

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**TYPE 1 CATEGORICAL EXCLUSION
CHECKLIST**

650-050-12
ENVIRONMENTAL MANAGEMENT
06/17

Financial Management No. 449008-6-54-01

FAP No. Not Available

CE Number: (c) (3) or (d) ___

Title: TAMPA MULTI-MODAL NETWORK & SAFETY IMPROVEMENTS BUILD - PHASE 6

Work Mix: BIKE PATH/TRAIL

District: FDOT District 7

County: Hillsborough County

Project Description:

The City of Tampa is proposing the development of the Multi-Modal Network and Safety Improvement Project (West River District) as part of a Better Utilizing Investments to Leverage Development (BUILD) direct recipient grant awarded by Federal Highway Administration (FHWA). The project as proposed will complete the City of Tampa's remaining segments of a 12.2-mile pedestrian and bicycle facility through important multi-modal and transportation safety network improvements and create a continuous transportation route along the Hillsborough River. The multi-modal path will expand connections and provide a variety of safe mobility options for pedestrians and bicyclists between several neighborhoods and employment centers. The project proposes safer and expanded alternative transportation paths by including new pavement, guardrails, lighting, landscaping, living shorelines, and repair/replacement of seawalls as needed.

The City of Tampa Multi-Modal Network and Safety Improvement Project (West River District) consists of six phase segments of independent utility. The information included within this environmental checklist is for Phase 6: Ridgewood Park from North Boulevard to Columbus Drive.

The City of Tampa has presented to numerous organizations and neighborhoods as part of the community and stakeholder outreach for the West River District BUILD grant project over the last 10+ years. The planning and public involvement process began with The InVision Tampa "Tampa Center City Plan: Connecting Our Neighborhoods and Our River for Our Future".

The InVision Tampa planning team hosted a series of community knowledge exchanges and meetings, neighborhood charettes, one-on-one dialogues, I-town hall meetings, and online and social channels for greater outreach to ensure input from various audiences including traditionally marginalized communities. The most important community issues and topics that were identified included the Hillsborough River and waterfront, Center City neighborhoods, Tampa's Downtown Core, livable streets and community linkages, and transit.

Note: The items below consider the requirements described in 23 CFR § 771.117 (c) and (d) for listed Categorical Exclusions (CEs). The constraints of 23 CFR § 771.117(e) are addressed in this form for CEs identified as 23 CFR § 771.117 (c) (26), (27) and (28) or (d) list projects.

- This action **will not** induce significant impacts to planned growth or land use for the area; travel patterns; involve significant air or water quality impacts; or cause substantial controversy on environmental grounds.

Verified

1. **Right of Way (ROW)**
Within existing ROW

Comments:

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Initial ROW Certification with Exceptions, based on the City Concept Plans, has been submitted to FHWA. The final ROW Certification will be submitted for review and approval during the design.

[\[4 - 449008-6-54-01 Segment 6 SIGNED ROW Cert\]](#)

2. **Wetland impacts that would require a permit from the U.S. Army Corps of Engineers (USACE) under the Clean Water Act, Section 404, 33 U.S.C. § 1344 and/or section 10 of the Rivers and Harbors Act:**

No Wetland(s) Present/ No Impacts

Comments:

N/A

3. **Bridge permits required from the United States Coast Guard (USCG):**

No Waterway Crossing

Comments:

N/A

4. **The project involves a floodplain encroachment other than functionally dependent uses (e.g., bridges, wetlands) or actions that facilitate open space use (e.g., recreational trails, bicycle and pedestrian paths):**

Functionally Dependent Use or Facilitate Open Space Use

Comments:

N/A

- 5a. **Does the project involve a Wild and Scenic River or Study River ?**

No, the project does not involve a river designated as a Wild and Scenic, or Study River

Comments:

N/A

- 5b. **Will the action involve a river on the Nationwide Rivers Inventory (NRI)?**

No, the project will not involve a river on the NRI

Comments:

N/A

6. **Section 7 of the Endangered Species Act (ESA) of 1973, as amended, or Magnuson-Stevens Fishery Conservation and Management Act (MSFCMA):**

ESA listed species and/or Essential Fish Habitat (EFH) present

Determination of No Effect

Names of Species:

Florida grasshopper sparrow, Wood stork, Florida scrub-jay, Audubon's Crested Caracara, Rufa Red Knot, Eastern Black Rail, Piping Plover, Florida golden aster, Florida bonamia, Pigmy fringe-tree.

Used key, no consultation required

Names of Species:

Eastern indigo snake.

Comments:

One Natural Resource Evaluation Report (NRE) was completed for all phases of the project (Phases 1 - 6) and was submitted to FHWA on October 11, 2022. It is anticipated that the project (specifically within Phase 6) will have no

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effect on the following federally protected species: Florida grasshopper sparrow, Wood stork, Florida scrub-jay, Audubon's Crested Caracara, Rufa Red Knot, Eastern Black Rail, Piping Plover, Florida golden aster, Florida bonamia, and Pigmy fringe-tree.

It is also anticipated that the project may affect, not likely to adversely affect the following federally protected species following commitments outlined within the NRE: Eastern indigo snake.

Commitments outlined within the NRE include the following.

- The most recent version of the USFWS *Standard Protection Measures for the Eastern Indigo Snake*, will be implemented to assure that the Eastern indigo snake will not be adversely impacted by the project.
- Water quality impacts from construction will be avoided and minimized through the implementation of Best Management Practices (BMPs) including, but not limited to, construction phasing, sediment barriers, floating turbidity curtains, silt fences, and other techniques identified by the regulatory agencies during permitting.

7. Will the action impact any properties protected by Section 4(f) pursuant to 23 CFR § 774?

No potential Section 4(f) properties present

Comments:
N/A

8. Historic and/or Archaeological Resources protected under Section 106 of the National Historic Preservation Act

Determination of "No Adverse Effect"

Comments:

One Cultural Resource Assessment Survey (CRAS) was completed for all phases of the project (Phases 1 - 6). It was determined that the project will have no adverse effect on historic properties that are listed in or eligible for listing in the NRHP. The project will also not have an adverse effect on any resources within the APE that have insufficient information to determine NRHP eligibility. FDOT sent the CRAS to SHPO on June 7th, 2022 and SHPO concurred with these findings on June 15th, 2022.

[\[1 - West River District CRAS SHPO Concurrence\]](#)

9. Noise considerations

The project does not require a Noise Analysis

Comments:
N/A

10. Contamination Considerations

[X] The project was evaluated.

Comments:

One Contamination Screening Evaluation Report (CSER) was completed for all phases of the project (Phases 1 -

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6). Within Phase 6, three sites were rated as having a "Low" potential for contamination impact.

Prior to the start of construction, the current status of all sites identified during this evaluation will be updated by reviewing the regulatory databases. All sites that currently have active USTs and/or ASTs will be re-evaluated prior to any land acquisition.

[\[2 - West River District Technical Memorandum CSER May 2022_Final\]](#)

11. Planning Consistency

This Project was reviewed for fiscal constraint and determined to have committed, available or reasonably available funds for the implementation of all the phase(s) of the Project within the time period anticipated for completion of the Project. [23 CFR Part 450]

FHWA fully obligated BUILD funds for this project in July 2022. In accordance with the Grant Agreement, the remaining funds (local match) have been committed from the City. Therefore the project has been fully funded for construction. The project is also included in the TIP and is attached to the Type 1 CEs. The project is not currently within the LRTP.

[\[3 - TIP\]](#)

12. Project Commitment Record

[\[5 - PCR Phase 6\]](#)

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The following is a list of any supporting activities (e.g., field reviews, as appropriate, etc.), reports, or technical studies that were prepared and are included in the project file that were necessary to support the conclusions reached on the checklist:

- 1 - West River District CRAS SHPO Concurrence [44900865401-CE1-D7-West_River_District_CRAS_SHPO_Concurrence-2022-0909.pdf](#)
- 2 - West River District Technical Memorandum CSER May 2022_Final [44900865401-CE1-D7-West_River_District_Technical_Memorandum_CSER_May_2022_Final-2022-0602.pdf](#)
- 3 - TIP [44900865401-CE1-D7-TIP-2022-1116.pdf](#)
- 4 - 449008-6-54-01 Segment 6_SIGNED ROW Cert [44900865401-CE1-D7-449008-6-54-01_Segment_6_SIGNED_ROW_Cert-2022-1116.pdf](#)
- 5 - PCR Phase 6 [44900865401-CE1-D7-PCR_Phase_6-2022-1202.pdf](#)

Based on the information presented in this document and the associated documents provided by the grantee or their designee, and based on FHWA's past experience with similar actions, FHWA has determined that actions described herein do not have a significant effect on the human or natural environment.

Signed: _____
For: Jamie Christian, PE
Division Administrator
FHWA Florida Division

Cultural Resources Assessment Survey (CRAS) SHPO Concurrence Letter



Florida Department of Transportation

RON DESANTIS
GOVERNOR

11201 North McKinley Drive
Tampa, FL 33612

JARED W. PERDUE, P.E.
SECRETARY

June 7, 2022

Timothy A. Parsons, Ph.D., Director
State Historic Preservation Officer
Florida Division of Historical Resources
500 South Bronough Street
Tallahassee, FL 32399-0250

Attention: Alyssa McManus, Transportation Compliance Review Program

Re: Cultural Resource Assessment Survey (CRAS) for Tampa Multi-modal Network and Safety Improvements (West River District)
Financial Management No. (FMN): 449008-1 through 449008-6
Federal Aid Project No.: Not Listed

Dear Dr. Parsons:

The City of Tampa, in coordination with Florida Department of Transportation (FDOT), District Seven, is planning the Tampa Multi-modal Network and Safety Improvements, West River District, project in Hillsborough County, Florida. The project is federally funded via a Direct Recipient BUILD Grant. The proposed project will complete the remaining segments of a 12.2-mile pedestrian and bicycle transportation route. The multi-modal path will include new pavement, guard rails, lighting, landscaping, and seawall repair or new seawall installation. All improvements are to be contained within existing right-of-way (ROW) and easements. Time extensions to two expiring existing easements are being finalized with the University of Tampa and the Tampa Hillsborough Expressway Authority.

