

## Roofs and Roofing

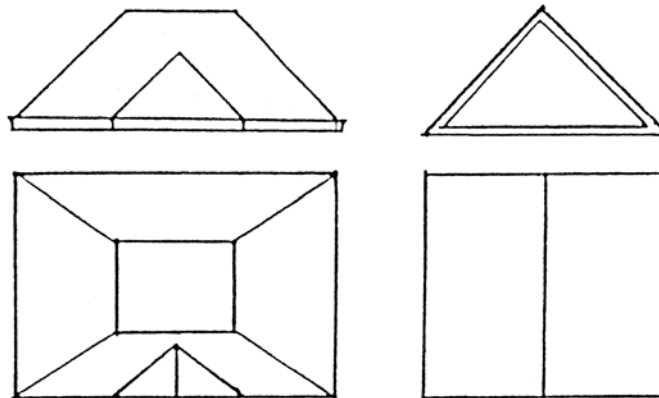
Often, the architectural character of an older building is expressed most in its roof form and roofing material. Most of the roofs in Hyde Park are either gabled or hipped, some with combinations of both. The roofs overhang the building walls to protect the window and door openings and to provide shade. These eaves are sometimes enclosed and in many cases embellished with carved wooden brackets. In other cases, rafter tails (the ends of the structural members of the roof) are exposed rather than covered by soffits. Wood fascia boards (a horizontal board between the edge of the roof and the soffit) are also quite common among the various architectural styles.

Each of these elements is important in defining the character of the house and its surroundings. Every effort should be made to retain these features or repair them. Where repair is not practical, they should be replaced with comparable details. Metal or synthetic soffits and fascias are not compatible with the materials characteristic of Hyde Park.

The materials used for the roofs of buildings throughout the district vary. Sawn wood shingles, slate and metal roofing were common. Clay tile was often used on Mediterranean Revival style buildings as well as others in the district. Composition materials such as asphalt or asbestos shingles were introduced later. It is important to repair or replace roofing with materials similar to the original in size, color and texture.

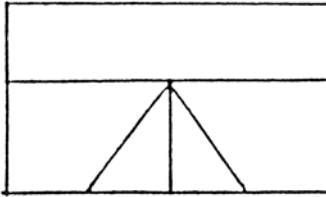
### ROOFS

#### Appropriate roofing configurations



**Hipped roof with central gable**

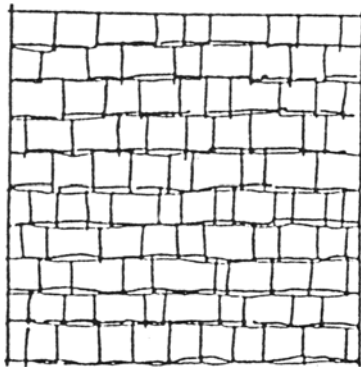
**End Gable**



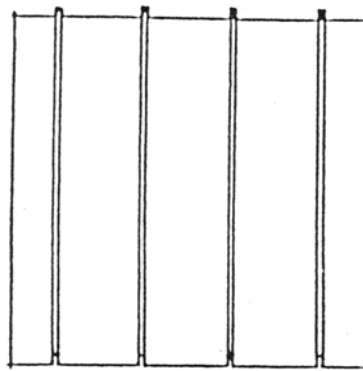
**Side gable roof with central gable**

A modification or replacement of a roof or roofing will require a Certificate of Appropriateness prior to the commencement of the construction. The Administrator shall review the application to determine the extent of the alterations. If the application involves minor roof repairs or replacement with appropriate materials, staff may issue the Certificate of Appropriateness. If the application involves roof repairs which reach beyond the roof surface or where roofing material is not similar to existing roof material, then the A.R.C. shall review the application at the regular A.R.C. public hearing.

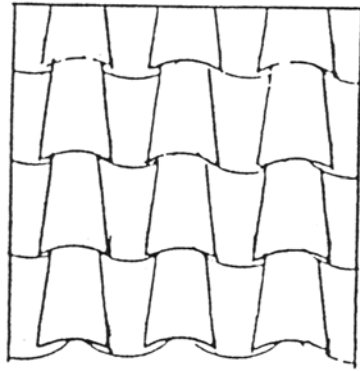
### **Appropriate roofing materials**



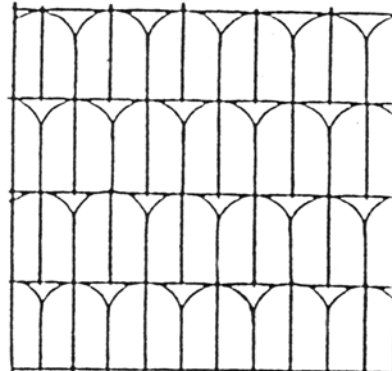
**Sawn Wood Shingles**



**V-Crimp Sheet Metal**



Clay Tile



Patterned interlocking sheet metal

### **It is Permissible to...**

Maintain the original roofline.

Maintain the original roofing material.

