in the Channel District and began witnessing the transformation of the Classic Federal Courthouse in Downtown into a boutique hotel. Likewise, other neighborhoods are undertaking significant infrastructure and quality of life improvements that will continue to attract new residents and businesses to the community.

We look forward to continue making significant improvements in each of our redeveloping communities in the year ahead.



Mike Suarez,
Vice Chairman



Charlie
Miranda



Yvonne
Yolie Capin



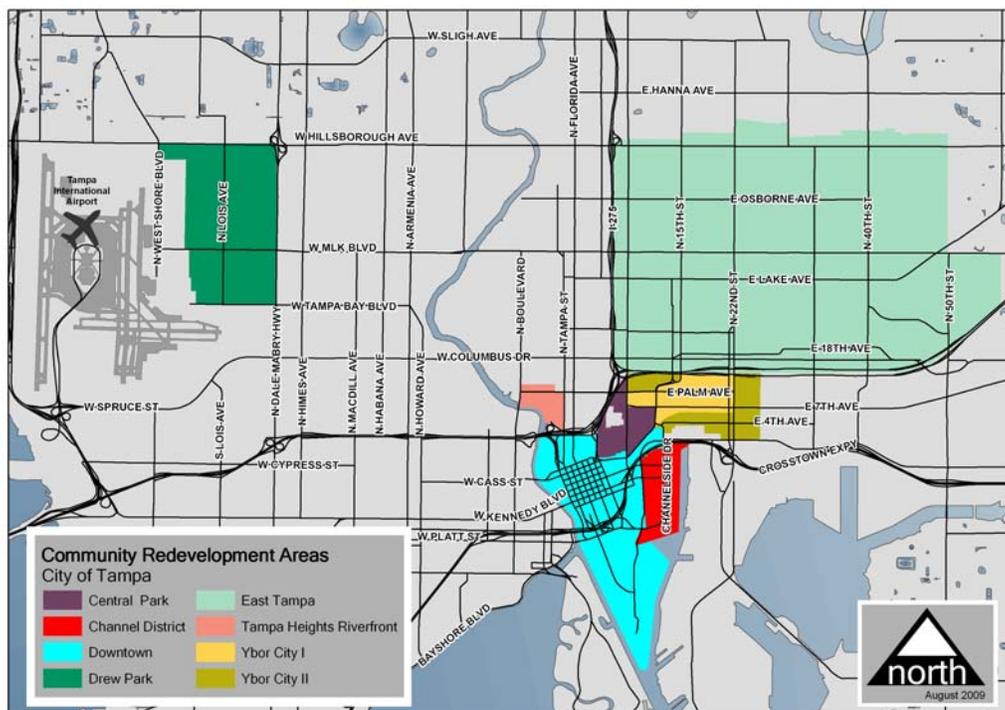
Lisa
Montelione



Mary
Mulhern



Harry
Cohen



Tampa Community Redevelopment Agency Overview

Urban Development: Making All Parts Of Our City Vibrant

Our goal is to improve areas within the City of Tampa that have not traditionally benefitted from significant private sector investment and where deteriorating property conditions have resulted in a relatively lower tax base. Through the investment of tax increment financing (TIF) dollars and sustained economic redevelopment, our goal is to make all of our redevelopment areas economically vibrant, safe and attractive.

The actions we take are largely in three areas – investing TIF resources, creating effective incentive programs, and shaping the regulatory environment. By wisely using these key redevelopment tools, we provide a solid foundation for attracting private investment.

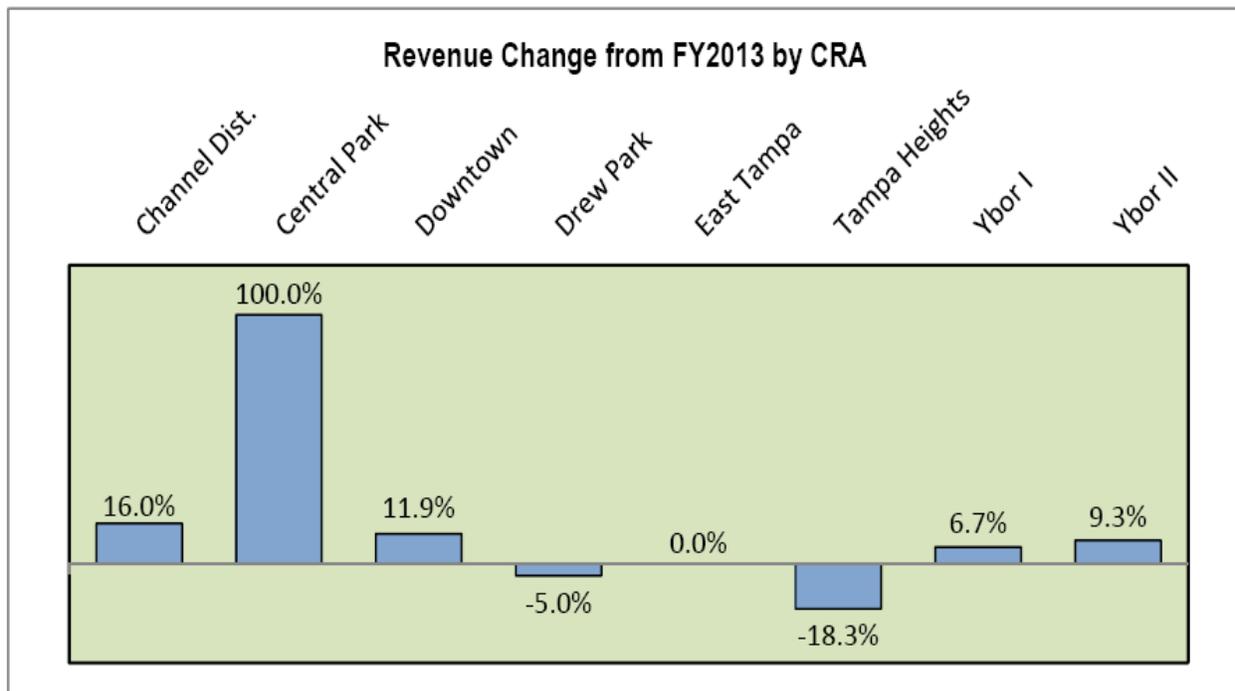
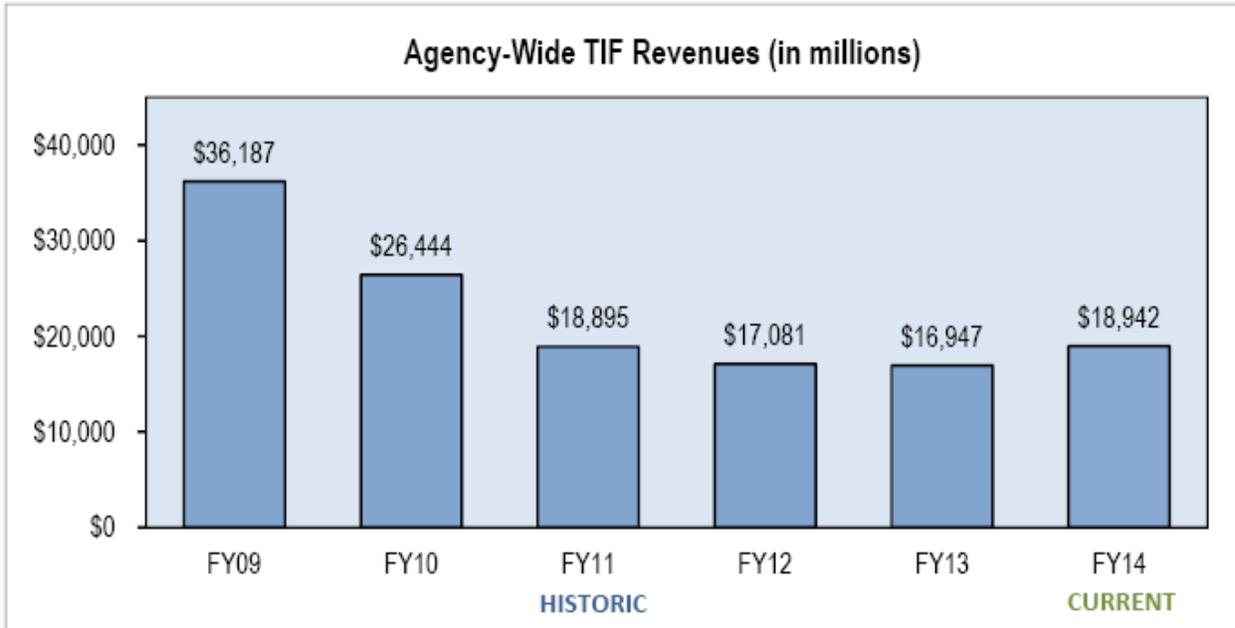
Our work is guided by certain key principles:

- ◆ **Community Collaboration** - We proactively engage the talents and energies of our citizens and key stakeholders in revitalizing our communities.
- ◆ **Financial Stewardship** - As stewards of public resources, we provide transparent financial planning and reporting, and ensure that the CRA is a prudent investor in public/private partnerships.
- ◆ **Inspiration** - We bring the best talent possible to our urban planning and design review efforts with the goal of inspiring our communities to create attractive, “livable” places.
- ◆ **Market Perspective** - Our efforts are successful because we allow the private sector to profitably respond to market demands with reasonable risk.
- ◆ **Outcome Accountability** - We measure our success based on achieving results such as improved community aesthetics, improved quality of life, and increasing tax revenues.



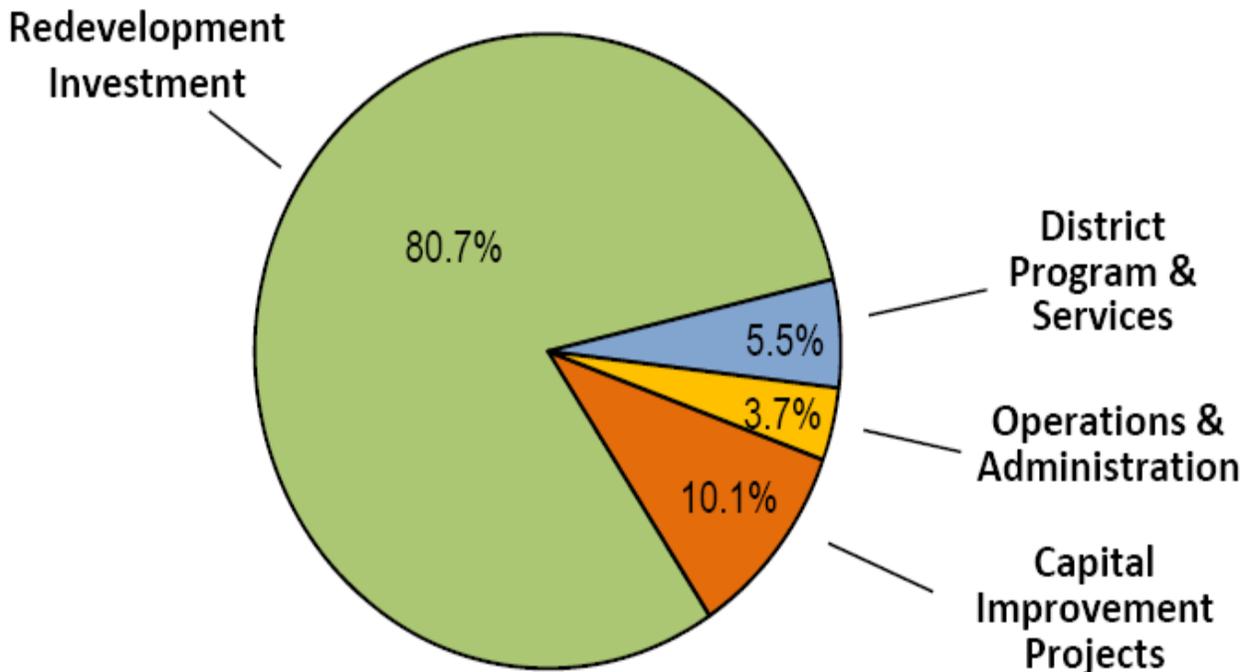
Tampa Community Redevelopment Agency Agency-Wide TIF Revenue Receipts

Agency-wide TIF revenues FY14 reflect a sizable increase in property values from FY13. A number of economic indicators provide evidence that our economy is recovering from the Great Recession and that we are likely to experience continued TIF revenue growth in the coming years.



Tampa Community Redevelopment Agency TIF Budget and Expense Categories

96.3% percent of the Agency's TIF revenues are invested into district improvements and 3.7% is spent on administration. Administrative costs as a percentage of total TIF investment increased 6% from fiscal 2013 along with an Agency-wide TIF revenue increase of 11.8%. Overhead expenses last year totaled \$658,640 and are projected this year at \$701,256.



Operational and Administrative costs consist of Economic and Urban Development Department personnel, office operating costs and other expenses needed to administer the various Community Redevelopment Plans.

District Programs and Services include enhanced or new city services within a particular district that benefit or serve that district alone. Some examples include marketing of community events, security personnel and community clean-up costs.

Redevelopment Investment typically includes items such as land acquisition, building rehabilitation loans and/or grants and debt service payments for redevelopment financing.

Capital Improvement Projects include infrastructure improvements such as street resurfacing, sewer and stormwater improvements, signage, parks and other recreational facilities.