Enclosed is one copy of the CRAS (June 2022) that was prepared for the above referenced project, two (2) Florida Master Site File (FMSF) forms (8HI11519 and 8HI15273), a Survey Log Sheet, and a CD containing an electronic version of these files.

On behalf of the City of Tampa, HNTB prepared a CRAS for the project. The purpose of the CRAS was to identify the presence of resources listed in or considered eligible for listing in the National Register of Historic Places (NRHP) according to the criteria set forth in 36 CFR 60.4 and if applicable, to apply the Criteria of Adverse Effect, as set forth in 36 CFR 800.5(a)(1) to the project. Principal Investigators meet the *Secretary of the Interior's Professional Qualification Standards* (48 FR 44716).

For the proposed West River Multi-Modal Network and Safety Improvements project the Area of Potential Effects (APE) for the archaeological survey included approximately 1.35 miles of

undeveloped corridor. The width of the survey area varied but in general, a single centrally located transect was required to provide systematic coverage of the APE. Due to the nature of the proposed project and its minimal potential direct and indirect effects to historic resources, the APE for historic resources survey was confined to the existing ROW for the approximately 1.35 miles of proposed multi-modal path.

The archaeological survey identified one new Archaeological Occurrence (AO-1). Archaeological Occurrence-1 (AO1) may contain intact buried deposits since artifacts were recovered below the disturbed Stratum I soils. As an Archaeological Occurrence, this resource was not recorded as a site and is therefore not evaluated for NRHP-eligibility. The location of a portion of previously identified site 8HI86 was revisited, but the portion within the APE is currently built environment, and no evidence of the site was identified.

Background research and the architectural field survey resulted in the identification and evaluation of three NRHP listed resources, one of which is also a locally designated resource; two previously determined eligible historic bridges; and one previously recorded linear resource. The listed resources are the Michigan Avenue Bridge (8HI00672), the Lafayette Street Bridge (8HI00640), and the overlapping NRHP and locally designated Hyde Park Historic Districts (8HI01050). The two previously determined eligible historic bridges are the Platt Street Bridge (8HI0862) and the Brorein Street Bridge (8HI11540). The previously recorded linear resource is the former Atlantic Coast Line Railroad (8HI11519). In addition, one new historic linear resource was identified, Abandoned Rail Segment (8HI5273). The portion of 8HI11519 within the APE has insufficient information to determine NRHP eligibility. The portion of 8HI15273 is considered ineligible for listing in the NRHP.

As a result of background research and the field survey, the project will have no adverse effect on historic properties that are listed in or eligible for listing in the NRHP. The property will also not have an adverse effect on the portion of 8HI11519 within the APE that has insufficient information to determine NRHP eligibility.

I am requesting your concurrence with our evaluation that the **Tampa Multi-modal Network and Safety Improvements (West River District)** project will result in a finding of *no adverse effect*.

This information is being provided in accordance with the provisions of the National Historic Preservation Act of 1966 (as amended), which are implemented by the procedures contained in 36 CFR, Part 800, as well as in accordance with the provisions contained in the revised Chapter 267, *Florida Statutes*.

The environmental review, consultation, and other actions required by applicable Federal environmental laws for this project are being, or have been, carried out by the FDOT pursuant to 23 U.S.C. § 327 and a Memorandum of Understanding dated December 14, 2016, and executed by the Federal Highway Administration (FHWA) and FDOT.

Timothy A. Parsons, Ph.D., Director
Tampa Multimodal Network and Safety Improvements
Hillsborough County, Florida
FMN.: 449008-1 through 449008-6
June 7, 2022
Page 3 of 4

If you have any questions, or if I may be of assistance, please contact me at (813) 975-6637
or crystal.geiger@dot.state.fl.us.

Sincerely,



Crystal Geiger
Environmental Specialist III
Cultural Resource Coordinator

Enclosures

cc: Robin Rhinesmith, FDOT
Sarah K. Guagnini, Atkins
Nina Mabileau, City of Tampa

Deena Woodward, FDOT OEM
Phillip Quirk, HNTB

The State Historic Preservation Officer finds the attached Cultural Resource Assessment Survey (CRAS) complete and sufficient and concurs / does not concur with the recommendations and findings in this letter for SHPO / FDHR Project File Number 2022-3633. Or, the SHPO finds the attached document contains insufficient information.

In accordance with the Programmatic Agreement among the FHWA, ACHP, FDHR, SHPO, and FDOT Regarding Implementation of the Federal-Aid Highway Program in Florida, if providing concurrence with a finding of No Historic Properties Affected for a project as a whole, or to No Adverse Effect on a specific historic property, SHPO shall proceed with a *de minimis* Section 4(f) finding at its discretion for the use of land from the historic property.

SHPO Comments:

Kelly L. Chase
DSHPO

Digitally signed by Kelly L. Chase, DSHPO
DN: cn=Kelly L. Chase, DSHPO, o, ou,
email=kelly.chase@dos.myflorida.com, c=US
Date: 2022.06.15 09:18:01 -0400

6.15.2022

Timothy A. Parsons, Ph.D., Director
Florida Division of Historical Resources

Date

*Contamination Screening Evaluation Report (CSER) Technical Memorandum
(Provided under separate cover)*

*Hillsborough County Transportation Planning Organization (TPO) Transportation
Improvement Program (TIP) Funding Documentation*

**City of Tampa
5 Year TIP
Hillsborough County, District 7**

City of Tampa

Item Number: **T1001593** Description: West Davis Bridge
 Project Length: Extra Description: This project provides for the replacement of an existing bridge at West Davis Boulevard.
 Type of Work: Bridge replacement
 NON-SIS

Fund	<2023	2023	2024	2025	2026	2027	>2027	All Years
- Managed by City of Tampa								
	\$0	\$0	\$440,000	\$440,000	\$440,000	\$0	\$0	\$1,320,000
Totals:	\$0	\$0	\$440,000	\$440,000	\$440,000	\$0	\$0	\$1,320,000
Item T1001593 Totals:	\$0	\$0	\$440,000	\$440,000	\$440,000	\$0	\$0	\$1,320,000

Item Number: **T1002096** Description: BUILD
 Project Length: Extra Description: This project provides for construction of multi-use paths along the west side of Hillsborough River (btw Platt St and Rome Ave) and through Ridgewood Park, and complete street and safety improvements on Platt St, Rome Ave, and Columbus Dr.).
 Type of Work: Trails and multi use path
 NON-SIS

Fund	<2023	2023	2024	2025	2026	2027	>2027	All Years
- Managed by City of Tampa								
	\$24,885,000	\$1,900,000	\$1,900,000	\$1,315,000	\$0	\$0	\$0	\$30,000,000
Totals:	\$24,885,000	\$1,900,000	\$1,900,000	\$1,315,000	\$0	\$0	\$0	\$30,000,000
Item T1002096 Totals:	\$24,885,000	\$1,900,000	\$1,900,000	\$1,315,000	\$0	\$0	\$0	\$30,000,000

City of Tampa Right of Way (ROW) Certificate

CITY OF TAMPA
INITIAL DESIGN BUILD CERTIFICATION WITH EXCEPTION(S)

R/W ITEM/SEGMENT NO.: _____ MANAGING DISTRICT: _____
CONSTRUCTION ITEM/SEGMENT NO.: 449008-6-54-01
F.A.P. NO. (Construction): _____ STATE ROAD: N/A (Not Applicable)
COUNTY: Hillsborough DESCRIPTION: TAMPA MULTI-MODAL NETWORK
LETTING DATE: _____ AND SAFETY IMPROVEMENTS BUILD - SEGMENT 6

The undersigned hereby certifies as follows:

This is an initial Design Build certification with exception(s). Additional right of way may be required for this project. All right of way to be acquired for this project shall be acquired in compliance with applicable state and federal law. Title to all property and easements needed for the above construction project is vested in the state or local government. The City has obtained sufficient authority to construct and maintain the proposed improvements on property and easements owned by state or local governments.
Further:

Acquisition

- Right of way was not acquired for this project.
 Right of way was acquired for this project in compliance with applicable state and federal law.

Relocation

- No persons or businesses were required to move or move personal property from the project right of way.
 All persons and businesses that were required to move or move personal property from the project right of way have been provided relocation assistance in compliance with applicable state and federal law.

Demolition

- No structures or improvements, including encroachments, required removal from the project right of way.
 All structures and/or improvements, including encroachments, have been removed from the project right of way in compliance with applicable state and federal law, or will be included in the construction contract.

Asbestos Abatement

- No structures or improvements requiring asbestos abatement were located on the project right of way.
 Asbestos abatement of buildings and/or structures, including those to be removed by the construction contractor, has been completed in compliance with applicable state and federal law, or will be included in the construction contract.