Repair or replace roofing with material as close to the original as possible in size, shape, color and texture.

### **It is Not Permissible to...**

Alter the original roofline.

Replace the roofing with a material which is not characteristic of the building's style.

Add soffits to buildings on which they were not original.

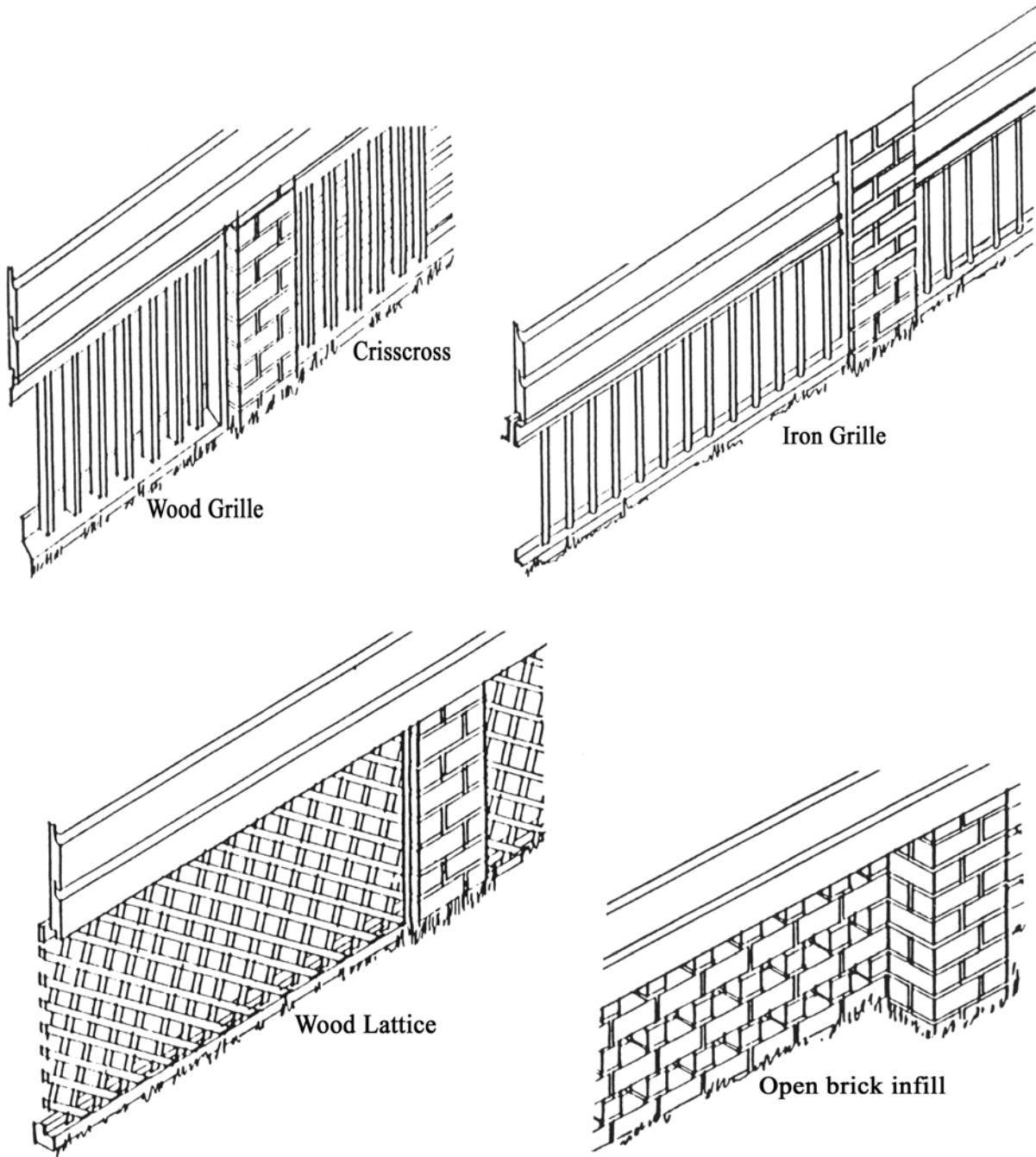
Replace soffits with metal or synthetic material.

## **Foundation Enclosures**

Some of the foundations of the raised buildings in Hyde Park were originally enclosed with open brickwork, iron ventilating grates or wood lattices. These materials were often decorative and also open to allow ventilation. If repair or replacement is necessary, use materials similar to the original and in the same pattern as the original. Do not use concrete, plywood, metal grating, stucco, or other materials not original to the building. These materials detract from the overall historic appearance of the building. Foundations should be enclosed only with materials that are appropriate to the building style.

A modification, repair, replacement or addition of foundation will require a Certificate of Appropriateness prior to the commencement of the construction. The Administrator of the A.R.C. shall review the application for compliance with the design guidelines. If the application is deemed by the Administrator to contain minor modifications, repairs, appropriate

replacements or appropriate additions, the Administrator may issue the Certificate of Appropriateness. If the application includes work other than minor modifications, repairs or appropriate replacements, the A.R.C. shall review the application at the regular A.R.C. public hearing for a decision on the Certificate of Appropriateness.