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Downtown

Downtown At A Glance



CRA Area (Acres) / City Area (%)	870 / 0.80
CRA Base Year	1983 (New-Core Amendment 1988)
Base Year Taxable Assessment	\$454,090,045
Current Taxable Assessment	\$1,641,673,570
Change From Base Year (Increment)	\$1,187,583,525
TIF Revenue (@95%)	\$14,172,907



Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	223,324,703	214,828,038
• Multi-Family	130,036,597	131,990,109
• Condos/Co-ops	330,310,176	293,053,661
• Improved Commercial	916,147,219	838,260,444
• Improved Industrial	9,391,535	9,053,867
• Institutional/Gov't/Agri.	17,710,865	16,675,294
• Miscellaneous*	4,813,755	4,055,185
• Vacant	9,938,720	11,021,951

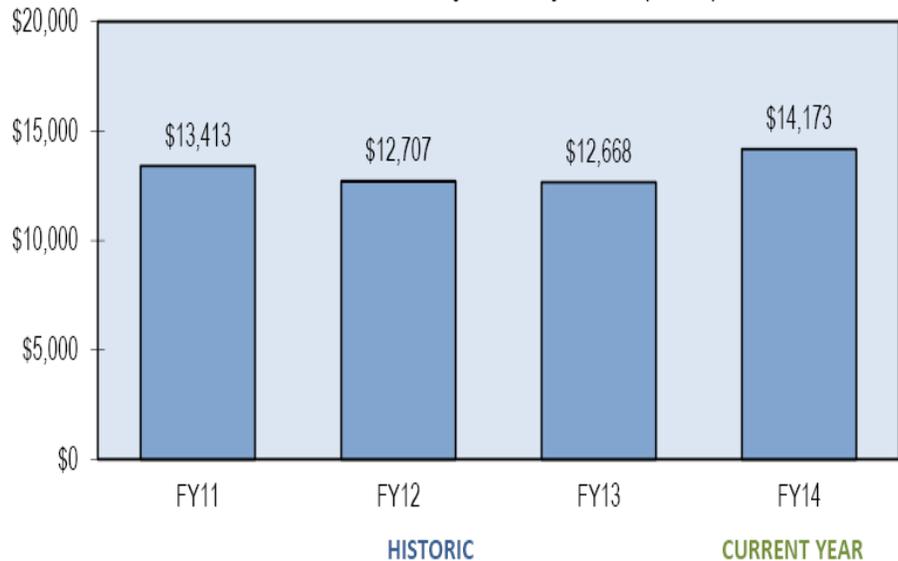


*Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other.

Source: Hillsborough County Property Appraiser.



TIF Revenue History and Projections (\$000s)



Tampa Community Redevelopment Agency Downtown Redevelopment Highlights

2013 Highlights

Private Sector Investment

- Tampa Hotel Partners, LLC broke ground on redeveloping the Classic Federal Courthouse into Le Meridien Hotel.
- Liberty Group and Convergent Capital Partners began redeveloping the former Mercantile Bank office building into Aloft Hotel.
- Intown/Framework Group is moving forward with plans to develop the 380-unit *Residences at the Riverwalk* apartment tower.
- Several new restaurants and other businesses opened, including Anise Global Gastrobar, Corporate Interiors and the expanded Duckweed Urban Market.

TIF and Non-TIF Funded Capital Improvements

- Phase 2 of the Zack Street Promenade of the Arts is at the 90% design stage.

Notable Events, Programs and Services

- Mayor Buckhorn and five past Tampa mayors held an unveiling ceremony for the Kennedy Blvd. Plaza segment of the Riverwalk.
- Bay Bistro opened at the Tampa Convention Center.
- Curtis Hixon Waterfront Park continued to evolve as the central gathering place for outdoor entertainment and recreational activities, such as the River O' Green Festival and Screen on the Green.
- The Downtown CRA continued its support of Downtown activities, including Downtown on Ice/Santa Fest, Tampa Tee Off and Funk Fest.



Looking Forward

- Support the completion of the Le Meridien and Aloft Hotels and the construction of the Residences at the Riverwalk.
- Continue CRA co-sponsorship support of downtown activities and cultural events.
- Support implementation of priority Tampa Center City Plan initiatives.



Tampa Community Redevelopment Agency
Downtown CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$121	\$97	\$68	\$86
District Programs & Services				
Marketing & Promotion	\$0	\$0	\$0	\$50
Streetcar Projects	\$150	\$150	\$150	\$150
Redevelopment Investment				
Convention Center Bond Payment	\$13,142	\$12,459	\$12,450	\$13,520
Curtis Hixon Park Loan Repayment*	\$0	\$0	\$0	\$270
Capital Improvement Projects				
Capital Improvement Projects	\$0	\$0	\$0	\$97
	\$13,413	\$12,707	\$12,668	\$14,173

*Per Resolution 2008-0375.

Tampa Community Redevelopment Agency
Downtown CRA
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating **\$86,000**

A portion of Economic Development staff salaries and operating expenses related to the Community Redevelopment Plan and Vision Plan.

II. CONTRACTUAL & PROFESSIONAL SERVICES

Marketing & Promotion **\$50,000**

District marketing and promotion of special events and cultural activities.

Streetcar Projects **\$150,000**

Allocation to the streetcar system.

III. REDEVELOPMENT INVESTMENT

Convention Center Bond Payment **\$13,520,313**

Bond payments/fees associated with development of the Tampa Convention Center.

Curtis Hixon Park Loan Repayment*

Repayment of funds loaned from the 2001A Capital Investment Tax fund for the construction of Curtis Hixon Park.

\$269,856

IV. CAPITAL IMPROVEMENT PROJECTS

Capital Improvement Projects **\$96,738**

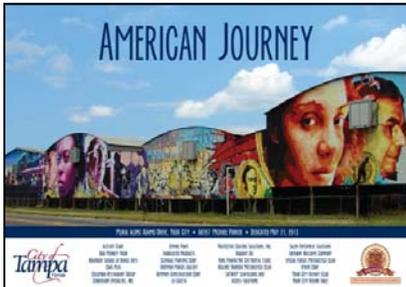
Capital improvements within the CRA.

\$14,172,907

*Per Resolution 2008-0375.

Ybor City

Ybor City At A Glance¹



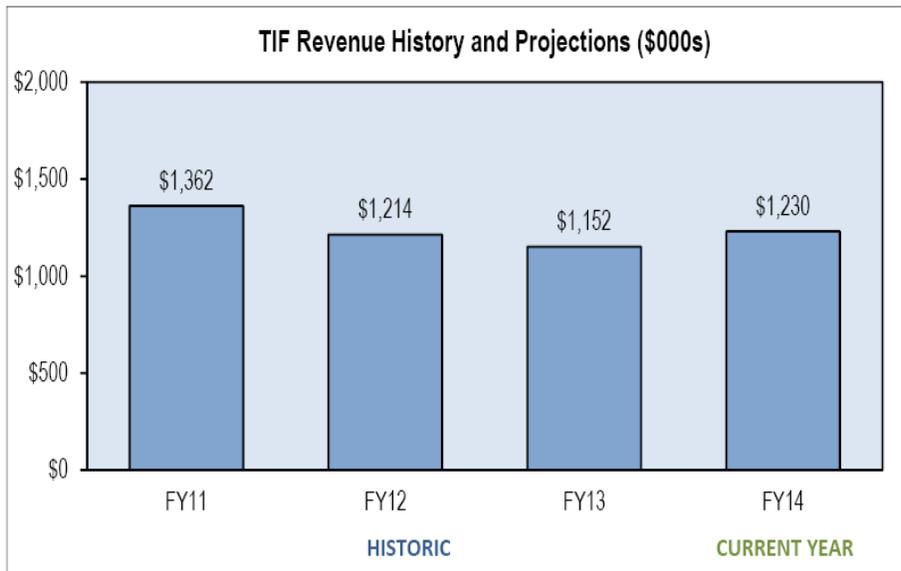
CRA Area (Acres) / City Area (%)	409 / 0.38
CRA Base Year	1987 & 2002
Base Year Taxable Assessment	\$59,123,090
Current Taxable Assessment	\$188,036,041
Change From Base Year (Increment)	\$128,912,951
TIF Revenue (@95%)	\$1,230,405

Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	9,250,492	9,610,763
• Multi-Family	1,873,868	1,987,838
• Condos/Co-ops	23,935,188	20,197,544
• Improved Commercial	122,013,834	117,334,573
• Improved Industrial	14,524,932	13,717,616
• Institutional/Govt./Agri.	3,356,175	2,827,296
• Miscellaneous ²	7,874,327	7,766,329
• Vacant	5,207,585	6,217,360

¹Ybor 1 and Ybor 2 CRAs combined.

²Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other.

Source: Hillsborough County Property Appraiser.



Tampa Community Redevelopment Agency Ybor City Redevelopment Highlights

2013 Highlights

Private Sector Investment

- Several new and expanded businesses opened in the Historic District including: Buffalo Wild Wings, College Hunks Hauling Junk & College Hunks Moving, McKay Advertising, Ali Specialists, Factoria, Tabanero Cigars, Ybor City Wine Bar, Long Ash Cigars, AnswerFirst, Tequilla's Taco Bar, Sundays Deli, Stone Chef Events & Catering, Istanbul Restaurant, Gino's Pizza and Brew, James Joyce Irish Pub, Seabreeze Ybor, UNation, Ventore, S3Media, Yo Boys Frozen Yogurt, Faceplant Tampa, AOITB Contractors, Gino's Pizza & Brew and a new weekly Twilight Market at the Roosevelt.
- The CRA Façade Improvement Grant Program leveraged more than \$250,000 of private investment to rehabilitate two properties; one in Ybor CRA 1 and other in Ybor CRA 2.

TIF and non-TIF Funded Capital Improvements

- The Agency invested over \$100,000 in district wide streetscape improvements including signage, tree replacement, new paver installation, parking lot landscaping and restroom improvements.
- The Agency invested approximately \$50,000 in alley, sidewalk repairs and ADA improvements.
- The Agency funded the extension of the East 7th Avenue Streetscape project from 23rd to 24th Street with a budget of \$317,000.

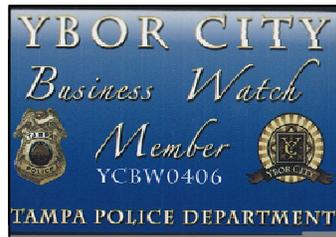
Notable Events, Programs and Services

- The Adamo Mural Project, a public private partnership, was dedicated on May 21, 2013 and was reported as one of the largest outdoor art mural projects in the State of Florida.
- Special events continue to be a driving economic engine for Ybor City and ten family-oriented art and cultural events were funded under the YCDC Special Event Co-Sponsorship Program in FY13.
- The Ybor City Business Watch has proven to be an effective district wide crime prevention program, significantly improving communication between Tampa Police and Ybor merchants. Ybor City's overall crime rate continues to drop (82% over last decade).
- The District Marketing Program continues to engage social media, creative partnerships, seasonal promotional campaigns to attract more visitors to Ybor City and generate positive publicity.
- Ybor City celebrated its first Historic Holiday Spirit Parade with Snow on 7th Avenue. The season also included the District Holiday Decorating Day, Holiday Tree Lighting Ceremony, Ybor Miracle on 7th and co-promotion of Art in the Park and Outback Bowl Parade.
- Ybor City shipped approximately 800 cigars to front line U.S. Troops as part of the 2nd Annual Ybor City Cigars for Soldiers program.
- The YES Team and Ybor Ambassador Program continued to ensure district cleanliness and positive experiences for visitors.
- CTTV's *Ybor Flavors*, continues to gain popularity and has increased viewership on Cable TV, website, Facebook and YouTube stations.

Tampa Community Redevelopment Agency Ybor City Redevelopment Highlights

Looking Forward (FY14)

- Complete the East 7th Avenue Streetscape project.
- Solidify an inter-local agreement to extend the Ybor City CRA 1 Plan and its Tax Increment Fund (TIF) due to expire in June 2015.
- Utilize the Ybor City Task Force to implement crime reduction strategies and coordinate the enforcement of City regulations.
- Create jobs and reduce vacancies through innovative small business assistance programs, community partnerships, façade grant programs and district promotions to help foster retail, arts, restaurant and residential uses.
- Promote the historic district for new residential development through marketing efforts, planning initiatives, community outreach, development counseling and technical assistance.
- Administer the annual Special Events Co-Sponsorship Grant Program to attract daytime and early evening visitors to Ybor City.
- Administer the Centro Ybor Parking Garage Window Program, a new program aimed at beautifying the display windows with updated creative art and promotional exhibits.
- Continue to stimulate private investment using the Façade Grant Program to provide matching grants to property owners for storefront improvements.
- Implement the FY14 District Marketing Plan to promote Ybor City with seasonal campaigns, media buys, social media, cross promotional efforts and through positive publicity.
- Actively promote Ybor City as a clean, attractive and friendly place to live, work and visit.
- Continue to invest in district wide streetscape and landscape improvement projects to maintain the historic district aesthetics.
- Implement LED lighting for the historic globe lamps through the historic district and promote the Mayor's initiative "Bright Lights, Safe Nights" program.
- Implement and help promote the new Bike Share Program in Ybor City.
- Coordinate with FDOT and City Departments for the improvements (beautification and traffic calming) to 21st & 22nd Streets.
- Coordinate with City staff on streamlining City development regulations and procedures.
- Coordinate with the implementation of the Invision Tampa Plan that includes the Nebraska/Hillsborough Corridor and West River Plans.