Submitted by Local Agency:

Jane Ross James Michelle Kim L 8/11/2022
Title: City Right-of-Way & Mapping Coord. / City Real Estate Director Date:
Danni Jorgenson
City Transportation Engineering Manager Date: 8/11/22

INITIAL DESIGN BUILD CERTIFICATION WITH EXCEPTION(S)

Exception(s) to the above statements and time frame(s) for the exception(s) to be cleared or removed are described as follows:

- 1.) The City is contractually obligated to convey parcel 183342-0000 to a specific developer. City is negotiating retainage of needed land for existing North Boulevard road, bridge and proposed BUILD trail connection eastward from the Cruis-a-Cade ROW to under the North Boulevard Bridge. To be cleared prior to construction in this area.

- 2.) The throats of intersecting public ROW side streets are included in this rights-of-way certification

Certified by FHWA: _____

Title: FHWA Division ROW Manager

Date: _____

FHWA's Comments:

TITLE SEARCH REPORT

American Government Services Corporation
3812 W. Linebaugh Avenue
Tampa, Florida 33618
(813) 933-3322

AGSC Search Number: 31488
Tax / Folio Number: 183342-0000 &
183351-0000
PO Number: _____
Project: C. L. Friebele's Subd.

Contractor's Tax I.D. No.: 59-2346160

THE UNDERSIGNED does hereby certify that a search has been made of the Public Records of Hillsborough County, State of Florida for THE CITY OF TAMPA, A MUNICIPAL CORPORATION, as to the following:

Legal Description: See Exhibit "A", attached hereto.

Owner(s): City of Tampa, a municipal corporation of the State of Florida

Mailing Address on vesting instrument:
N/A

By: Judgment
Ordered: April 3, 1950
In Deed Book:
(contains additional property)

Against: Charles A. Pinkert, Jr., et al.
Filed and Recorded: January 16, 1951
Book No.: 1610 Page: 491

Probated Estates: NONE

Guardianships: NONE

Contiguous Lands: NONE

Five Year History: NONE

Corporate Status: NONE

TIITF Reservations and Releases: NONE

Encumbrances:

1. Quit-Claim Deed Easement from the City of Tampa, a municipal corporation, to Level (3) Communications, LLC, a Delaware limited liability company, dated December 14, 1999 and recorded January 7, 2000 in Official Records Book 10002, Page 937. (as to Folio No. 183351-0000.)
2. Matters as set forth on the Plat of C. L. Friebele's Subdivision recorded in Deed Book Q, Page 314.

Chain of Title:

1. Deed from the Estate Joseph Yumer, deceased, to Charles Pinkert, dated December 7, 1888 and recorded December 7, 1888 in Deed Book CC, Page 158. (contains additional property)
2. Judgment in favor of the City of Tampa, a municipal corporation, against Charles A. Pinkert, Jr., et al., as ordered April 3, 1950 and recorded January 16, 1951 in Deed Book 1610, Page 491. (vesting instrument; contains additional property)

Note: All of the above instruments were recorded in the Public Records of Hillsborough County, Florida, unless otherwise noted.

Taxes:

Tax Folio No: 183342-0000
Assessed Value: \$213,969.00
Taxes are exempt for the year of 2021.
Homestead: None
Delinquent: None

Tax Folio No: 183351-0000
Assessed Value: \$2,004.00
Taxes are exempt for the year of 2021.
Homestead: None
Delinquent: None

Note: It appears that the maps shown on the property appraiser's site for both parcels contain a scrivener error. All properties lie within Section 14-29-18.

Name and Mailing Address as listed on Tax Rolls:
City of Tampa
Attn: Real Estate Division
306 E. Jackson Street
Tampa, FL 33602

Name Search:

A twenty-year search has been performed for outstanding judgments (certified) and liens on every record owner for the last 20 years, including judgments and liens against said owners which predate them taking title.

Certification:

AS TO THE ORIGINAL TITLE REPORT:


The undersigned hereby certifies that the foregoing Title Search Report reflects a comprehensive search of the Public Records of Hillsborough Florida, showing the apparent ownership of the lands described above, together with outstanding encumbrances affecting the lands.

American Government Services Corporation assumes no responsibility for any defects or omissions in or from the instruments appearing in the chain of title to the property described herein, which defects or omissions would render such instruments void.

This report is furnished at your request for information only and is not to be construed as a title opinion or a guarantee of title. It is not a title insurance policy.

The liability of American Government Services Corporation is limited to \$1000.00 per report and shall not in any event exceed the maximum liability as set forth under F.S. 627.7843 (3).

This report is effective through January 26, 2022 at 8:00 a.m.:



Wendi McAleese

American Government Services Corporation

AGSC Search Number: 31488
Tax / Folio Number: 183342-0000 & 183351-0000

EXHIBIT "A"

Note: The following legal descriptions were provided by the Hillsborough County Property Appraiser's Office, pursuant to the tax identification numbers provided to American Government Services Corporation. American Government Services Corporation reserves the right to amend or modify the legal descriptions upon being provided with accurate legal descriptions and/or surveys.

AS TO 183342-0000: LOT BEG AT SE COR OF GOV LOT 1 AND RUN N TO S R/W LINE OF ROSS AVE W ALONG R/W 155 FT S 280 FT S 8.5 DEG W 400 FT TO HILLSBORO RIVER AND SELY ALONG RIVER TO BEG LESS R/W FOR N BLVD, LYING AND BEING IN PLAT OF C L FRIEBELES SUBDIVISION RECORDED IN DEED BOOK Q, PAGE 314, HILLSBOROUGH COUNTY, FL.

AS TO 183351-0000: THAT PT OF GOV LOT 1 DESC AS FROM SW COR OF LOT 5 BLK D RIDGEWOOD PARK SUB PLAT 10 PAGE 6 RUN S 60 FT TO S R/W LINE OF ROSS AVE & W ALONG R/W 300 FT FOR POB THEN RUN S 680 FT TO HILLSBORO RIVER NWLY ALONG CREEK C/L OF CREEK NLY ALONG C/L TO S R/W OF ROSS AVE AND E 65 FT MOL TO BEG, LYING AND BEING IN PLAT OF C L FRIEBELES SUBDIVISION RECORDED IN DEED BOOK Q, PAGE 314, HILLSBOROUGH COUNTY, FL.

102

DIS 1610-491

CHARLES A. PINKERT, Jr., et al,
Defendants,

NO. 28902-1

Filed & Docketed

APR 3 1960

CHAS H. PE NT, Clerk
D. C.

JUDGMENT

It appears to the Court that the Court has jurisdiction of the parties hereto and also has jurisdiction of the subject matter of this suit, which is a condemnation suit instituted by the City of Tampa, a municipal corporation of the State of Florida, against the defendants Charles A. Pinkert, Jr., Dorothy Fontana Pinkert, Johanna P. Dickerson, Elsie Schaker, Fred Schaker, Thomas W. Bilsha, Mrs. Thomas W. Bilsha, Patricia Ann Bilsha, Edward Kane, and the County of Hillsborough, and all persons having or claiming any right, title, or interest in and to the lands hereinafter described, who are before the Court. The above cause came on for trial before a jury duly empaneled and sworn at Tampa, Florida, at 5:00 p.m. on Friday, the 31st day of March, A. D. 1960, and after the taking of testimony, argument of counsel, and the instructions and charges of the Court, the jury returned the following verdict as to the parcel of real estate herein sought to be taken:

WE, THE JURY, being first duly empaneled and sworn, do hereby find that the parcel of land described in the petition in this suit is required by the petitioner for the purpose set out in said petition.

We, the jury, do hereby find that an accurate description of the parcel of land sought to be appropriated herein is as follows:

Beginning at a point which is the northeast corner of Lot 8 of C. L. Frieble's Subdivision, according to map or plat thereof as the same is recorded in Deed Book "4", at page 314, of the public records of Hillsborough County, Florida, run thence south along the easterly boundary of said lot 8 and a

... of the creek of a small creek...
... that as running through said lot
... northerly up the middle of said creek
... boundary of said lot 8; run thence
... along said northerly boundary of lot 8 to point
... together with riparian rights.

The compensation to be paid therefor is \$15,025.00, together
with reasonable attorneys' fee of \$1,362.50 to be paid to
the attorneys for the defendants herein. We further find
that the amount of the award shall remain in the Registry of
Court to be later disposed of by the Court to the defendants
Charles A. Pinkert, Jr., Dorothy Fontana Pinkert, Johanna P.
Dioberson, Elsie Schaker, Fred Schaker, Thomas W. Bilsha, Mrs.
Thomas W. Bilsha, Partreia Ann Bilsha, Edward Kane, and the
County of Hillsborough, as their interests may appear in the
proportion and manner as the Court may hereafter direct.

SO SAY WE ALL.

This 1st day of April, A. D. 1960.

W. S. Monroe
FOREMAN

IT IS, THEREFORE, ORDERED, ADJUDGED AND DECREED, That the City of
Tampa, a municipal corporation of the State of Florida, is adjudged to
be entitled to appropriate for the uses and purposes set out in the
petition and in the verdict in this cause, the hereinabove specifically
described property, said petitioner having heretofore paid into the
Registry of Court, or securing by deposit of money within ten days from
the date of this judgment the following sums of money, to-wit: \$15,025.00
together with a reasonable attorneys' fee of \$1,362.50 to be paid to A.
G. Brooks and the firm of Madry, Reeves, Carlton, Anderson, Fields & Ward,
attorneys for said defendants. That the amount of the award shall remain
in the Registry of Court to be later disposed of by the Court to the said
defendants in the proportion and manner as the Court may hereafter direct.

IT IS FURTHER CONSIDERED, ORDERED AND ADJUDGED That upon payment of
the aforesaid sums by the City of Tampa, that the fee simple absolute
title in and to said parcel of real estate be and it is hereby vested in
the City of Tampa, free and clear of all encumbrances whatsoever.