### **It is Permissible to...**

Retain and maintain open pier foundations.

Maintain existing foundation enclosures.

Repair or replace deteriorated foundation enclosures as closely as possible to the original in size, shape, pattern, material and color.

Develop a foundation enclosure compatible with the style of the building if the original enclosure has been removed.

### **It is Not Permissible to...**

Remove foundation enclosures.

Enclose a foundation which was originally intended to be open unless enclosed with materials appropriate to the building style.

Use a new foundation enclosure which is not characteristic of the style of the building.

Use materials such as concrete block, plywood, metal gratings, or stucco which are not used as foundation enclosures in the Historic District.

## **Modern Equipment**

Insensitive installation of modern equipment such as air-conditioners, conventional antennas, satellite dishes, skylights, fire escapes, security bars and hurricane shutters can seriously detract from the character of the Hyde Park Historic District.

If central air-conditioning is not economically or architecturally feasible, installation of a window or wall unit is acceptable on the street façades. Locate central a/c units as far as possible from the street and public view.

Conventional antennas, satellite dishes and communication equipment should be installed in such a manner so that they cannot be seen from the front street. Electric and cable lines should be concealed. The mounting devices for this equipment should be as unobtrusive as possible.

Skylights should not be installed on rooflines where they can be visible from the front street. These items, although of modern convenience and purpose, detract from the historic character of the neighborhood. If these are installed, they must be as unobtrusive as possible.

Security bars visible from the street within the historic district are not desirable. If these are installed, they should be as unobtrusive as possible. Internally mounted security bars should also be considered. Electronic security systems are another alternative.

A Certificate of Appropriateness is not required for these modifications; however, the A.R.C. suggest the following:

## **Suggested Treatments**

### **Air Conditioning**

Locate the outdoor portion of a central air conditioner as far from the street as possible and out of public view. Locate window units as far from the street as possible and out of public view.

### **Antennas and Satellite Dishes**

Install these so they cannot be seen from the front street.

### **Security Bars**

Install them so they cannot be seen from the street.

If used on the street façade, they should be as unobtrusive as possible. Electronic security systems should be investigated as another alternative for security.

Investigate interior security bars and security systems.

### **Solar Collectors**

Where solar collectors are to be added, it is recommended that these should not be visible from the front street. They should be designed and installed so is not to detract from the historic fabric of the building.

An addition of a solar collector will require a Certificate of Appropriateness prior to the commencement of the construction. The Administrator of the A.R.C. shall review the application for compliance with the design guidelines. If the application is deemed by the Administrator to be located appropriately on the building, the Administrator may issue the Certificate of Appropriateness. If the location of the solar collector is inappropriate, the A.R.C. shall review the application at the regular A.R.C. public hearing for a decision on the Certificate of Appropriateness.

#### **It is Permissible to...**

Locate solar collectors on portions of the building not visible from the front street.

#### **It is Not Permissible to...**

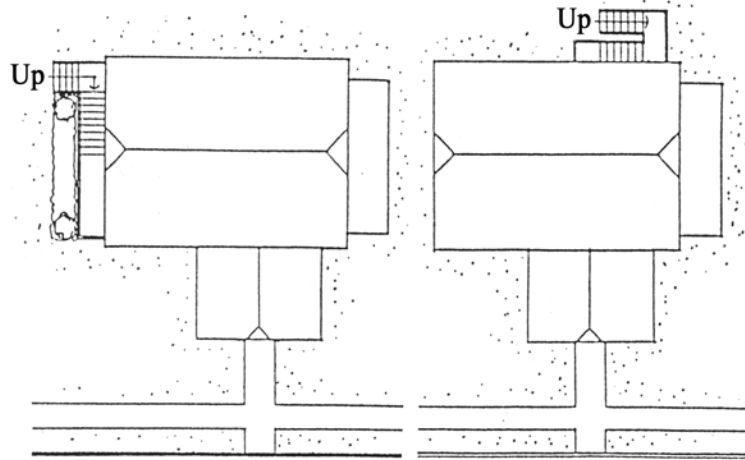
Locate solar collectors so that they will be visible from the front street.

## Fire Stairs

Fire stairs, where required to be added by code, should be designed to be as unobtrusive as possible. Fire stairs should be designed of materials similar to those used on the original building exterior and in harmony with the historic fabric of the building.

A modification, repair, replacement or addition of a fire stair will require a Certificate of Appropriateness prior to commencement of the work.. The application shall be reviewed at the regular A.R.C. public hearing for a decision on the Certificate of Appropriateness.

### Appropriate Fire Stair Locations



Along the side and screened by landscaping

Along the back

#### It is Permissible to...

Locate fire stairs on portions of the building that does not have important Architectural features.

Use materials and detail on the new stair to be compatible with the building.

#### It is Not Permissible to...

Locate a fire stair on the street façade of a building.