Tampa Community Redevelopment Agency
Ybor City CRA 1
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$365	\$362	\$340	\$352
District Programs & Services				
Co-Sponsorships	\$12	\$40	\$40	\$50
Code Inspection	\$26	\$14	\$14	\$14
District Ambassadors	\$39	\$0	\$0	\$10
District Landscaping/Streetscape/Signage	\$0	\$3	\$100	\$100
District Promotions	\$175	\$186	\$175	\$185
Intensive Pressure Washing	\$53	\$14	\$28	\$28
Contractual Services	\$0	\$0	\$0	\$29
Equipment	\$0	\$0	\$50	\$50
Street Sweeping	\$31	\$0	\$0	\$0
Streetcar Projects	\$129	\$135	\$138	\$138
Redevelopment Investment				
Façade Grant Program	\$0	\$0	\$100	\$100
Transfer to Debt Service	\$332	\$332	\$81	\$81
	\$1,163	\$1,086	\$1,066	\$1,137

Tampa Community Redevelopment Agency

Ybor City CRA 1

Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating	\$283,268
A portion of Economic Development staff salaries related to the Community Redevelopment Plan and Vision Plan.	
Operating expenses related to the Community Redevelopment Plan and Vision Plan.	\$68,556

II. DISTRICT PROGRAMS & SERVICES

Contractual Services	\$28,858
Miscellaneous expenses for contractual services needed to implement the CRA Plan.	
District Landscaping, Streetscape, Signage	\$100,000
Landscaping, signage and streetscape repairs.	
Intensive Pressure Washing	\$28,033
Intensive pressure washing of historic pavers and sidewalks.	
District Ambassadors	\$10,000
District Ambassadors provide assistance to visitors, provide tours and interface with the business community.	
District Promotions	\$185,000
Marketing use of billboards, radio ads, publication ads, airport and related signage.	
Co-Sponsorships	\$50,000
Co-sponsorship funding for new or expanded special events promoting economic development, cultural themes, family events and other district priorities.	
Façade Improvement Program	\$100,000
Award of façade improvement grants.	
Streetcar Projects	\$138,000
Allocation to the streetcar system.	
Code Inspection	\$14,007
50% of the costs of a code enforcement inspector for coverage on weekend nights. Costs are shared with Ybor II CRA and Code Enforcement.	
Equipment	\$50,000
Parking garage equipment upgrades.	

III. REDEVELOPMENT INVESTMENT

Transfer to Debt Service	\$80,972
A portion of debt service payment for HUD 108 loan associated with Centro Ybor.	

\$1,136,694

Tampa Community Redevelopment Agency
Ybor City CRA 2
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$59	\$40	\$26	\$25
District Programs & Services				
Code Inspection	\$4	\$2	\$1	\$1
Streetcar Projects	\$21	\$15	\$12	\$12
District Landscaping, Streetscape & Signage	\$0	\$0	\$0	\$9
YES Team Services	\$114	\$71	\$47	\$47
	\$199	\$128	\$86	\$94

Tampa Community Redevelopment Agency
Ybor City CRA 2
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating **\$24,632**

A portion of Economic Development staff salaries related to the Community Redevelopment Plan and Vision Plan.

II. DISTRICT PROGRAMS & SERVICES

YES Team Services **\$46,957**

YES Team (Clean Team) services to common areas and public right-of-ways.

District Landscaping, Streetscape, Signage **\$8,904**

Landscaping, signage and streetscape repairs.

Streetcar Projects **\$12,000**

Allocation to the streetcar system.

Code Inspection **\$1,218**

50% of the costs of a code enforcement inspector for coverage on weekend nights. Costs are shared with Ybor II CRA and the Code Enforcement & Business Tax Department.

III. REDEVELOPMENT INVESTMENT **\$0**

IV. CAPITAL IMPROVEMENT PROJECTS **\$0**

\$93,711

Channel District

Channel District At A Glance



CRA Area (Acres) / City Area (%)	221 / 0.20
CRA Base Year	2003
Base Year Taxable Assessment	\$39,869,871
Current Taxable Assessment	\$317,755,588
Change From Base Year (Increment)	\$277,885,717
TIF Revenue (@95%)	\$3,076,820



Taxable Values (\$)	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	2,641,366	2,504,362
• Multi-Family	0	0
• Condos/Co-ops	234,422,330	203,105,005
• Improved Commercial	29,715,429	25,072,019
• Improved Industrial	13,680,031	13,251,495
• Institutional/Gov't/Agri.	320,400	517,958
• Miscellaneous*	23,119,418	21,086,615
• Vacant	13,856,614	13,238,634

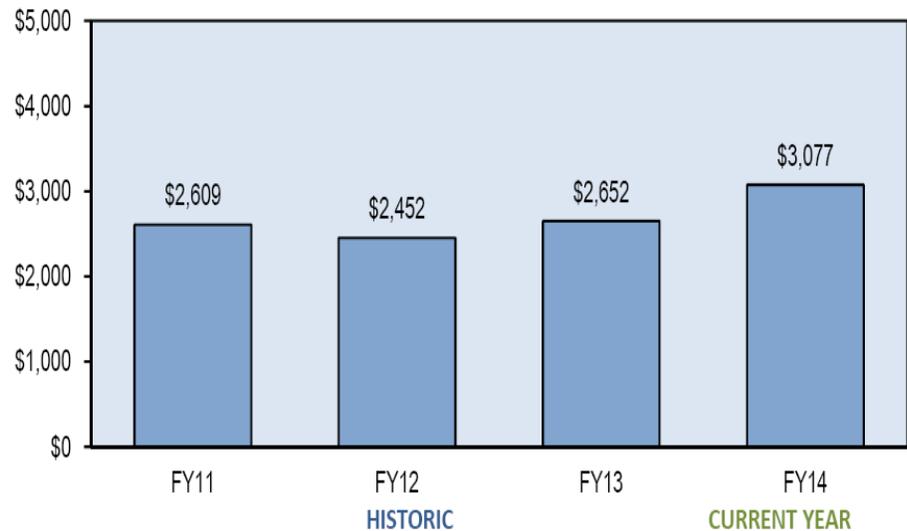


*Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other.

Source: Hillsborough County Property Appraiser.



TIF Revenue History and Projections (\$000s)



Tampa Community Redevelopment Agency

Channel District Redevelopment Highlights

2013 Highlights

Private Sector Investment

- Related Development opened *Pierhouse at Channelside* apartments.
- Mercury Advisors secured entitlements to construct *The Martin* development on Madison Street.
- Novare Group secured entitlements to construct the *Skyhouse at Channelside* development on 12th Street.
- A number of new businesses opened in the district, including Bamboozle Tea Lounge and Cena restaurant.

TIF and non-TIF Funded Capital Improvements

- Construction of the 12th Street Segment A improvements were completed.
- Stantec Consulting began designing Madison Street improvements per the Strategic Action Plan.

Notable Events, Programs and Services

- The untitled Sugarman sculpture was erected in the Channelside Drive round-a-bout.
- The Florida Aquarium completed phase 1 construction of the *Rising Tides* facility expansion.
- The community advisory committee approved using TIF funds to co-sponsor Food Truck War and the 4th of July fireworks celebration.

Looking Forward

- Support the construction of *The Martin* and *Skyhouse at Channelside* developments.
- Complete design work for the Madison Street Park.
- Complete the Whiting Street interim improvements.
- Start construction of the Madison Street improvements.
- Support the resurgence of Channelside Bay Plaza.
- Encourage the development of additional residences and businesses throughout the district.



Tampa Community Redevelopment Agency
Channel District CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$117	\$93	\$75	\$86
District Programs & Services				
Arts & Economic Development Initiative	\$125	\$0	\$0	\$0
Streetcar Projects	\$150	\$150	\$150	\$150
Marketing and Promotion	\$0	\$0	\$0	\$50
Redevelopment Investment				
York Street Loan Repayment	\$1,306	\$1,306	\$1,306	\$1,306
Capital Improvement Projects				
12th St./Kennedy Blvd. Improvements	\$862	\$789	\$0	\$0
Infrastructure Engineering/Analysis/Mgmt	\$49	\$114	\$1,121	\$0
Property Acquisition	\$0	\$0	\$0	\$1,485
	\$2,609	\$2,452	\$2,652	\$3,077

Tampa Community Redevelopment Agency
Channel District CRA
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating **\$86,000**

A portion of Economic Development staff salaries and operating expenses related to the Community Redevelopment Plan and Strategic Action Plan.

II. CONTRACTUAL AND PROFESSIONAL SERVICES

Streetcar Projects **\$150,000**

Allocation to the streetcar system.

Marketing & Promotion **\$50,000**

District marketing and promotion of special events and cultural activities.

III. REDEVELOPMENT INVESTMENT

York Street Loan Repayment **\$1,306,041**

Debt service on BB&T \$6 million bank note for construction of the stormwater basin and related improvements.

IV. CAPITAL IMPROVEMENT PROJECTS

Property Acquisition **\$1,484,779**

Acquisition of property on Madison Street for the construction of a public park.

\$3,076,820

Drew Park

Drew Park At A Glance



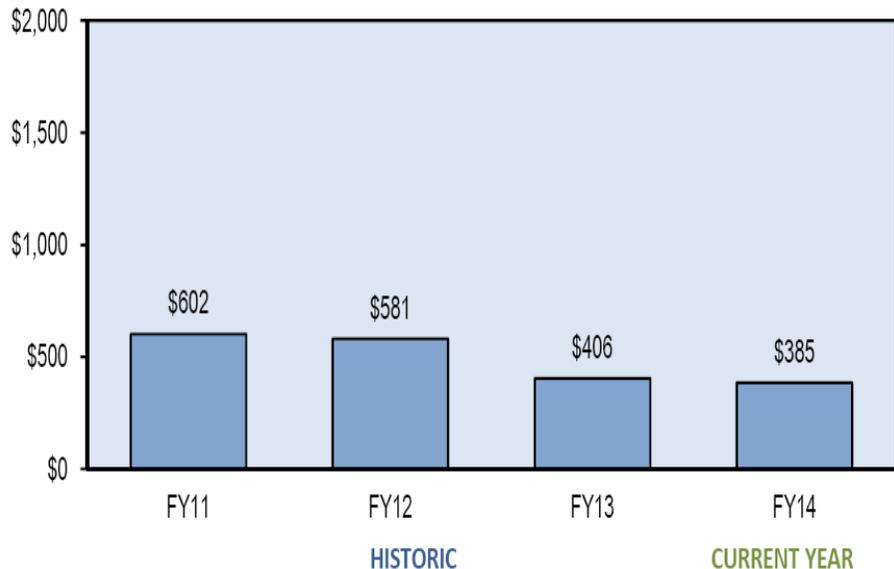
CRA Area (Acres) / City Area (%)	829 / 0.76
CRA Base Year	2003
Base Year Taxable Assessment	\$168,033,380
Current Taxable Assessment	\$202,836,191
Change From Base Year (Increment)	\$34,802,811
TIF Revenue (@95%)	\$385,345

Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	9,099,663	8,813,048
• Multi-Family	8,517,636	9,797,573
• Condos/Co-ops	239,350	175,365
• Improved Commercial	107,053,814	105,071,499
• Improved Industrial	69,071,097	69,886,832
• Institutional/Gov't/Agri.	2,465,959	2,621,573
• Miscellaneous*	1,503,237	1,536,672
• Vacant	4,885,435	7,235,309

*Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other.

Source: Hillsborough County Property Appraiser.

TIF Revenue History and Projections (\$000s)



Tampa Community Redevelopment Agency

Drew Park Redevelopment Highlights

Highlights 2013

Private Sector Investment

- Courtesy Automotive Group is investing significantly by completing a new \$2.5 million, 15,745 square foot Courtesy Hyundai showroom located on Hillsborough Avenue, expanding its Infiniti dealership on Dale Mabry Hwy. and building a new Collision Center.
- Stadium Toyota completed a major renovation, with improvements to its exterior and interior appearance, function and energy efficiency.
- Electric Supply, Inc. broke ground in early May on a 35,000 square foot expansion of their facility on Manhattan Avenue and MLK Blvd. The \$3 million project will consolidate operations from a building outside the CRA and add a parking lot.
- Star Quality, Inc., an architectural casework manufacturer, is constructing a 14,000 square foot building in addition to their current facility on Crest Avenue between Grady & Lois. The building will be LEED certified and has an estimated value of \$750,000.

TIF and non-TIF funded Capital Improvements

- Construction was completed in late December on Phase 1 of the Drew Park Stormwater Improvement Project to expand the Henry Avenue retention pond north of the Drew Park CRA. The \$1.2 million project increases stormwater storage volume and water quality treatment. Project is funded by the Southwest Florida Water Management District (SWFWMD) and the City Stormwater Division.
- Construction on the Stormwater, Right-of-Way, and Streetscape improvements along Grady Avenue began in Fall 2012. The \$4.7 million project includes installation of curb and gutter, pipes, and box culverts to eliminate ditches; water main and sanitary sewer upgrades; on-street parking, sidewalks, bike lanes, and landscaping. Project is funded by SWFWMD, Drew Park TIF, and the City.
- Design and the bid process was completed for the Lois Avenue Stormwater, Right-of-Way, and Streetscape improvements. The project is slated to be under contract and begin in July. In addition to the stormwater, water, sewer, and street upgrades, the \$15.9 million project will transform the appearance of Lois Avenue, the major gateway through Drew Park, by covering the large drainage ditches, adding landscaping, decorative sidewalks and streetscape elements. The project is funded by SWFWMD, Florida Department of Environmental Protection, Drew Park TIF, and the City.
- As part of the Mayor's Bright Lights, Safe Nights Streetlight Program, 150 additional streetlights are being installed within the Drew Park CRA at locations selected by the community.