DONE AND ORDERED at Tampa, Hillsborough County, Florida, this the

Ed
day of April, 1960.
STATE OF FLORIDA, COUNTY OF HILLSBOROUGH
FILED FOR RECORD
JAN 16 1961 AT 4:57
PAGE 47 AND RECORD NUMBER 7610
CHAS. H. PENT BY *[Signature]*
CLERK OF COURT DEPUTY CLERK

[Signature]
CIRCUIT JUDGE

- 3. The Grantee, during the construction period and any time in the future, when there is use of the easement by employees or agents the Grantee, shall provide, pay for and maintain commercial general liability insurance including premises/operations, contractual and independent contractors coverage. The limit of such insurance shall be no less than \$1,000,000.00 each occurrence and aggregate covering bodily injury, death and property damage. Such insurance shall be from responsible companies eligible to write business in the State of Florida and acceptable to the City. The policy shall provide that the City is named as an additional insured as to the operations of the Grantee under this Agreement and also shall provide the severability of interest provision. The insurance coverage and limits required must be evidenced by properly executed certificates of insurance on forms which are to be furnished by the City. The insurance coverages required herein are to be primary to any insurance carried by the City or any self insurance program thereof, said insurance policies shall provide thirty (30) days prior written notice in the event of any proposed termination or change in insurance.
- 4. The Grantee shall be responsible for providing all cleanup of the Quit Claim Easement area. This cleanup shall consist of returning the Quit Claim Easement area to the condition in which it was found before use by the Grantee. The Grantee in making use of the Quit Claim Easement shall bear financial responsibility for damage to the easement area occurring during its use thereof, including, but not limited to, repair or replacement of public or private utilities.

If at any time the above described Quit Claim Easement ceases to be used for the purposes enumerated herein, then, in that event, the rights under this nonexclusive Quit Claim Easement shall immediately revert to the Grantor, its successors or assigns.

IN WITNESS WHEREOF, the Grantor does hereunto set its hand and seal the day and year first above written

WITNESSES

Dolores Fernandez
 DOLORES FERNANDEZ
 Print Name

Lenora Roberson
 LENORA ROBERSION
 Print Name

GRANTOR CITY OF TAMPA

By Dick A. Greco
 Dick A. Greco, Mayor

ATTEST

Janett S. Martin
 Janett S. Martin, City Clerk

APPROVED AS TO FORM

Jennifer Phelan Hernandez
 Jennifer Phelan Hernandez
 Assistant City Attorney

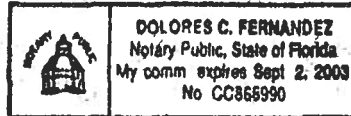
ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF HILLSBOROUGH

I HEREBY CERTIFY, that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, DICK A GRECO, Mayor of the CITY OF TAMPA, a municipal corporation, to me well known to the person described in and who executed the foregoing conveyance, and duly acknowledged before me that he executed the same for the purposes therein expressed as the act and deed of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid, this 14th day of DECEMBER, 19 99

Dolores Fernandez
Notary Public, State of Florida at Large



Notary Print or Type Name

My Commission Expires

SECTION . . . 14 . . . TOWNSHIP . . . 29 . . . SOUTH, RANGE . . . 18 . . . EAST, . . . HILLSBOROUGH . . . COUNTY, FLORIDA

LEGAL DESCRIPTION and SKETCH
THIS IS NOT A BOUNDARY SURVEY.

OR BK 10002 PG 0940

LEGAL DESCRIPTION - EASEMENT

A PARCEL OF LAND LYING WEST OF NORTH BOULEVARD, SOUTH OF ROSS AVENUE, NORTH OF THE HILLSBOROUGH RIVER AND EAST OF THE RIGHT OF WAY DESCRIBED IN ORDINANCE NO. 2882-A, LYING WITHIN SECTION 14, TOWNSHIP 29 SOUTH, RANGE 18 EAST, HILLSBOROUGH COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:


COMMENCING AT THE SOUTHWEST CORNER OF LOT 5, BLOCK D, RIDGEWOOD PARK SUBDIVISION, AS RECORDED IN THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, IN PLAT BOOK 10, PAGE 6; THENCE SOUTH AT RIGHT ANGLES TO THE EXISTING NORTH RIGHT OF WAY LINE OF ROSS AVENUE A DISTANCE OF 160.00 FEET; THENCE EASTERLY 50.00 FEET PARALLEL TO SAID NORTH RIGHT OF WAY LINE OF ROSS AVENUE (WHICH IS ASSUMED FOR THE PURPOSES OF THIS DESCRIPTION TO BE DUE EAST); THENCE SOUTHERLY AND EAST ALONG THE EAST BOUNDARY OF THE PARCEL DESCRIBED IN ORDINANCE NO. 2882-A THE FOLLOWING THREE CALLS: SOUTH 283.72 FEET, S08°29'32"W 107.57 FEET, AND EAST 40.60 FEET TO THE POINT OF BEGINNING; THENCE S07°01'45"W 74.74 FEET; THENCE S12°20'44"W 272.32 FEET TO THE NORTH EDGE OF THE HILLSBOROUGH RIVER; THENCE S81°26'32"E 10.03 FEET ALONG THE NORTH EDGE OF THE RIVER; THENCE N12°20'44"E 272.07 FEET; THENCE N07°01'45"E 193.83 FEET; THENCE S82°58'15"E 10.11 FEET TO THE WEST RIGHT OF WAY LINE OF NORTH BOULEVARD; THENCE ALONG THE WEST RIGHT OF WAY OF NORTH BOULEVARD THE FOLLOWING TWO CALLS: N03°28'03"W 23.35 FEET, N07°38'35"W 25.56 FEET; THENCE S82°02'05"W 8.73 FEET; THENCE S07°01'45"W 183.79 FEET TO THE POINT OF BEGINNING.

CONTAINING 5378.74 SQ. FT. OR 0.1235 ACRES MORE OR LESS.

PREPARED FOR: BE&K

SHEET 1 OF 2

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYS DESCRIBED IN THE STATE OF FLORIDA RULE 61G17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER


GEORGE A. SHIMP II, FLORIDA REGISTERED LAND SURVEYOR No. 2512
DWAYNE A. RUTH, PROFESSIONAL SURVEYOR & MAPPER No. 5835
THIS SURVEY IS NOT COMPLETE OR VALID UNLESS ATTACHED TO SURVEYOR'S REPORT.

JOB NUMBER: 890417 DATE SURVEYED: 7-14-1999
DRAWING FILE: 890417.DWG DATE DRAWN: 7-21-1999
LAST REVISION: N/A X REFERENCE: N/A



**GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED**
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 984-5498 FAX (727) 786-1856

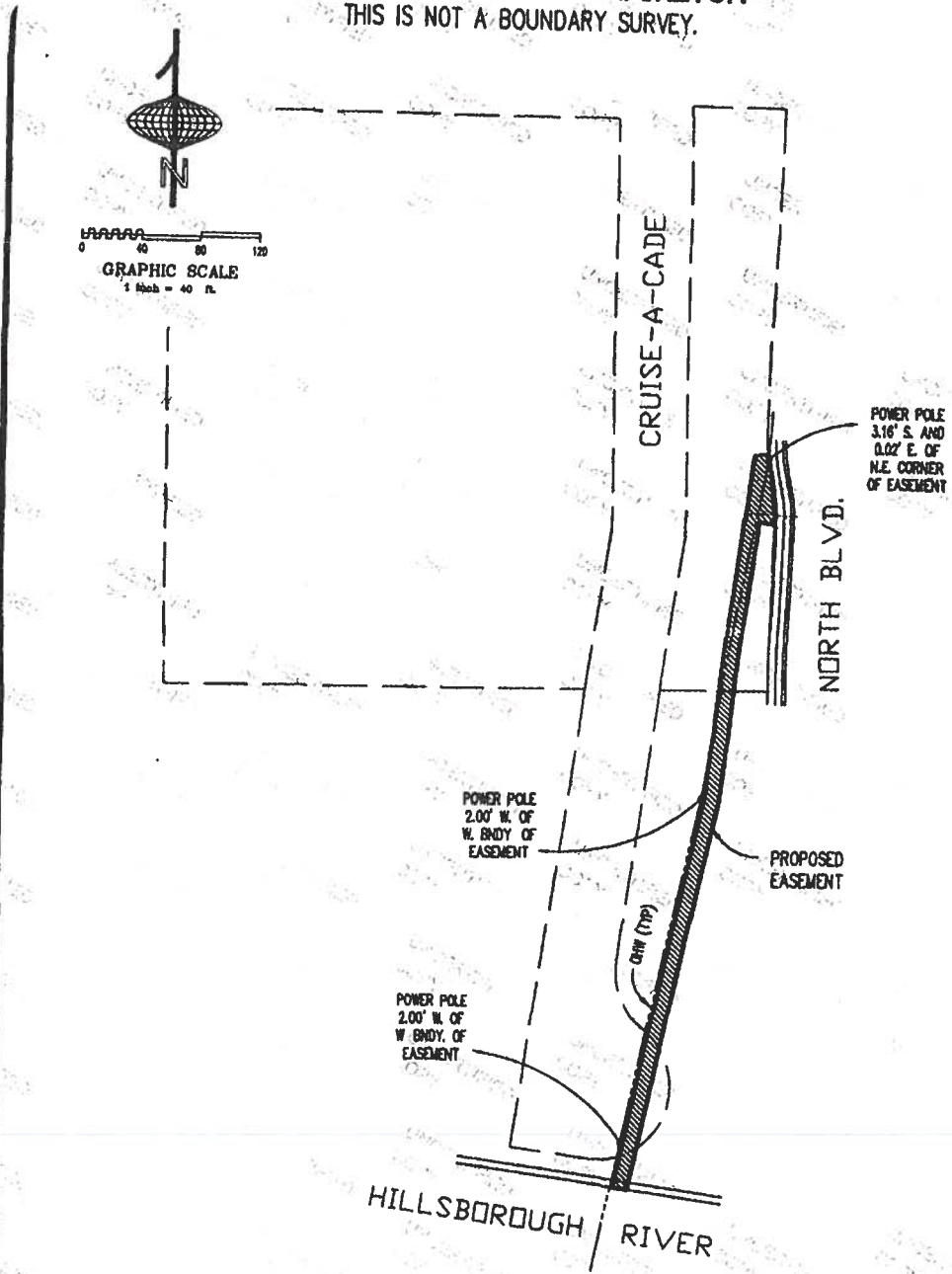
LB 1834

SECTION . . . 14 . . . , TOWNSHIP . . . 29 . . . SOUTH, RANGE . . . 18 . . . EAST, . . . HILLSBOROUGH . . . COUNTY, FLORIDA

LEGAL DESCRIPTION and SKETCH

THIS IS NOT A BOUNDARY SURVEY.

OR BK 10002 PG 0941



SHEET 2 OF 2

CERTIFICATION I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 61017, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

George A. Shimp II
 GEORGE A. SHIMP II, FLORIDA REGISTERED LAND SURVEYOR No. 2512
 DWAYNE A. RUTH, PROFESSIONAL SURVEYOR & MAPPER No. 5635
 THIS SURVEY IS NOT COMPLETE OR VALID UNLESS ATTACHED TO SURVEYOR'S REPORT.

JOB NUMBER: 990417 DATE SURVEYED: 7-14-1998
 DRAWING FILE: 990417.DWG DATE DRAWN: 7-21-1999
 LAST REVISION: N/A X REFERENCE: N/A

GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED
 LAND SURVEYORS LAND PLANNERS
 3301 DeSOTO BOULEVARD, SUITE D
 PALM HARBOR, FLORIDA 34883
 PHONE (727) 784-5496 FAX (727) 786-126



LB 1834

SECTION . . . 14 . . . , TOWNSHIP . . . 29 . . . SOUTH, RANGE . . . 18 . . . EAST, . . . HILLSBOROUGH . . . COUNTY, FLORIDA

LEGAL DESCRIPTION and SKETCH

THIS IS NOT A BOUNDARY SURVEY.

LEGAL DESCRIPTION - EASEMENT

THAT PORTION OF THE HILLSBOROUGH RIVER LYING WEST OF NORTH BOULEVARD, SOUTH OF THE NORTH TOP OF BANK OF THE HILLSBOROUGH RIVER, AND NORTH OF THE SOUTH TOP OF BANK OF THE HILLSBOROUGH RIVER, AND LYING ENTIRELY BELOW THE MEAN HIGH WATER LEVEL OF THE HILLSBOROUGH RIVER, IN SECTION 14, TOWNSHIP 29 SOUTH, RANGE 18 EAST, HILLSBOROUGH COUNTY, FLORIDA, CONTAINED WITHIN THE FOLLOWING LEGAL DESCRIPTION:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 5, BLOCK D, RIDGEWOOD PARK SUBDIVISION, AS RECORDED IN THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, IN PLAT BOOK 10, PAGE 6; THENCE SOUTH AT RIGHT ANGLES TO THE EXISTING NORTH RIGHT OF WAY LINE OF ROSS AVENUE A DISTANCE OF 160.00 FEET; THENCE EASTERLY 50.00 FEET PARALLEL TO SAID NORTH RIGHT OF WAY LINE OF ROSS AVENUE (WHICH IS ASSUMED FOR THE PURPOSES OF THIS DESCRIPTION TO BE DUE EAST); THENCE SOUTHERLY AND EAST ALONG THE EAST BOUNDARY OF THE PARCEL DESCRIBED IN ORDINANCE NO. 2882-A THE FOLLOWING THREE CALLS; SOUTH 283.72 FEET; S06°29'32"W 107.57 FEET; AND EAST 40.60 FEET; THENCE S07°01'45"W 74.74 FEET; THENCE S12°20'44"W 272.32 FEET TO THE NORTH EDGE OF THE HILLSBOROUGH RIVER AND THE POINT OF BEGINNING; THENCE S12°34'59"W 391.84 FEET TO THE SOUTH TOP OF BANK OF THE HILLSBOROUGH RIVER; THENCE ALONG THE SOUTH TOP OF BANK OF THE HILLSBOROUGH RIVER S75°59'03"E 20.01 FEET; THENCE N12°34'59"E 393.85 FEET TO THE NORTH TOP OF BANK OF THE HILLSBOROUGH RIVER; THENCE ALONG THE NORTH TOP OF BANK OF THE HILLSBOROUGH RIVER N81°26'32"W 20.06 FEET TO THE POINT OF BEGINNING.

CONTAINING 7860.58 SQ. FT. OR 0.18 ACRES MORE OR LESS.


OR BK 10002 PG 0942

RIVER BOTTOM

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE APPLICABLE TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 61G17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

George A. Shimp II
 GEORGE A. SHIMP II, FLORIDA REGISTERED LAND SURVEYOR No. 2512
 DWAYNE A. RUTH, PROFESSIONAL SURVEYOR & MAPPER No. 5635
 THIS SURVEY IS NOT COMPLETE OR VALID UNLESS ATTACHED TO SURVEYOR'S REPORT.

JOB NUMBER: 990417	DATE SURVEYED: 8-31-1999
DRAWING FILE: 990417.DWG	DATE DRAWN: 8-31-1999
LAST REVISION: 9-20-1999	X REFERENCE: N/A



**GEORGE A. SHIMP II
 AND ASSOCIATES, INCORPORATED**

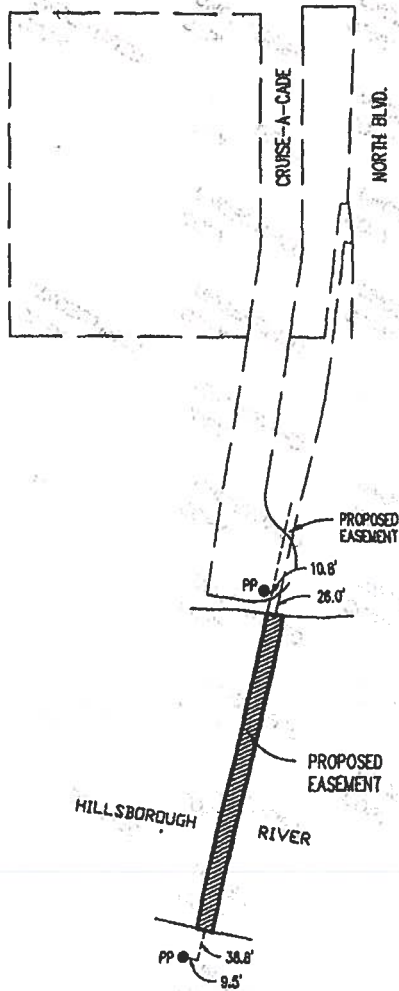
LAND SURVEYORS LAND PLANNERS
 3301 DeSOTO BOULEVARD, SUITE D
 PALM HARBOR, FLORIDA 34683
 PHONE (727) 784-5496 FAX (727) 786-1256

LB 1834

JN . . . 14 . . . TOWNSHIP . . . 29 . . . SOUTH, RANGE . . . 18 . . . EAST, . . . HILLSBOROUGH . . . COUNTY, FLORIDA

LEGAL DESCRIPTION and SKETCH

THIS IS NOT A BOUNDARY SURVEY.



OR BK 10002 PG 0943

SHEET 2 OF 2

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREIN SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 61G17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

[Signature]
GEORGE A. SHIMP II, FLORIDA REGISTERED LAND SURVEYOR No. 2512
DWAYNE A. RUTA, PROFESSIONAL SURVEYOR & MAPPER No 5635
THIS SURVEY IS NOT COMPLETE OR VALID UNLESS ATTACHED TO SURVEYOR'S REPORT

JOB NUMBER: 980417 DATE SURVEYED: 8-31-1999
DRAWING FILE: 990417.DWG DATE DRAWN: 8-31-1999
LAST REVISION: 9-20-1999 X REFERENCE: N/A



**GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED**

LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 706-1256

LB 1834

314

✓ G. L. Friebe's Subdivision

Lot No. 1, Sec. 14, Town 29S, Range 18 E.
Containing 64 Acres

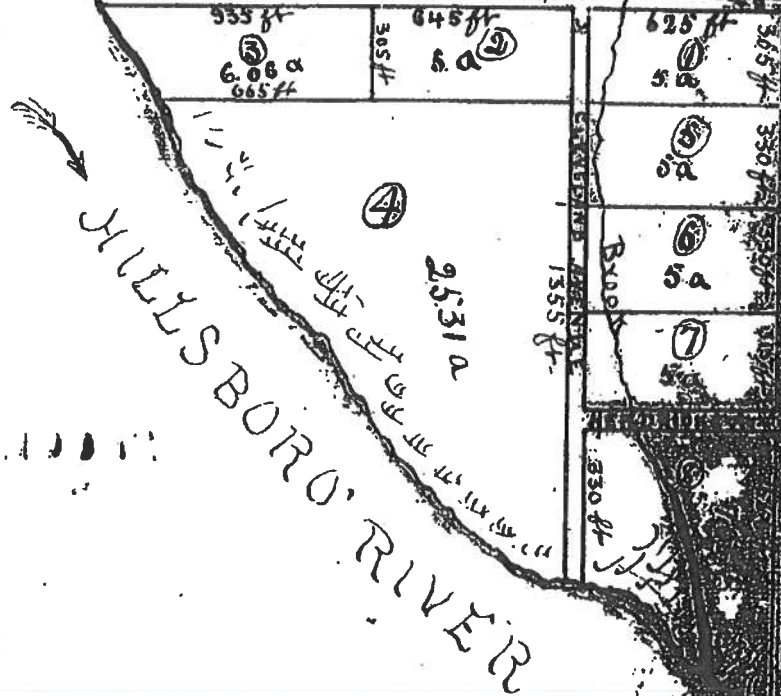
The areas of Lots include the adjoining Avenues. Lots 3, 4 & 8 extend to the River, but the Marsh is not included in their areas.