Notable Events, Programs and Services

- One project was completed and another was approved and under construction through the Business Façade Improvement Grant Program. These grants represent \$97,522 in Drew Park TIF funds which leveraged an additional \$307,817 in private investment. Additional applications are pending.

Tampa Community Redevelopment Agency Drew Park Redevelopment Highlights

Looking Forward

- Complete construction of the Grady Avenue project.
- Begin construction of the stormwater, right-of-way, and streetscape improvements along Lois Avenue.
- Complete design and construct Drew Park Community Gateway markers along Dale Mabry Highway at the intersections of Alva, Cayuga, Osborne and South.
- Complete construction of Courtesy Automotive Group, Electric Supply, Inc. and Star Quality, Inc. projects.
- Continue to assist businesses, support job creation, and improve the appearance of Drew Park through the Façade Improvement Grant Program.



Tampa Community Redevelopment Agency
Drew Park CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$179	\$147	\$136	\$137
District Programs & Services				
Adult Use Law Enforcement	\$30	\$0	\$0	\$0
Marketing & Promotion	\$10	\$10	\$10	\$0
Redevelopment Investment				
Affordable Housing	\$10	\$0	\$0	\$0
Business Assistance Program		\$10	\$0	\$0
Façade Grant Program	\$50	\$0	\$0	\$0
Land Assemblage	\$50	\$0	\$0	\$0
Capital Improvement Projects				
Neighborhood Infrastructure Improvements	\$274	\$0	\$260	\$248
Stormwater Improvements		\$414	\$0	\$0
	\$602	\$581	\$406	\$385

Tampa Community Redevelopment Agency
Drew Park CRA
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating **\$137,200**

A portion of Economic Development staff salaries and operating expenses related to the Community Redevelopment Plan.

II. DISTRICT PROGRAMS & SERVICES **\$0**

III. REDEVELOPMENT INVESTMENT **\$0**

IV. CAPITAL IMPROVEMENT PROJECTS

Neighborhood Infrastructure Improvements **\$248,145**

Funding will be used for construction of improvements provided in the Streetscape & Beautification Master Plan, including but not limited to, sidewalks, street lighting, street paving, landscaping and green space, decorative streetscape elements, gateway corridor markers, beautification and other infrastructure improvements.

\$385,345

East Tampa

East Tampa At A Glance

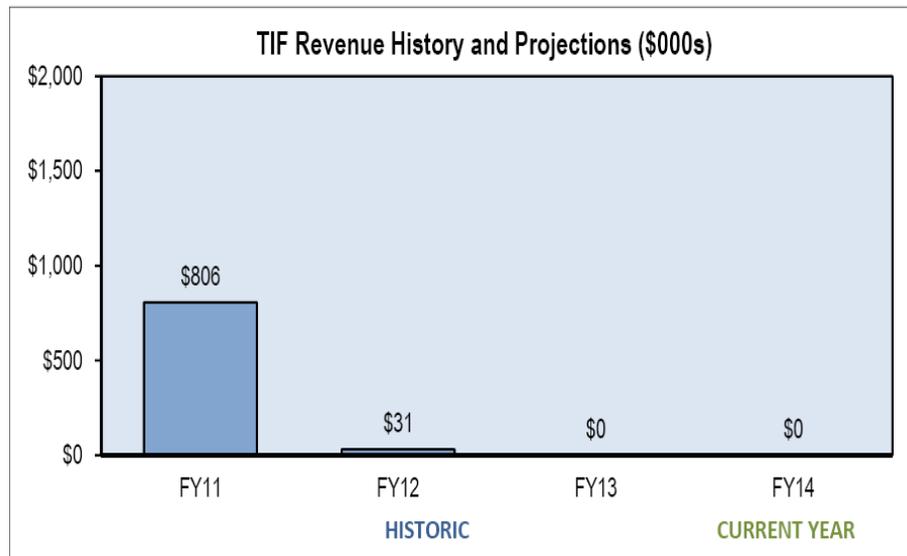


CRA Area (Acres) / City Area (%)	4,817 / 4.41
CRA Base Year	2003
Base Year Taxable Assessment	\$492,472,827
Current Taxable Assessment	\$474,859,325
Change From Base Year (Increment)	-\$17,613,502
TIF Revenue (@95%)	\$0

Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	195,681,926	176,935,384
• Multi-Family	48,430,724	46,764,041
• Condos/Co-ops	0	0
• Improved Commercial	138,544,866	135,291,045
• Improved Industrial	61,271,184	62,258,824
• Institutional/Gov't/Agri.	11,297,495	11,692,133
• Miscellaneous*	3,847,887	2,990,338
• Vacant	15,785,243	15,565,908

*Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other

Source: Hillsborough County Property Appraiser.



Tampa Community Redevelopment Agency

East Tampa Redevelopment Highlights

2013 Highlights

Private Sector Investment

- Design Styles, Inc., invested \$400,000 along with a \$50,000 façade grant to rehabilitate their historic facility at 1708 E. Columbus Drive.
- Omar Mattar invested \$1.6 million to construct new retail space at 4600 E. Hillsborough Avenue.
- Humana Healthcare partnered with “KaBoom”, the City of Tampa and the East Tampa Community Partnership to build a new \$200,000 playground at the Ragan Park Center.

TIF and non-TIF Funded Capital Improvements

- Completed the \$3.4 million Phase II section of the North 22nd Street Enhancement Project from Lake Avenue south to 21st Avenue.
- Completed \$1.3 million design and construction of Phase III (Round-a-bout) of the North 22nd Street Enhancement Project at 21st Avenue.
- Invested \$497,000 in rehabilitation of owner-occupied housing for East Tampa seniors.
- Completed \$500,000 repaving project of 40 blocks in the Dr. MLK Blvd to Osborne Avenue neighborhood.

Notable Events, Programs and Services

- Crime reduction efforts by the Tampa Police Department contributed to a 3% reduction in Part I Crimes from October 2011-May 2012, compared to October 2010-May 2011.
- Since October 2012, the Environmental Crimes Unit (ECU) has made three (3) felony and nine (9) misdemeanor arrests, issued five (5) civil citations and have eleven (11) pending cases. They have collaborated in the removal of more than 4 tons of debris from East Tampa neighborhoods and eliminated 26 illegal dumping sites.
- The Neighborhood Enhancement Division completed its eighth year of the “Summer Youth Program,” employing 36 East Tampa youths. The team assists the Environmental Crimes Unit with removal of debris and illegal dumping.
- The Agency invested \$35,000 in TIF funds to partner with the Hillsborough County Small Business Investment Center to provide on-site counseling services and community workshops for area small businesses.
- The Agency invested \$127,000 of TIF funds under the Business Façade Improvement Program to rehabilitate four storefronts.
- The Agency invested \$125,000 to acquire properties for future redevelopment.
- The City received a \$400,000 City-Wide EPA Brownfields Assessment Grant.

Tampa Community Redevelopment Agency East Tampa Redevelopment Highlights

Looking Forward

- Continue the Façade Grant Program to provide matching grants to businesses for storefront improvements.
- Continue EPA Brownfield Assessment Grant activities by conducting outreach and education activities, identifying potential properties for redevelopment and conducting environmental assessments.
- Continue to invest in neighborhood infrastructure projects selected by the Community Advisory Committee.



Tampa Community Redevelopment Agency
East Tampa CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating (recurring cost)	\$243	\$31	\$0	\$0
District Programs & Services				
East Tampa- Clean City	\$208	\$0	\$0	\$0
Environmental Detectives	\$125	\$0	\$0	\$0
Fair Oaks Community Lake Annual Maintenance	\$21	\$0	\$0	\$0
Streetlight Operating Expense	\$41	\$0	\$0	\$0
Marketing & Partnership Development	\$10	\$0	\$0	\$0
MLK Jr Blvd Community Lake Annual Maintenance	\$21	\$0	\$0	\$0
Capital Improvement Projects				
Neighborhood Infrastructure	\$137	\$0	\$0	\$0
	\$806	\$31	\$0	\$0

Tampa Heights Riverfront

Tampa Heights Riverfront At A Glance



CRA Area (Acres) / City Area (%)	77 / 0.07
CRA Base Year	2004
Base Year Taxable Assessment	\$8,464,415
Current Taxable Assessment	\$14,196,698
Change From Base Year (Increment)	\$5,732,283
TIF Revenue (@95%)	\$57,220



Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	740,050	741,566
• Multi-Family	0	0
• Condos/Co-ops	0	0
• Improved Commercial	8,090,066	6,979,759
• Improved Industrial	974,020	1,975,851
• Institutional/Gov't/Agri.	0	177,578
• Miscellaneous*	345,306	498,748
• Vacant	4,047,256	4,818,268

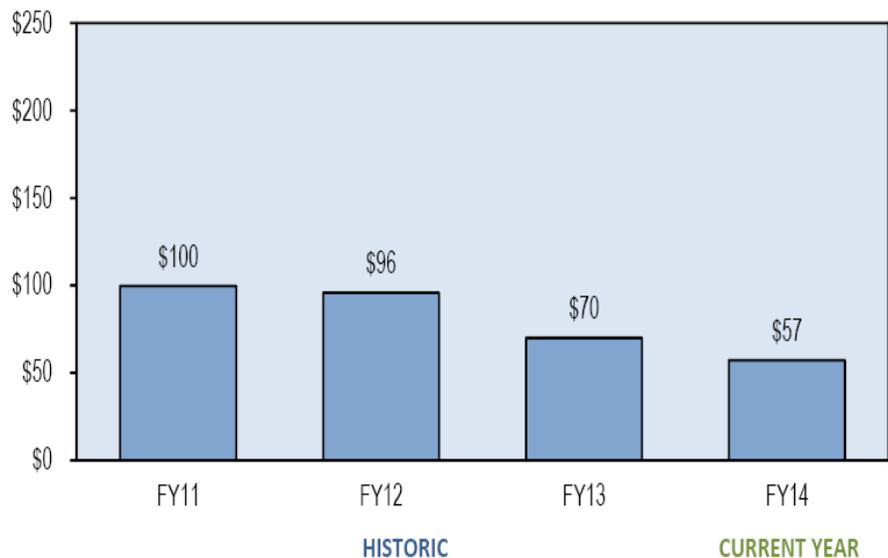


*Mobile Homes, Retirement Homes, Misc. Res., Leasehold interests, Non-Agri. Acreage, Other.

Source: Hillsborough County Property Appraiser.



TIF Revenue History and Projections (\$000s)



Tampa Community Redevelopment Agency Tampa Heights Riverfront Redevelopment Highlights

2013 Highlights

Private Sector Investment

- The Columbia Restaurant Group started converting the historic Water Works building into Ulele Restaurant.
- Soho Capital engaged Smith Dalia Architecture to create an adaptive reuse plan for the Tampa Armature Works building.
- Soho Capital filed a rezoning petition for the former “Height Project” property.

TIF and non-TIF Funded Capital Improvements

- Construction started on the redevelopment of Water Works Park and the expansion and restoration of Ulele Spring.

Notable Events, Programs and Services

- A groundbreaking ceremony was held for Ulele Restaurant.

Looking Forward

- Support the build-out and opening of Ulele Restaurant.
- Support Soho Capital’s effort to reposition the former Heights project property for redevelopment.
- Support the redevelopment of Water Works Park and Ulele Spring.



Tampa Community Redevelopment Agency
Tampa Heights Riverfront CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$82	\$66	\$14	\$15
District Programs & Services				
Professional/Contractual Services	\$18	\$0	\$0	\$0
Capital Improvement Projects				
Capital Improvement Projects	\$0	\$30	\$56	\$42
	\$100	\$96	\$70	\$57

Tampa Community Redevelopment Agency
Tampa Heights Riverfront CRA
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION

Salaries & Operating **\$15,600**

A portion of Economic Development staff salaries and operating expenses related to the Community Redevelopment Plan.

II. DISTRICT PROGRAMS & SERVICES **\$0**

III. REDEVELOPMENT INVESTMENT **\$0**

IV. CAPITAL IMPROVEMENT PROJECTS

Capital Improvement Projects **\$41,620**

Capital improvements in the CRA.