Dec. 18th 1884 Scale 1. inch = 200 Ft

(Scale reduced w/1 per purpose of Recording)

L. E. WARREN
Surveyor

PERRY MICHIGAN AVENUE / 295 FT



Filed for record 16th July A.D. 1883
Recorded April 10th A.D. 1883
Warren A. Livens Clerk let of
By A. B. Livens etc

DB CC -

as set according to the Government Survey together with all the lineaments, hereditaments and appurtenances to the same belonging, and all the estate title, taxes, Claims, or demands whatsoever of the said Hans P. Jensen and Harriet A. Jensen of, in or to the same or any part thereof: To Have and to Hold the above described premises, with the appurtenances unto the said Victor H. Coffman and to his heirs and assigns forever and unto the said Hans P. Jensen and Harriet A. Jensen for themselves and our heirs, executors, and Administrators do Covenant with the said Victor H. Coffman and with his heirs and assigns that we are lawfully seized of said premises that they are free from incumbrance, that we have good right and lawful authority to sell the same and that we will and our heirs, executors, and Administrators shall warrant and defend the same unto the said Victor H. Coffman and his heirs and assigns forever, against the lawful Claims of all persons whatsoever. In witness whereof we have hereunto set our hands this sixth day of December A.D. one thousand, eight hundred, and Eighty Eight.

In presence of
J. J. Williams }
W. B. Green }
Sgt. Hans P. Jensen
Harriet A. Jensen

The State of Missouri } On the sixth day of December
Douglas County, } A.D. 1888 before me a Notary Public
in and for said County, personally came the above named
Hans P. Jensen and Harriet A. Jensen husband and wife
who are personally known to me to be the identical persons
whose names are affixed to the above deed as grantors
and they acknowledged the instrument to be their voluntary
act and deed, without any fraud and official seal the
State aforesaid.

Filed Dec 11th 1888
Recorded July 4th 1889
W. Williams Notary
Res. D. D. Lewis & Co.
(Signed, J. J. Williams Notary Public)

State of Missouri }
County of [unclear] }
I, [unclear] County Judge in
and for said County, exercising probate jurisdiction, appearing
before me [unclear] and having given [unclear]
and the [unclear] [unclear]

3rd day of December A.D. 1888 it being the first Monday in
said month, and during the legal hours of sale, held at
public entry in front of the Court House door in the City
of Tampa, in said County, the lands and tenements de-
scribed in said decretal order and hereinafter particu-
larly described for each to the highest bidder such being
the terms of sale prescribed by said decretal order, and
published in said notice Charles Pinkert being the highest
and true bidder therefor bidding the sum of Three Hundred Dollars,
the said lands and tenements were sold to him, the said
Charles Pinkert. Now know ye further, that on the 7th day
of December A.D. 1888 I made my report of said sale
to the Hon. C. C. Harrison County Judge, as aforesaid, and
after consideration thereof and the other premises, the said
Judge issued and order under his hand and official
seal, confirm my said sale and authorizing and directing
me as Commissioner as aforesaid to execute and deliver to
the said Charles Pinkert a good and sufficient deed to
said lands and tenements upon his compliance with the
terms of said sale. Therefore in consideration of the premises
above set forth and in further consideration of Three Hundred
Dollars to me in hand paid by the said Charles Pinkert
the receipt whereof is hereby acknowledged, I, Warren A. Wilson,
as Commissioner as aforesaid, have given, granted, bargained,
sold, confirmed, and conveyed, unto the said Charles Pinkert
his heirs and assigns all the following described property
situate in the County of Hillsborough and State of Florida
to-wit: Commencing at the North east corner of Lot 8 and intersec-
tion of Triliter and Muddicks Acorn as laid down in a Map
or plan of the Survey of Lot 1 of Section 1141 in Township 20th
South of Range 18 East, made by Lewis C. Warner, Surveyor,
and recorded on page 314 of Book D of the records of Hills-
borough County Florida; thence south to the bank of Hillsborough
River, thence along the bank of said river up stream to the
middle of the mouth of a small creek running through said
Lot 8, thence westerly up the middle of the said creek to the
North boundary line of said Lot 8 and thence east along said
North boundary line of said Lot 8 to the place of beginning
containing four and one-half acres in Hillsborough County
State of Florida. Together with all and singular the rights
and appurtenances thereto in anywise appertaining to the said
decedent and general premises and

his heirs and assigns to his and their own purpose use and behoof in fee simple forever. In witness whereof I have hereunto set my hand and seal this 7th day of December A.D. 1888.

Signed sealed and delivered in the presence of
Wm. D. B. ...
Wm. ...

(Sgd.) Warren A. Givens
Commissioner

State of Florida } Before me the undersigned County Judge
County of Hillsborough } in and for said County, personally appeared
and known to be the person described in and who executed the foregoing conveyance, and acknowledged that he executed the same for the uses and purposes and the capacity therein set forth. Witness my hand and official seal this 7th day of December A.D. 1888.

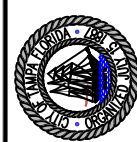
Filed Dec 10 1888
Recorded July 2 1889

Signed G. C. Harrison
County Judge

W. A. ...
By L. Y. ...

G. Givens
A. Givens

This indenture made the eighth day of December in the year of our Lord one thousand eight hundred and eighty-eight (1888) between Lawrence Givens and Willie Givens his wife of the County of Hillsborough and State of Florida parties of the first part and Albert Frank of the County of ... and State of ... part of the second part. Witnesseth that the said parties of the first part for and in consideration of the sum of one dollar, lawful money of the United States of America, to them in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, have remised, released, and quit-claimed, and by these presents do remise, release and quit-claim unto the said party of the second part, and to his heirs and assigns forever all the right, title, interest and claim of the said parties of the first part in and to the following lot piece or parcel of land, lying and being in Hillsborough County and State of Florida and described as follows: That part or portion of section Twenty one (21) in Township Twenty nine (29) South of Range Thirteen (13) East bounded bounded by a line beginning at a point or place nine hundred and thirty (930) feet West of the South East corner of said section (21) and running thence West three hundred and thirty (330) feet thence North thirteen hundred and twenty (1320) feet thence

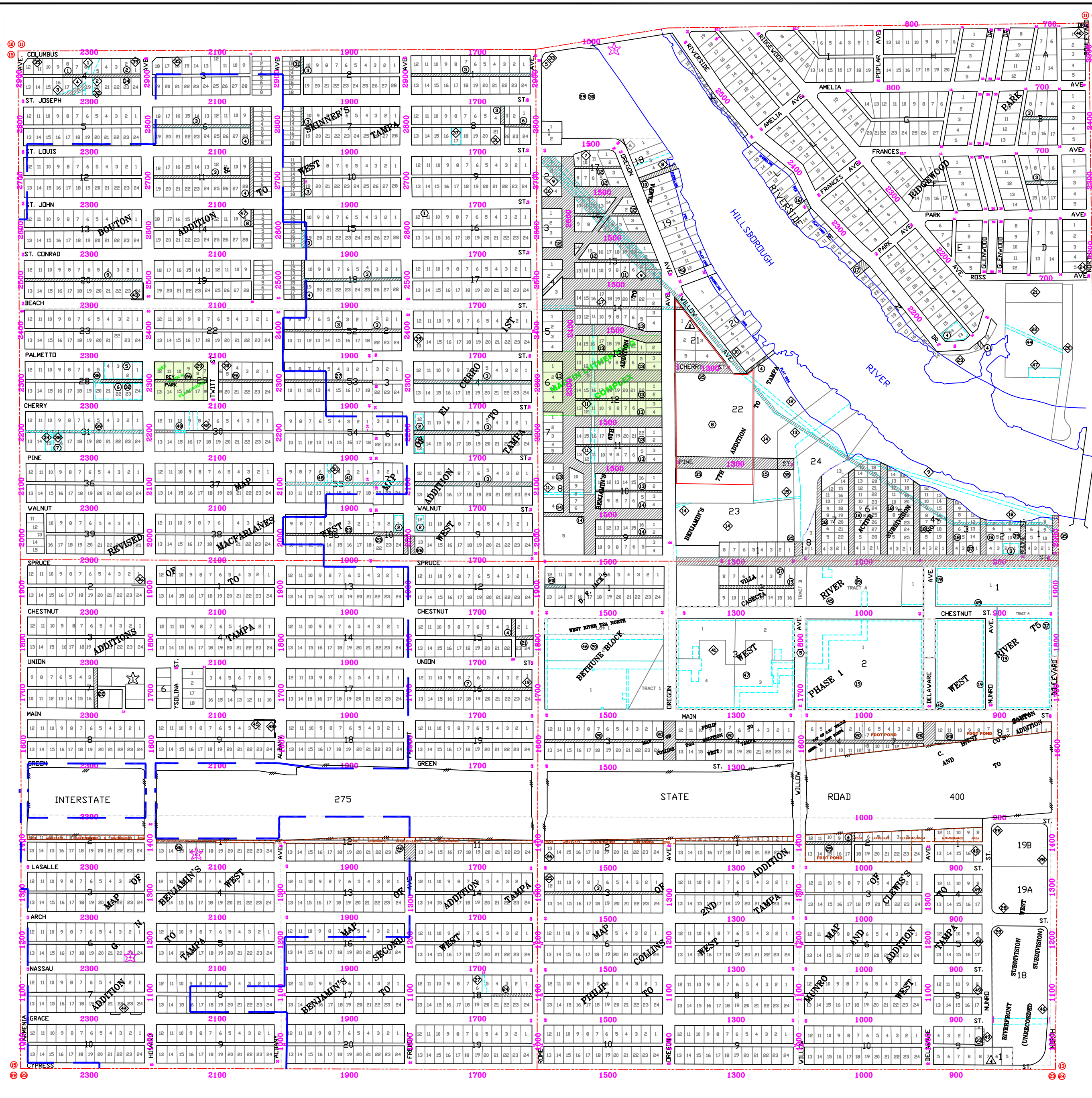


SCALE: 1" = 400'
 REVISED: 8/9/22
 BY: BL

CITY OF
 TAMPA, FLORIDA

R/W ATLAS

SEC. 14-T29S-R18E



LAND USE REFERENCES

- VACATINGS OF R/W & EASEMENT
1. Ord. 2788-A
 2. Ord. 2789-A
 3. Ord. 2790-A
 4. Ord. 2791-A
 5. Ord. 2792-A
 6. Ord. 2793-A
 7. Ord. 2794-A
 8. Ord. 2795-A
 9. Ord. 2796-A
 10. Ord. 2797-A
 11. Ord. 2798-A
 12. Ord. 2799-A
 13. Ord. 2800-A
 14. Ord. 2801-A
 15. Ord. 2802-A
 16. Ord. 2803-A
 17. Ord. 2804-A
 18. Ord. 2805-A
 19. Ord. 2806-A
 20. Ord. 2807-A
 21. Ord. 2808-A
 22. Ord. 2809-A
 23. Ord. 2810-A
 24. Ord. 2811-A
 25. Ord. 2812-A
 26. Ord. 2813-A
 27. Ord. 2814-A
 28. Ord. 2815-A
 29. Ord. 2816-A
 30. Ord. 2817-A
 31. Ord. 2818-A
 32. Ord. 2819-A
 33. Ord. 2820-A
 34. Ord. 2821-A
 35. Ord. 2822-A
 36. Ord. 2823-A
 37. Ord. 2824-A
 38. Ord. 2825-A
 39. Ord. 2826-A
 40. Ord. 2827-A
 41. Ord. 2828-A
 42. Ord. 2829-A
 43. Ord. 2830-A
 44. Ord. 2831-A
 45. Ord. 2832-A
 46. Ord. 2833-A
 47. Ord. 2834-A
 48. Ord. 2835-A
 49. Ord. 2836-A
 50. Ord. 2837-A
 51. Ord. 2838-A
 52. Ord. 2839-A
 53. Ord. 2840-A
 54. Ord. 2841-A
 55. Ord. 2842-A
 56. Ord. 2843-A
 57. Ord. 2844-A
 58. Ord. 2845-A
 59. Ord. 2846-A
 60. Ord. 2847-A
 61. Ord. 2848-A
 62. Ord. 2849-A
 63. Ord. 2850-A
 64. Ord. 2851-A
 65. Ord. 2852-A
 66. Ord. 2853-A
 67. Ord. 2854-A
 68. Ord. 2855-A
 69. Ord. 2856-A
 70. Ord. 2857-A
 71. Ord. 2858-A
 72. Ord. 2859-A
 73. Ord. 2860-A
 74. Ord. 2861-A
 75. Ord. 2862-A
 76. Ord. 2863-A
 77. Ord. 2864-A
 78. Ord. 2865-A
 79. Ord. 2866-A
 80. Ord. 2867-A
 81. Ord. 2868-A
 82. Ord. 2869-A
 83. Ord. 2870-A
 84. Ord. 2871-A
 85. Ord. 2872-A
 86. Ord. 2873-A
 87. Ord. 2874-A
 88. Ord. 2875-A
 89. Ord. 2876-A
 90. Ord. 2877-A
 91. Ord. 2878-A
 92. Ord. 2879-A
 93. Ord. 2880-A
 94. Ord. 2881-A
 95. Ord. 2882-A
 96. Ord. 2883-A
 97. Ord. 2884-A
 98. Ord. 2885-A
 99. Ord. 2886-A
 100. Ord. 2887-A
 101. Ord. 2888-A
 102. Ord. 2889-A
 103. Ord. 2890-A
 104. Ord. 2891-A
 105. Ord. 2892-A
 106. Ord. 2893-A
 107. Ord. 2894-A
 108. Ord. 2895-A
 109. Ord. 2896-A
 110. Ord. 2897-A
 111. Ord. 2898-A
 112. Ord. 2899-A
 113. Ord. 2900-A

◇ ACQUISITIONS OF R/W & EASEMENT

1. Ord. 2899-A
2. Ord. 2900-A
3. Ord. 2901-A
4. Ord. 2902-A
5. Ord. 2903-A
6. Ord. 2904-A
7. Ord. 2905-A
8. Ord. 2906-A
9. Ord. 2907-A
10. Ord. 2908-A
11. Ord. 2909-A
12. Ord. 2910-A
13. Ord. 2911-A
14. Ord. 2912-A
15. Ord. 2913-A
16. Ord. 2914-A
17. Ord. 2915-A
18. Ord. 2916-A
19. Ord. 2917-A
20. Ord. 2918-A
21. Ord. 2919-A
22. Ord. 2920-A
23. Ord. 2921-A
24. Ord. 2922-A
25. Ord. 2923-A
26. Ord. 2924-A
27. Ord. 2925-A
28. Ord. 2926-A
29. Ord. 2927-A
30. Ord. 2928-A
31. Ord. 2929-A
32. Ord. 2930-A
33. Ord. 2931-A
34. Ord. 2932-A
35. Ord. 2933-A
36. Ord. 2934-A
37. Ord. 2935-A
38. Ord. 2936-A
39. Ord. 2937-A
40. Ord. 2938-A
41. Ord. 2939-A
42. Ord. 2940-A
43. Ord. 2941-A
44. Ord. 2942-A
45. Ord. 2943-A
46. Ord. 2944-A
47. Ord. 2945-A
48. Ord. 2946-A
49. Ord. 2947-A
50. Ord. 2948-A
51. Ord. 2949-A
52. Ord. 2950-A
53. Ord. 2951-A
54. Ord. 2952-A
55. Ord. 2953-A
56. Ord. 2954-A
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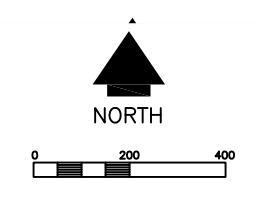
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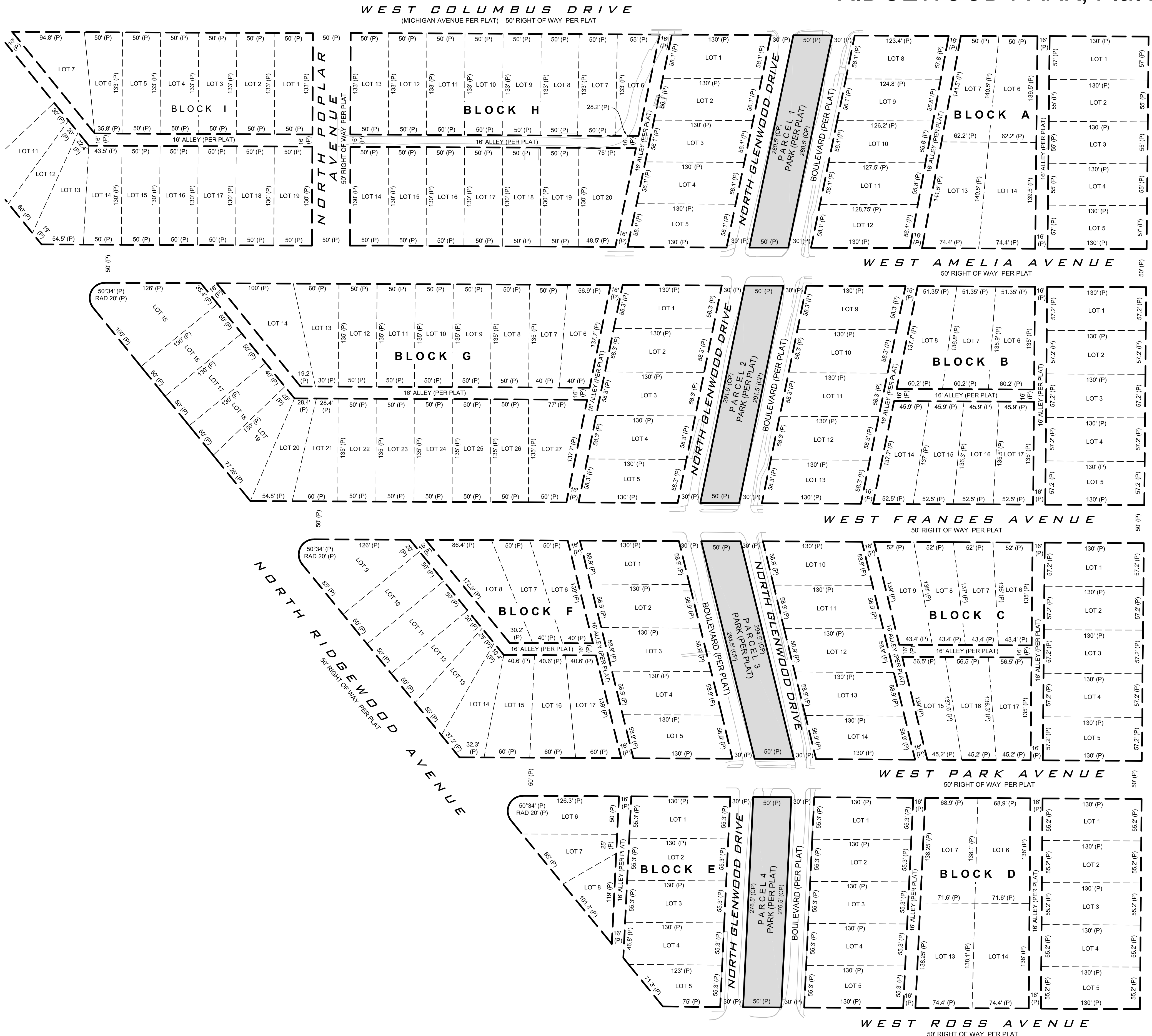
△ SMALL SUBDIVISIONS