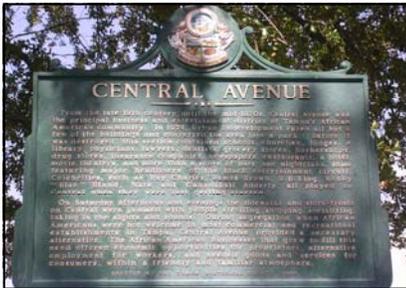
\$57,220

Central Park

Central Park At A Glance



CRA Area (Acres) / City Area (%)	143 / 0.13
CRA Base Year	2006
Base Year Taxable Assessment	\$6,701,795
Current Taxable Assessment	\$8,415,030
Change From Base Year (Increment)	\$1,713,235
TIF Revenue (@95%)	\$18,969



Taxable Values (\$):	<u>June 2013</u>	<u>June 2012</u>
• Single Family Residential	374,361	508,653
• Multi-Family	3,317,839	260,456
• Condos/Co-ops	0	0
• Improved Commercial	2,344,667	2,474,166
• Improved Industrial	306,750	305,310
• Institutional/Gov't/Agri.	703,855	700,378
• Miscellaneous*	375,947	341,770
• Vacant	991,611	1,332,332

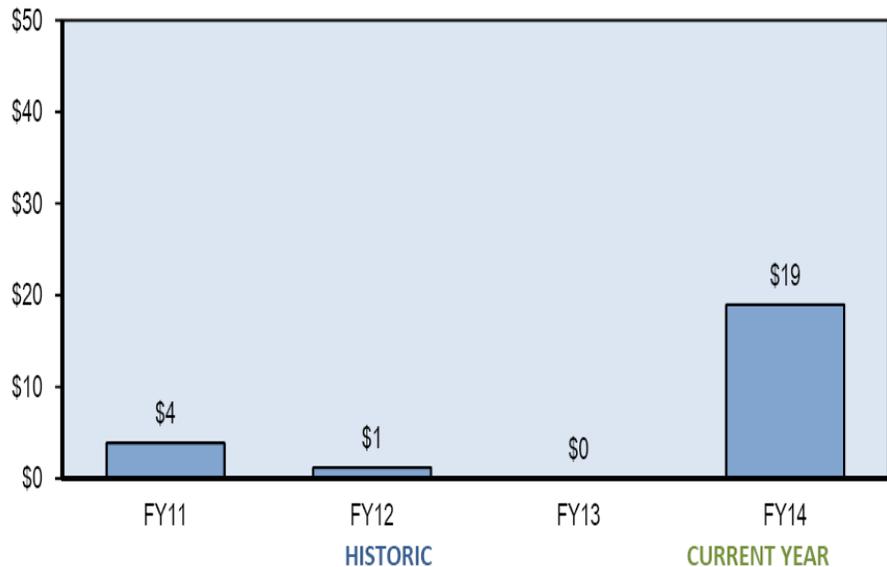


*Mobile Homes, Retirement Homes, Misc. Res., Leasehold Interests, Non-Agri. Acreage, Other

Source: Hillsborough County Property Appraiser.



TIF Revenue History and Projections (\$000s)



Tampa Community Redevelopment Agency Central Park Redevelopment Highlights

2013 Highlights

Private Sector Investment

- The Encore development team invested significant resources in grant preparation, marketing efforts, and other activities aimed at maintaining development momentum at Encore.

TIF and non-TIF funded Capital Improvements

- HART installed new Metro Rapid bus stations along N. Nebraska Ave. The new stations are part of a larger initiative to improve bus service throughout the area.

Notable Events, Programs and Services

- The *Ella at Encore* apartment complex opened and construction started on the *Trio* apartment complex.
- The Tampa Housing Authority received a \$30 million Choice Neighborhoods Grant from HUD. The grant will be used to fund the construction of the *Tempo* apartment complex at Encore, as well other construction projects and community programs throughout Central Park and Ybor City.
- Kimley-Horn & Associates completed a 3-phase redevelopment master plan for Perry Harvey, Sr. Park.

Looking Forward

- Support construction of the *Tempo* apartment complex and other Choice Neighborhoods Grant implementation activities.
- Begin construction on Perry Harvey, Sr. Park.
- Support the reconstruction of the Robert Saunders Library.
- Support private sector initiatives that might evolve.



Tampa Community Redevelopment Agency
Central Park CRA
Budget Allocation History (000s)

	<u>FY11</u>	<u>FY12</u>	<u>FY13</u>	<u>FY14</u>
Operations & Administration				
Salaries & Operating	\$4	\$1	\$0	\$0
District Programs and Services				
Property Maintenance	\$0	\$0	\$0	\$19
	\$4	\$1	\$0	\$19

Tampa Community Redevelopment Agency
Central Park CRA
Fiscal Year 2014 TIF Budget

I. OPERATIONS & ADMINISTRATION	\$0
II. DISTRICT PROGRAMS AND SERVICES	
Property Maintenance	\$18,969
Funds used to maintain city-owned parcels within the bounds of E. 7th Avenue, N. Nebraska Avenue, E. Ross Avenue and the interstate.	
III. REDEVELOPMENT INVESTMENT	\$0
IV. CAPITAL IMPROVEMENT PROJECTS	\$0
	<hr/> \$18,969

Tampa Community Redevelopment Agency

Services Agreement Overview

As part of the annual budget process, the Tampa Community Redevelopment Agency Board (CRA) contracts with the City of Tampa to assist it in implementing and furthering redevelopment plans for each redevelopment community by providing (or causing to be provided) certain redevelopment services and public improvements.

All community redevelopment areas are covered by a single agreement in this budget document. This year's agreement is in the same form as the FY13 agreement. Executing the agreement allows the City to use its existing processes (e.g. payroll system), procedures (e.g. purchasing by competitive bid and W/MBE program compliance) and staff to accomplish the plans of the CRA.

Based on terms of the Board's adopted Financial and Administration Policy (see Appendix), adopted April 6, 2005, the CRA agreed to particular terms regarding how and in what amounts the city would be reimbursed for the services that it provides in implementing the Community Redevelopment Area Plans.

Importantly, significant expenses incurred by the City to administer CRA activities are not presently reimbursed by the CRA, such as costs associated with the City Clerk, Legal Department, Revenue and Finance, Planning and Development, Purchasing, WMBE, Personnel, Technology and Innovation, and other departments.

The annual services agreement documents the amounts to be paid to the City from TIF funds each year. As in past years, the City will be reimbursed for staffing and operating costs associated with the Economic and Urban Development Department. Direct service expenses for additional services being provided by other departments are listed separately (e.g. Environmental Detectives in East Tampa).

The schedule on the following page details the services and costs for each area.

Tampa Community Redevelopment Agency

Services Agreement Overview

FY14 CRA/City Services Agreement Payment Schedule		
CRA	Budget/Service Line Item	Not to Exceed
Downtown	Salaries and Operating	\$86,000
	Loan Repayment	\$269,856
Ybor I	Salaries and Operating	\$283,268
	Code Inspection	\$14,007
Tampa Heights Riverfront	Salaries and Operating	\$15,600
East Tampa	Salaries and Operating	\$105,900
	Clean Team/Youth Program	\$291,939
	Environmental Detective	\$125,000
Channel District	Salaries and Operating	\$86,000
Drew Park	Salaries and Operating	\$137,200
Ybor II	Salaries and Operating	\$24,632
	Code Inspection	\$1,218
Central Park	Salaries and Operating	\$0
Total Consideration		\$1,440,620

**CITY OF TAMPA/COMMUNITY REDEVELOPMENT AGENCY
OF THE CITY OF TAMPA**

AGREEMENT FOR SERVICES

THIS AGREEMENT, made and entered into at Tampa, Florida, as of the _____ Day of _____, 2013, by and between the CITY OF TAMPA, a municipal corporation organized and existing under the laws of the State of Florida (the "City") and the COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF TAMPA, a body politic and corporate of the State of Florida (the "Agency").

WITNESSETH:

WHEREAS, pursuant to Resolution No. 88-1169, adopted by the City Council of the City of Tampa on June 16, 1988, the City Council approved a Community Redevelopment Plan for the Downtown Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 88-1178, adopted by the City Council of the City of Tampa on June 23, 1988, the City Council approved a Community Redevelopment Plan for the Ybor City I Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 99-0748, adopted by the City Council of the City of Tampa on May 13, 1999, the City Council approved a Community Redevelopment Plan for the Old Tampa Police Department Site Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 2004-794, adopted by the City Council of the City of Tampa on June 24, 2004, the City Council approved a Community Redevelopment Plan for the East Tampa Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 2004-795, adopted by the City Council of the City of Tampa on June 24, 2004, the City Council approved a Community Redevelopment Plan for the Channel District Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 2004-796, adopted by the City Council of the City of Tampa on June 24, 2004, the City Council approved a Community Redevelopment Plan for

the Drew Park Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 2004-797, adopted by the City Council of the City of Tampa on June 24, 2004, the City Council approved a Community Redevelopment Plan for the Ybor City II Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, pursuant to Resolution No. 2006-800, adopted by the City Council of the City of Tampa on June 22, 2006, the City Council approved a Community Redevelopment Plan for the Central Park Community Redevelopment Area (the "Redevelopment Plan"), and directed the Agency to implement the Redevelopment Plan and exercise those powers granted by Part III, Chapter 163 of the Florida Statutes (the "Redevelopment Act"); and

WHEREAS, under the Redevelopment Act, the Agency may contract with such other persons, public or private, as it deems necessary and appropriate for it to carry out its duties and responsibilities; and

WHEREAS, the Agency desires to engage the City to assist it in implementing and furthering the Redevelopment Plans by providing or causing to be provided certain redevelopment services and public improvements in all Tampa Community Redevelopment Areas (the "Redevelopment Areas"); and

WHEREAS, the East Tampa CRA Plan directs the City to involve the seven member "tax increment revenue" sub-committee of the East Tampa Community Revitalization Partnership and other broad-based community input in the recommendation of projects and monitoring of the implementation of the Plan.

NOW, THEREFORE, in consideration of the mutual covenants, promises and representations contained herein, the parties hereto agree as follows:

ARTICLE I. REDEVELOPMENT SERVICES; PUBLIC IMPROVEMENTS

- A. The City shall carry out or cause to be carried out, a revitalization and redevelopment program in the Redevelopment Areas consisting of, but not limited to, the following:
 - 1. Assist the Agency in the acquisition of real property by identifying, justifying, assembling, negotiating and monitoring the acquisition of real property by purchase, condemnation, gift, exchange or other lawful means;
 - 2. Assist the Agency in identifying, justifying, negotiating and monitoring the rehabilitation of real property in the manner prescribed by the Agency;

3. Assist the Agency in developing structure relocation plans for any historic structures determined worthy of preservation and for which relocation is required;
4. Serve as a representative of the Agency in seeking the aid and cooperation of other public agency bodies and private organizations and to coordinate the Redevelopment Plans with the activities of said public bodies and private organizations in order to achieve the purposes of redevelopment in the highest public interests possible;
5. Act as a representative of the Agency for real property owned by the Agency within the Redevelopment Area or real property in the Redevelopment Areas which is within the control, direction, supervision or management of the Agency;
6. Identify, propose, market and negotiate through approved practice methods such agreements for specific properties located within the Redevelopment Areas which provide for uses which are in the best interests of the Agency and further the redevelopment of the Redevelopment Areas pursuant to the Redevelopment Plans;
7. Advertise, promote and market through approved practice methods the sale of real property in accordance with the Redevelopment Plans and other applicable laws, regulations, policies and plans;
8. Assist the Agency to cause the demolition or clearance, or both, of buildings, structures and other improvements within the Redevelopment Areas which are owned or acquired by the Agency or any other person and which are to be redeveloped in accordance with, or as contemplated by, the Redevelopment Plans;
9. Assist the Agency to cause the preparation of building and development sites in the Redevelopment Areas;
10. Coordinate and monitor the relocation of persons displaced by redevelopment within the Redevelopment Areas;
11. Plan, execute and monitor specific programs involving the private sector that stimulate the economy in the Redevelopment Areas;
12. Create and cause to be used a marketing campaign that seeks to attract investment, development and enterprises in the Redevelopment Areas;
13. Conduct a promotional campaign that attracts visitors to the Redevelopment Areas from within and without the Tampa Bay metropolitan area;

14. Conduct educational and informational sessions for owners of real property located within the Redevelopment Areas;
 15. Coordinate, through the City's Department of Growth Management and Development Services, the referral of persons from the Redevelopment Areas that are seeking financial assistance for various purposes within the Redevelopment Areas; and
 16. Study the periphery of the Redevelopment Areas to evaluate the potential for expansion of the district.
 17. Assist the Agency in implementing and executing environmental public health/safety programs including, but not limited to, clean-up of illegal dump sites, litter control, code enforcement, and other related activities.
 18. Provide funding, as needed, for planning, legal and/or financial studies with said costs to be reimbursed from tax increment proceeds when available.
- B. During the term of this Agreement the City shall recommend to the Agency the implementation, construction or installation of public improvements which are necessary to effectuate the Redevelopment Plans. Subject to the funding and approval of such public improvements by the Agency pursuant to this Agreement, the City shall implement, construct or install such public improvements.
- C. In order to properly provide the services described in Paragraphs A and B herein above, the City shall,
1. Provide the Agency with recommendations on zoning matters, modifications to the Redevelopment Plans or such other matters as may be requested by the Agency;
 2. Seek alternative funding sources from both the public and private sector that will assist in funding redevelopment activities that complement the intent and purpose of the Redevelopment Plans;
 3. Involve the seven-member "tax increment revenue" sub-committee of the East Tampa Community Revitalization Partnership in monitoring of the East Tampa CRA Plan.
 4. Provide ongoing assessment and monitoring of redevelopment within the Redevelopment Areas to evaluate the success or failure of specific projects, and when necessary, provide additional or alternative project options to the Agency for its consideration; and

5. Urge the members of the Florida Legislature from the Tampa area and elsewhere to enact legislation that will aid the redevelopment of the Redevelopment Areas.
6. For agreements related to projects that are (or are likely to be) funded in majority by TIF revenues, the Department of Urban Development will circulate the draft scope of services to all Community Redevelopment Agency Board members for their input at the time that the draft scope is provided to CRA Advisory committee members for comment.

ARTICLE II. PERIOD OF AGREEMENT

This Agreement shall commence on October 1, 2013, and shall expire on September 30, 2014, unless this Agreement is otherwise earlier cancelled as provided herein, or unless extended by written agreement of the parties.

ARTICLE III. COMPENSATION

The Agency shall pay to the City, and the City shall accept from the Agency as full consideration for its services under this Agreement, the sums not to exceed as follows, for providing services described in Article I. A. and C. of this Agreement.

CRA	Budget/Service Line Item	Not to Exceed
Downtown	Salaries and Operating	\$86,000
	Loan Repayment	\$269,856
Ybor I	Salaries and Operating	\$283,268
	Code Inspection	\$14,007
Tampa Heights Riverfront	Salaries and Operating	\$15,600
East Tampa	Salaries and Operating	\$105,900
	Clean Team/Youth Program	\$291,939
	Environmental Detective	\$125,000
Channel District	Salaries and Operating	\$86,000
Drew Park	Salaries and Operating	\$137,200
Ybor II	Salaries and Operating	\$24,632
	Code Inspection	\$1,218
Central Park	Salaries and Operating	\$0
Total Consideration		\$1,440,620

No other costs or expenses incurred by the City or on its behalf shall be chargeable to the Agency unless specifically authorized under this Agreement.

ARTICLE IV. PAYMENTS

On the first day of each month during the period of this Agreement the Agency shall pay the City one twelfth (1/12) of one million, four hundred forty thousand, six hundred sixty twenty dollars (\$1,440,620) for the services described in Article I. A. and C. of this Agreement.

ARTICLE V. CANCELLATION OF AGREEMENT

This Agreement is subject to cancellation by either party on thirty (30) days advance written notice to the other at its address as herein above specified. In the event of such cancellation and if the City claims it is entitled to compensation for the satisfactory performance of services provided, or for the implementation, construction or installation of public improvements, pursuant to the provisions of this Agreement to date of cancellation, it shall comply with Article IV. hereof.

ARTICLE VI. RECORDS

The City shall maintain such records and accounts including property, personnel and financial records as are necessary to assure a proper accounting for all funds paid to the City by the Agency pursuant to this Agreement, and such records shall be available for inspection by the Agency or its representatives at reasonable times and under reasonable conditions.

All documents, including detailed reports, plans, brochures, publications, and all other related data, prepared or obtained by the City in conjunction with this Agreement are, and shall remain the property of the Agency.

ARTICLE VII. NON-ASSIGNABILITY

The City may not assign this Agreement without the prior written consent of the Agency.

ARTICLE VIII. MODIFICATION, AMENDMENT, EXTENSION

This Agreement may not be modified, amended or extended except in writing.

ARTICLE IX. HEADINGS

All articles and descriptive headings of paragraphs in this Agreement are inserted for convenience only and shall not affect the construction or interpretation hereof.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed at the place and on the day herein above first written.

ATTEST:

CITY OF TAMPA

CITY CLERK

BY: _____ (SEAL)
BOB BUCKHORN, MAYOR

COMMUNITY REDEVELOPMENT
AGENCY OF THE CITY OF TAMPA

ATTEST:

SECRETARY

BY: _____ (SEAL)
CHAIRMAN/VICE CHAIRMAN

The execution of this document was
Authorized by Resolution No. _____.

SALVATORE TERRITO
CHIEF ASSISTANT CITY ATTORNEY

Recommended Tax Increment Fund Budgets

Appendix

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City of Tampa
Community Redevelopment Agency

Financial and Administration Policy

The City, in conjunction with the various community-based CRA/TIF groups, has developed the following policies for presentation to and adoption by the Community Redevelopment Agency in order to establish clear, uniform administrative guidelines that will apply to all Community Redevelopment Areas. No part of these guidelines is intended to restrict the authority of the Community Redevelopment Agency or to conflict with Florida Statutes.

Formalizing these policies will best assure clear communication between and among representatives of affected communities. The community-based CRA/TIF groups and city staff will engage in joint planning and policy formulation. As a result, annual workplans and long-range planning for redevelopment initiatives will be better understood and have a higher likelihood of success.

Any proposed changes to these policies (including future year staff projections) will be formulated jointly by the community-based CRA/TIF groups and city staff before presentation to the Community Redevelopment Agency.

Community Redevelopment Area Representation

- Each CRA organization has/will have a committee (herein referred to as “community-based CRA/TIF group”) identified to interact with city staff regarding allocation of TIF revenues. The goal of this interaction is to reach consensus regarding annual and long-term TIF revenue planning and expenditures.

Annual TIF Budgeting

- City staff, in conjunction with the community-based CRA/TIF groups, will prepare a proposed annual work program and budget in accordance with the various CRA multi-year action plans to be presented to CRA for review and consideration. The Community Redevelopment Agency’s formal approval is necessary in order to establish annual TIF budgets.
- Proposed changes to an approved TIF budget will be developed by city staff in conjunction with the community-based CRA/TIF group prior to consideration by the Community Redevelopment Agency.
- Future year CRA workplans and budget submittals will be more-or-less coincidental with the City’s annual budget process, resulting in common (10/1 - 9/30) fiscal periods.
- Annual appropriations should be programmed pursuant to Florida Statutes, Chapter 163, Part III.

Adopted April 5, 2005

City of Tampa
Community Redevelopment Agency

Financial and Administration Policy

Reimbursement to City for Creation of the CRA

- Reimbursements for direct out-of-pocket expenses (e.g. HCCCPC, consultants, legal notices and advertisement) will be expensed to the TIF fund for each CRA/TIF that is established after calendar 2004.
- No City staff expenses will be reimbursed.

Ongoing Reimbursement to City from TIF Revenues

- Revenue and Finance and Urban Development will jointly establish a cost accounting practice that results in an accurate portrayal of annual staff and operating expenses for each CRA.
- The City, in conjunction with the community-based CRA/TIF groups, commits to maximize the use of TIF revenues for direct reinvestment in the Community Redevelopment Areas by critical annual review of the percentage of TIF revenues being applied to staff and operating expenses.
- Eventually, TIF revenues will cover 85% of the annual Urban Development Department staff expenses. For the initial year, reimbursement to the City from TIF revenues will be 25% of staff expense. This percentage will be increased by 15% per year until the 85% level is reached (i.e. 25, 40, 55, 70, 85). Inasmuch as the Ybor TIF is already in place, the City staff expense percentage for 2005 will be at (55%), ramp up the nearest 15% increment in 2006, and increase 15% per year thereafter to the 85% level. Attached is a five-year staff projection for the Urban Development Department.
- Future year revenues will not be used to repay the City for reimbursed staff expenses from previous years.
- In the event that the City of Tampa and the Community Redevelopment Agency agree that the City is to up-front the cost of CRA initiatives, then future year TIF revenues from that CRA will be programmed to reimburse the City. Proposed reimbursement schedules will be developed by city staff in conjunction with the community-based CRA/TIF group prior to consideration by the Community Redevelopment Agency.
- Capital improvement projects funded with TIF revenues will bear direct and indirect capital project overhead charges in the same manner and using the same procedures as are administered to all other capital improvement project funds.

Adopted April 5, 2005

City of Tampa
Community Redevelopment Agency

TIF Borrowing for Major Projects Policy

Financing for infrastructure projects and/or economic development activities in the CRA's shall be governed by the following policies. These policies are specifically targeted to the issuance of bonds, but may also be applicable to other forms of financing.

General Conditions

These conditions shall apply to typical improvement projects where the CRA/City controls all factors of the project, including the entire funding source(s) and timing.

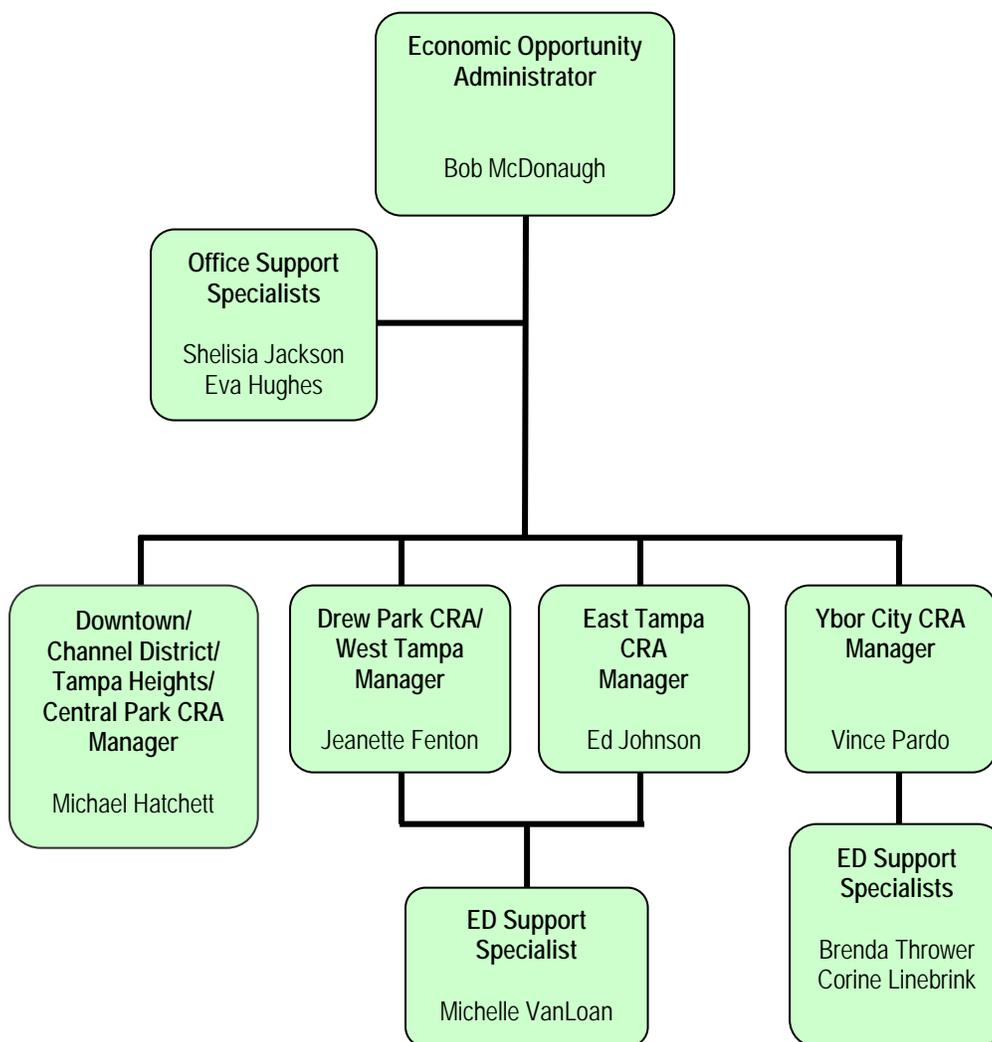
- The financing shall rely on the credit of the CRA/TIF only.
- Back up funding sources including, but not limited to utility taxes, parking revenues, and/or the City's general funds shall not be used as a back-up pledge toward any financing.
- The terms and amounts of potential financing shall be dictated by prevailing market conditions at the time of the financing application, including, but not limited to:
 - Interest rates
 - Compliance for tax-exempt versus taxable status
 - Required debt service coverage ratio, and/or
 - Ability to underwrite the credit based on the historical performance and/or future projections of the TIF

Special Conditions

These conditions shall apply to improvement projects where the CRA/City does not control all factors of the project or where compelling factors would cause prudent consideration of exceptions to the above general conditions. Some examples of these exceptions could be:

- Projects undertaken in cooperation with County, State, or other governmental entities where the other entity is bringing a significant portion of the funding to the project. Multiple governmental entities in a common project would amplify this condition.
- Projects where the timing is dictated by "emergency" conditions.
- Projects that are required in the sequence of an overall critical path schedule and the initial project timing is driven by an outside entity or emergency condition.
- CRA's where current TIF revenue is insufficient to satisfy the financing of a contemplated project(s), but due to historic trends of the existing TIF revenue and/or new projects actually under construction provide a high level of confidence in the expectation of future revenue.
- This policy is not intended to restrict the CRA's assistance or support of private sector projects through the use of a project specific Redevelopment Agreement.
- In projects represented by the examples above or projects being influenced by other compelling factors, the financing policies in "General Conditions" should be reviewed for flexibility. In the event the City uses non-TIF funds to finance a CRA project, these non-TIF funds would be reimbursed to the City from future TIF revenues.

Tampa Community Redevelopment Agency Department of Economic and Urban Development



Tampa Community Redevelopment Agency
**City of Tampa Departmental Staff
 Allocated Cost Comparison
 Fiscal 2013 and Fiscal 2014**

CRA	Total Allocated Staff Costs			Portion Funded by TIF		
	FY14	FY13	Increase (Decrease)	FY14	FY13	Increase (Decrease)
Downtown	\$ 100,116	\$ 87,311	\$ 12,806	85.00%	85.00%	0%
Ybor City	\$ 358,440	\$ 353,318	\$ 5,122	85.00%	85.00%	0%
Channel District	\$ 100,116	\$ 87,311	\$ 12,806	85.00%	85.00%	0%
Drew Park ¹	\$ 193,512	\$ 191,835	\$ 1,677	70.00%	70.00%	0%
East Tampa ²	\$ 209,880	\$ 203,340	\$ 6,540	50.00%	50.00%	0%
Tampa Heights Riverfront	\$ 18,161	\$ 16,880	\$ 1,281	85.00%	85.00%	0%
Central Park ³	0	0	0	0%	0%	0%
Total	\$980,225	\$939,995	\$40,231	75.00%	75.00%	0%

Explanatory Notes:

¹ The Manager for Drew Park spends 30% of time on West Tampa outside of the CRA district.

² Per the Board's financial policy, all CRAs, with the exception of East Tampa cover 85% of staff salaries as the funding has been reduced.

³ The Manager for Central Park also manages Downtown, Channel District, and Tampa Heights Riverfront which cover 85% of the salary.

Tampa Community Redevelopment Agency
TIF Revenue Calculation Comparison by CRA
Millage Rate History
Fiscal 2009 - Fiscal 2014

	FY 09	FY 10	FY 11	FY 12	FY 13	FY 14 (TBD)
City	0.0057326	0.0057326	0.0057326	0.0057326	0.0057326	0.0057326
County	0.0057439	0.0057423	0.0057407	0.0057391	0.0057374	0.0057374
Port	0.0001950	0.0001925	0.0001900	0.0001900	0.0001850	0.0001850
HART	0.0004682	0.0004682	0.0004682	0.0005000	0.0005000	0.0005000
Children's Board	0.0005000	0.0005000	0.0005000	0.0005000	0.0005000	0.0005000
Total Millage	0.0126397	0.0126356	0.0126315	0.0126617	0.0126550	0.0126550

Millage Rate Calculations by CRA

Properties within the boundaries of all of the CRAs are assessed by the City of Tampa, Hillsborough County and the Tampa Port Authority. The combined millages of these three taxing authorities for fiscal 2014 is 0.0116617.

For the Downtown CRA, the Children's Board assessment is applicable to both the Original Core and the New-Core Amendment. The HART assessment is applicable to the Original Core only.

In FY2010, the County began retaining 20% of the TIF increment for Tampa Heights Riverfront (Ordinance 2005-137, Section 5.b).

In FY2004, the County began retaining 30% of the TIF increment for Ybor I (Ordinance 2005-137, Section 5.b).

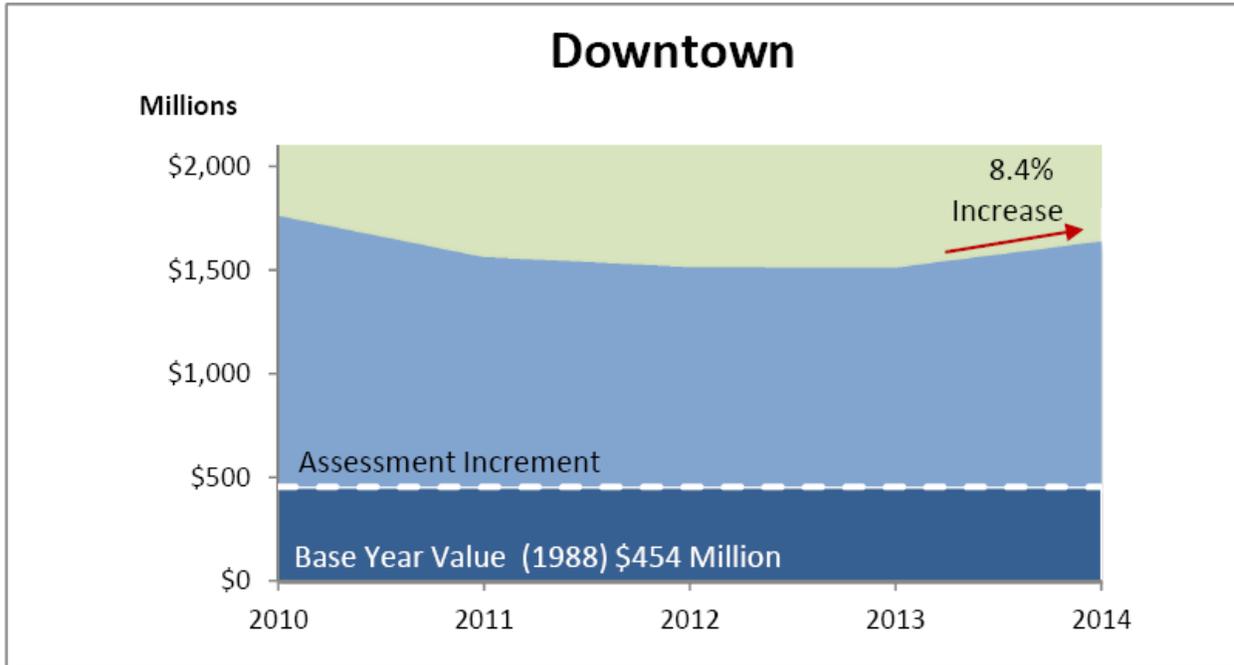
Tampa Community Redevelopment Agency

TIF Revenue Calculation by CRA

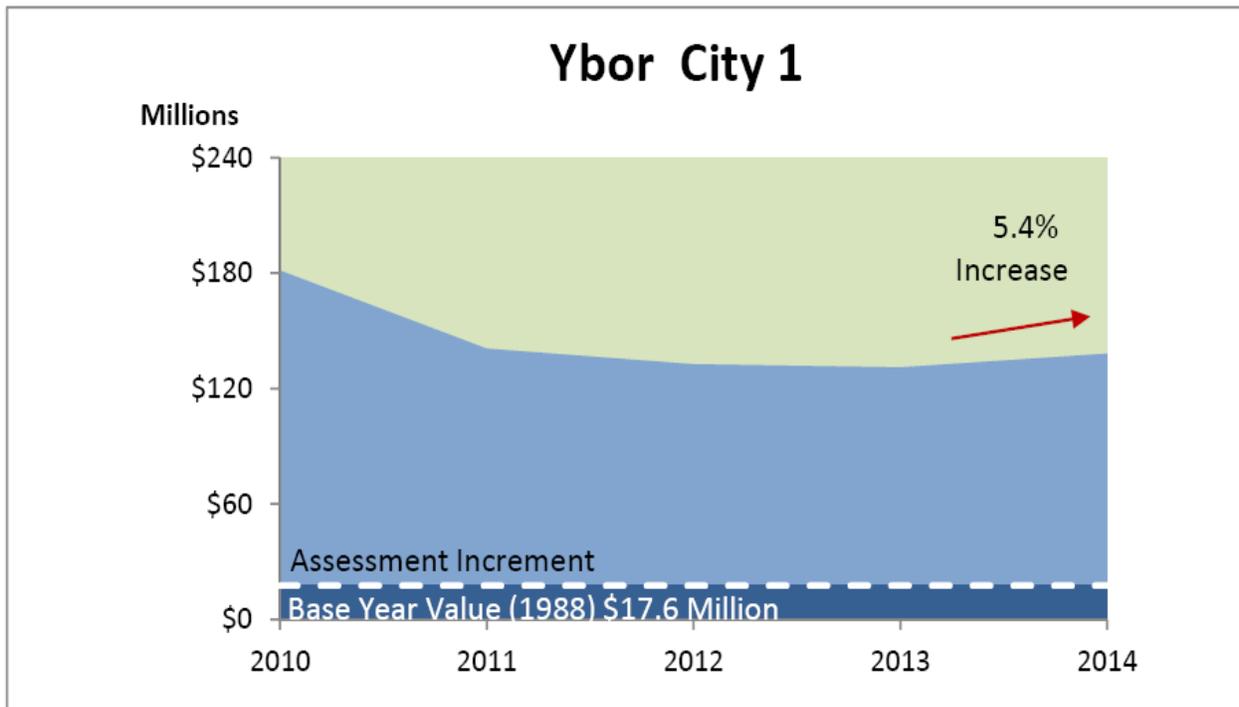
Fiscal 2014 and Fiscal 2013

	FY13			FY14		
	Incremental TIF Assessment	Millage Rate	TIF Revenue @95%	Incremental TIF Assessment	Millage Rate	TIF Revenue @ 95%
Downtown-Non Core	\$901,914,409	0.0126550	\$10,843,040	\$967,546,045	0.0126550	\$11,632,080
Downtown-Core	\$158,026,370	0.0121550	\$1,824,770	\$220,037,480	0.0121550	\$2,540,827
Ybor City 1	\$112,987,375	0.0099338	\$1,066,272	\$120,449,681	0.0099338	\$1,136,694
Ybor City 2	\$7,749,229	0.0116550	\$85,801	\$8,463,630	0.0116550	\$93,711
Channel District	\$239,510,911	0.0116550	\$2,651,924	\$277,885,717	0.0116550	\$3,076,820
Drew Park	\$36,638,781	0.0116550	\$405,673	\$34,802,811	0.0116550	\$385,345
East Tampa	-\$39,576,643	0.0116550	\$0	-\$17,613,502	0.0116550	\$0
Tampa Heights	\$7,033,211	0.0105075	\$70,206	\$5,732,283	0.0105075	\$57,220
Central Park	-\$764,311	0.0116550	\$0	\$1,713,235	0.0116550	\$18,969
	\$1,423,519,332		\$16,947,686	\$1,619,017,380		\$18,941,666

Tampa Community Redevelopment Agency 2010-2014 Assessed Value Trends

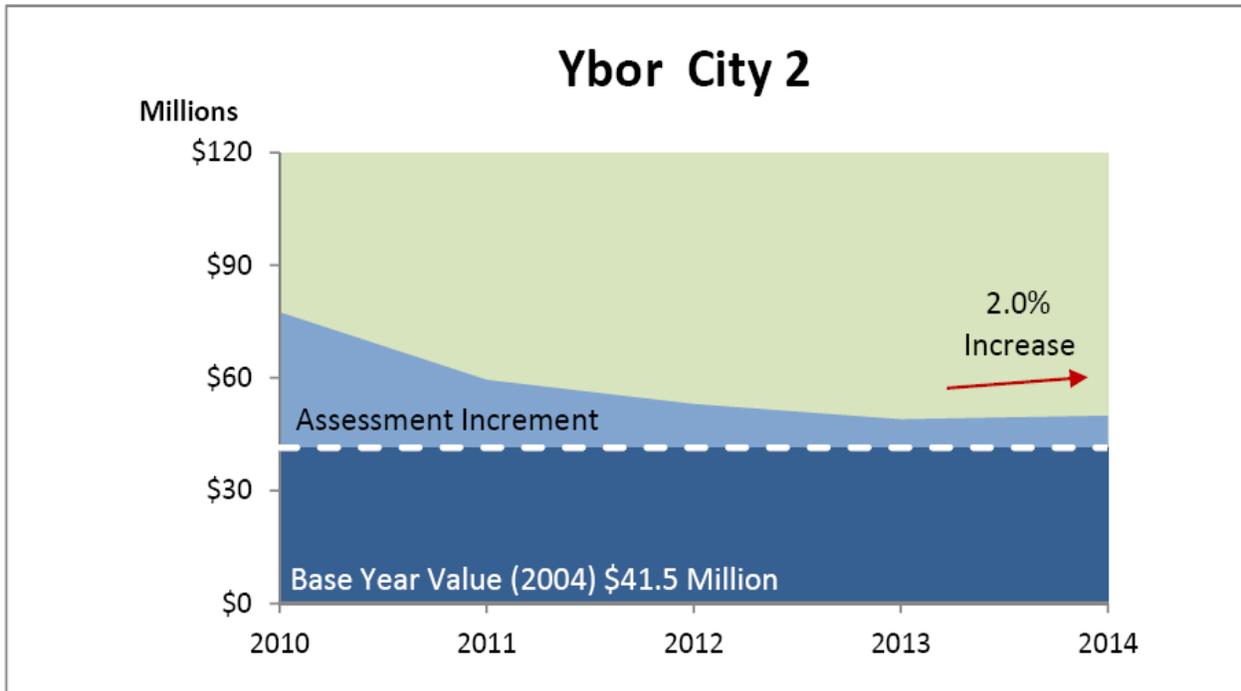


Assessed property values are up 8.4% from \$1.514B in FY2013 to \$1.641B in FY2014.

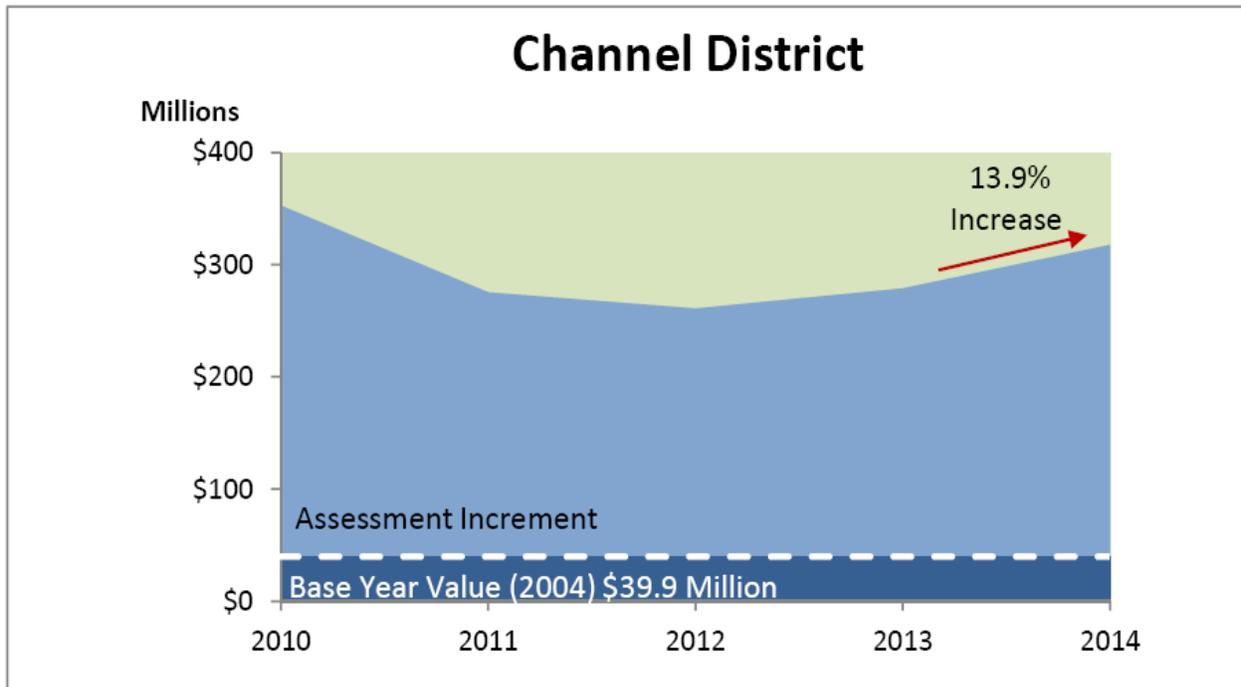


Assessed property values are up 5.4% from \$130.6M in FY2013 to \$138.1M in FY2014.

Tampa Community Redevelopment Agency 2010-2014 Assessed Value Trends

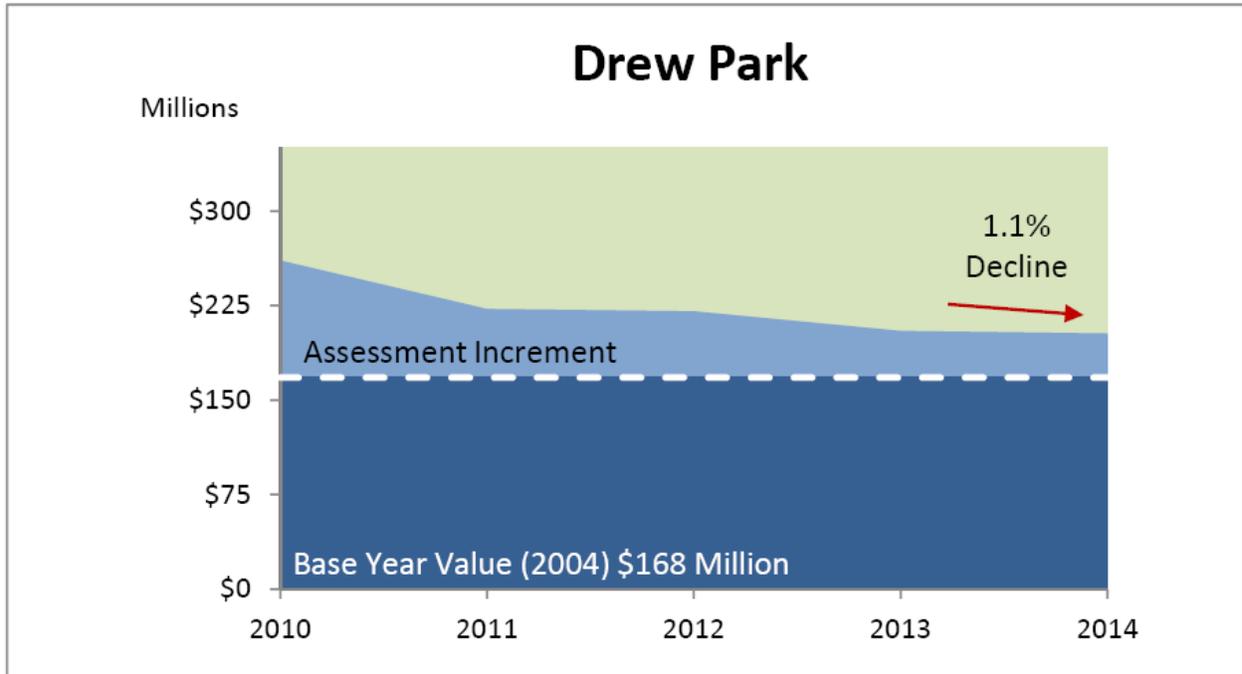


Assessed property values are up 2% from \$49.3M in FY2013 to \$50M in FY2014.

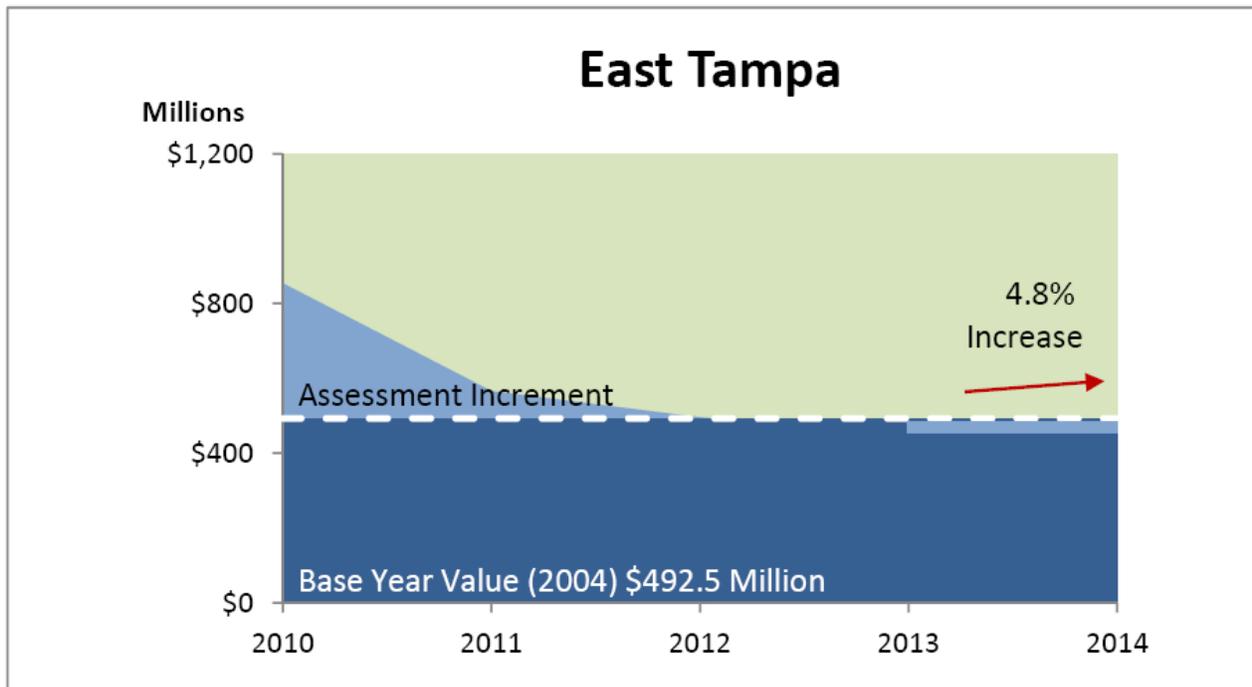


Assessed property values are up 13.9% from \$279.4M in FY2013 to \$317.8M in FY2014.

Tampa Community Redevelopment Agency 2010-2014 Assessed Value Trends

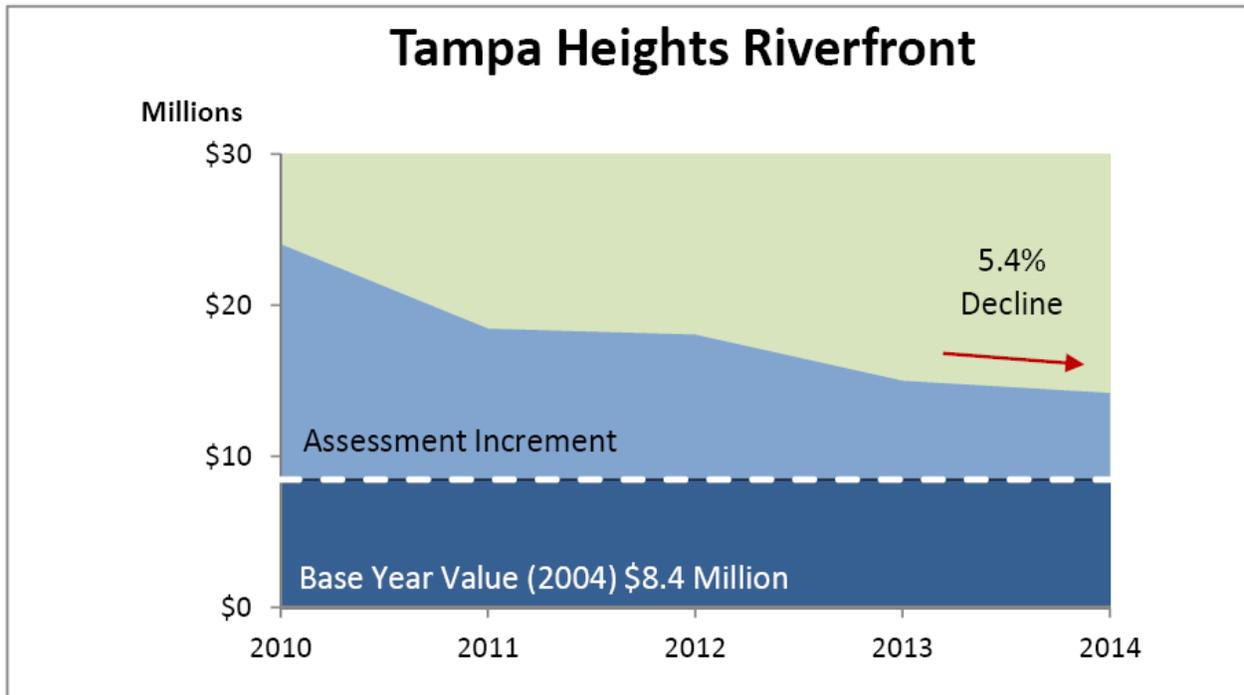


Assessed property values are down 1.1% from \$205M in FY2013 to \$202.8M in FY2014.

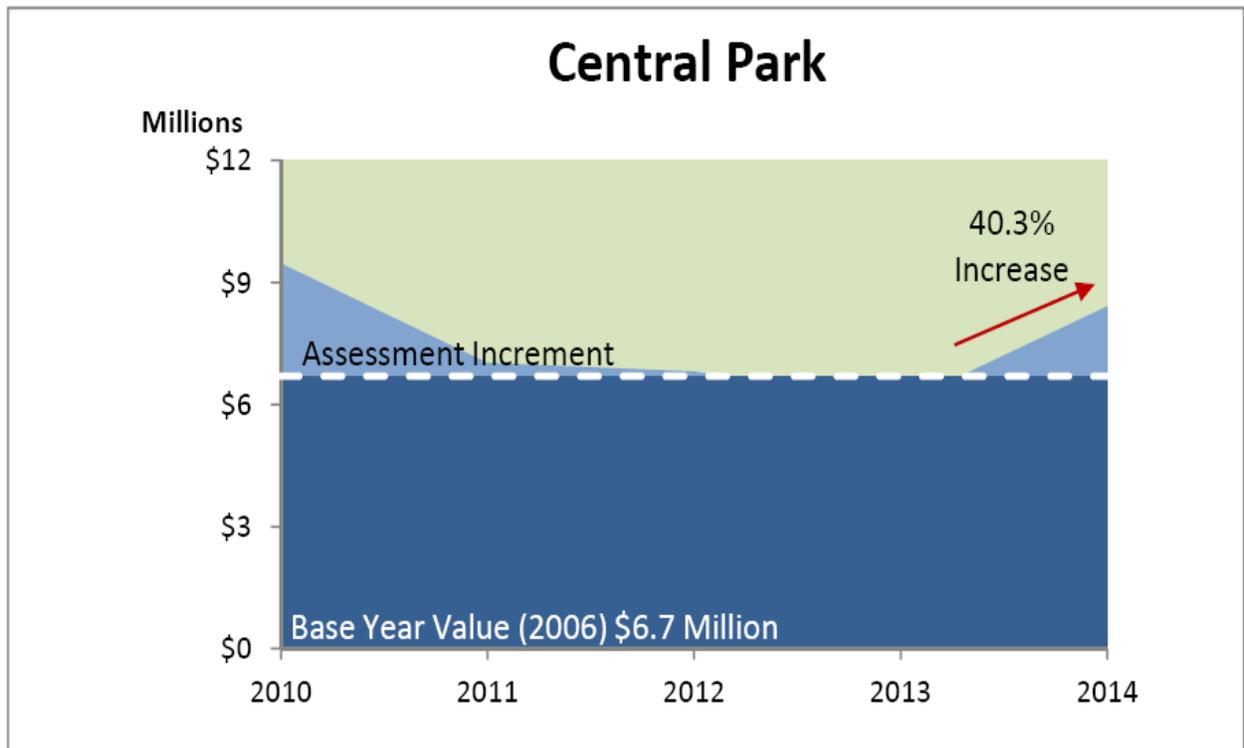


Assessed property values are up 4.8% from \$453M in FY2013 to \$474.9M in FY2014.

Tampa Community Redevelopment Agency 2010-2014 Assessed Value Trends



Assessed property values are down 5.4% from \$15M in FY2013 to \$14.2M in FY2014.



Assessed property values are up 40.3% from \$6M in FY2013 to \$8.4M in FY2014.