1. DR. G. GOLDSTEIN'S
2. A SUBDIVISION OF BLOCK 21 OF BELMONT'S 7TH ADDITION TO TAMPA
3. J.W. CARROLL'S SUBDIVISION
4. PART OF KICKLER'S SUBDIVISION TO WEST TAMPA
5. VILLA CABRERA & MAP OF DR. BOUTON AND CO'S ADDN TO W. TAMPA

NOTE:
 IT IS INTENDED THAT THE ACCURACY OF THIS MAP COMPLY WITH U.S. NATIONAL MAP ACCURACY STANDARDS. HOWEVER, THE CITY MAKES NO WARRANTY, EXPRESSED OR IMPLIED, AS TO THE ACCURACY OF THE DETAILS SHOWN ON THIS MAP OR OF THE REPRODUCTION THEREOF.
 ORIGINAL MAPS ARE THE PROPERTY OF THE CITY OF TAMPA AND ARE NOT FOR REPRODUCTION IN PART OR ENTIRETY IN ANY FORM BY OTHERS UNLESS SPECIFICALLY AUTHORIZED BY THE CITY.



Section 14 - Township 29 South - Range 18 East - Hillsborough County, Florida RIDGEWOOD PARK, Plat Book 10, Page 6



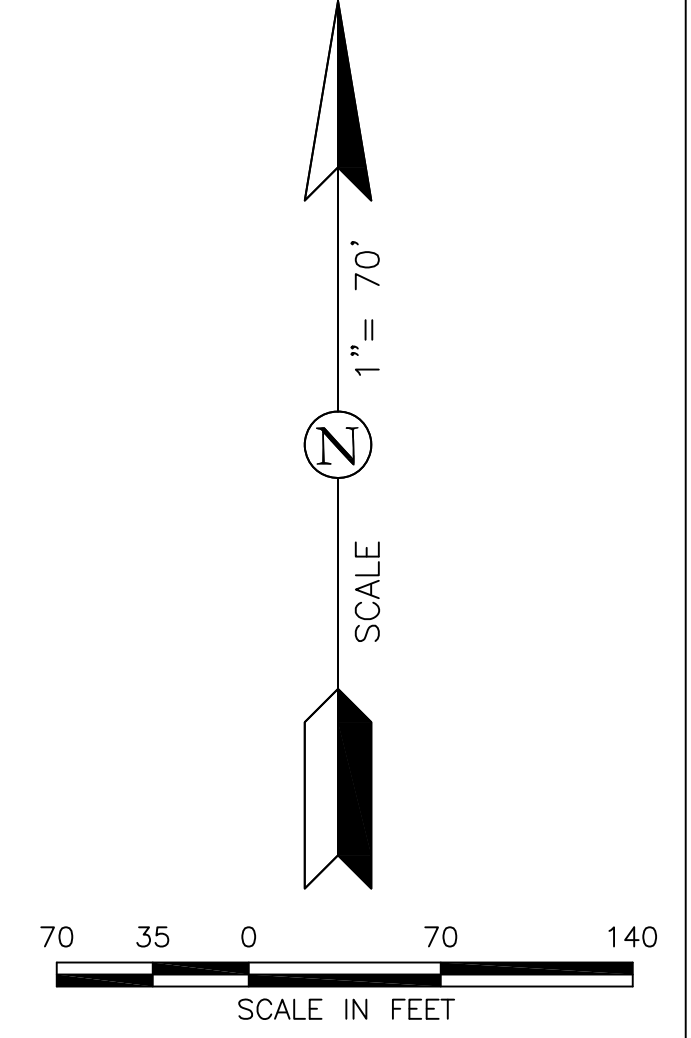
DESCRIPTION:

PARCEL 1
That certain Park lying Easterly of Block "H" and Westerly of Block "A" and South of the Southerly right of way line of West Columbus Drive (Michigan Avenue per plat) and North of the Northerly right of way of West Amelia Avenue, **RIDGEWOOD PARK**, according to the map or plat thereof as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida

PARCEL 2
That certain Park lying Easterly of Block "G" and Westerly of Block "B" and South of the Southerly right of way line of West Amelia Avenue and North of the Northerly right of way of West Frances Avenue, **RIDGEWOOD PARK**, according to the map or plat thereof as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida

PARCEL 3
That certain Park lying Easterly of Block "F" and Westerly of Block "C" and South of the Southerly right of way line of West Frances Avenue and North of the Northerly right of way of West Park Avenue, **RIDGEWOOD PARK**, according to the map or plat thereof as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida

PARCEL 4
That certain Park lying Easterly of Block "E" and Westerly of Block "D" and South of the Southerly right of way line of West Park Avenue and North of the Northerly right of way of West Ross Avenue, **RIDGEWOOD PARK**, according to the map or plat thereof as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida



Legend

- (M) Measured
- (C) Calculated
- (CP) Calculated from Plat
- (D) Description
- (P) Plat
- (R) Reported
- CIR Capped iron rod
- I.P. Iron pipe
- I.R. Iron rod
- C.M. Concrete monument
- "A" 3' Wood Slat Fence
- R/W Right-of-way
- NCF No corner found or set
- PC Point of curvature
- PT Point of tangency
- PRC Point of reverse curve
- ID. Identification
- C.O.T. City of Tampa
- NOL North of line
- EOL East of line
- SOL South of line
- WOL West of line
- NTS Not to scale
- Found monumented as shown
- Set 5/8" iron rod and cap "City of Tampa D.P.W."
- Set MAG nail & disk "City of Tampa D.P.W. Survey"

Notes

1. C.O.T. and certifying land surveyor make no representations or guarantees pertaining to easements, rights of way, setback lines, reservations, agreements and other similar matters.
2. All matters of record depicted hereon were within C.O.T. survey section files.
3. C.O.T. and/or certifying land surveyor has not made a search of the Public Records for any titles, deeds, reservations, easements, rights of way, setback lines, agreements or other instruments that may be recorded therein.
4. Survey based on monumentation found acceptable.
5. Neither interior fences, structures, nor improvements, either above or below ground, have been located as part of this survey, except as shown.
6. 2D topographic information shown hereon taken from City of Tampa survey, in progress.

NOT A BOUNDARY SURVEY

REVISIONS	
DESCRIPTION	DATE
1	
2	
3	
4	
5	
6	

SURVEYOR'S CERTIFICATE

THIS CERTIFIES THAT A SKETCH OF DESCRIPTION OF THE PROPERTY DEPICTED HEREON WAS MADE UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CLARENCE WADE, III
FLORIDA PROFESSIONAL LAND SURVEYOR, CERTIFICATE NO. 4383

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

CITY OF TAMPA, FLORIDA
MOBILITY DEPARTMENT
SURVEY SECTION
3808 EAST 26TH AVENUE
TAMPA, FLORIDA
(813) 635-3430

SKETCH OF DESCRIPTION

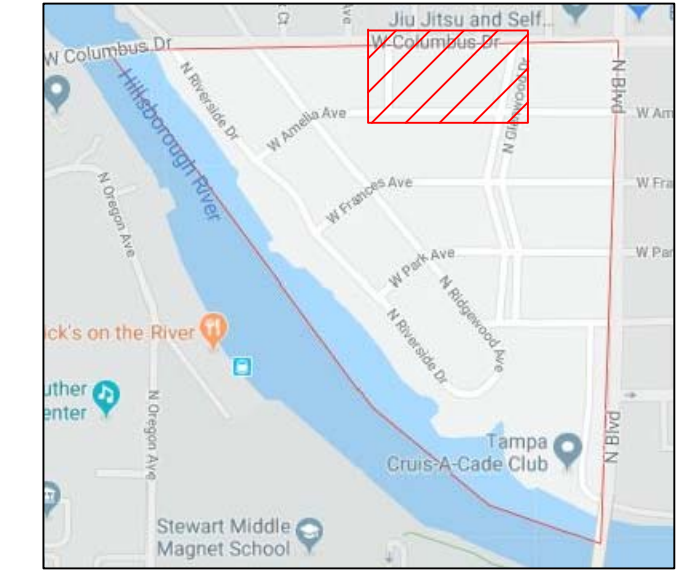
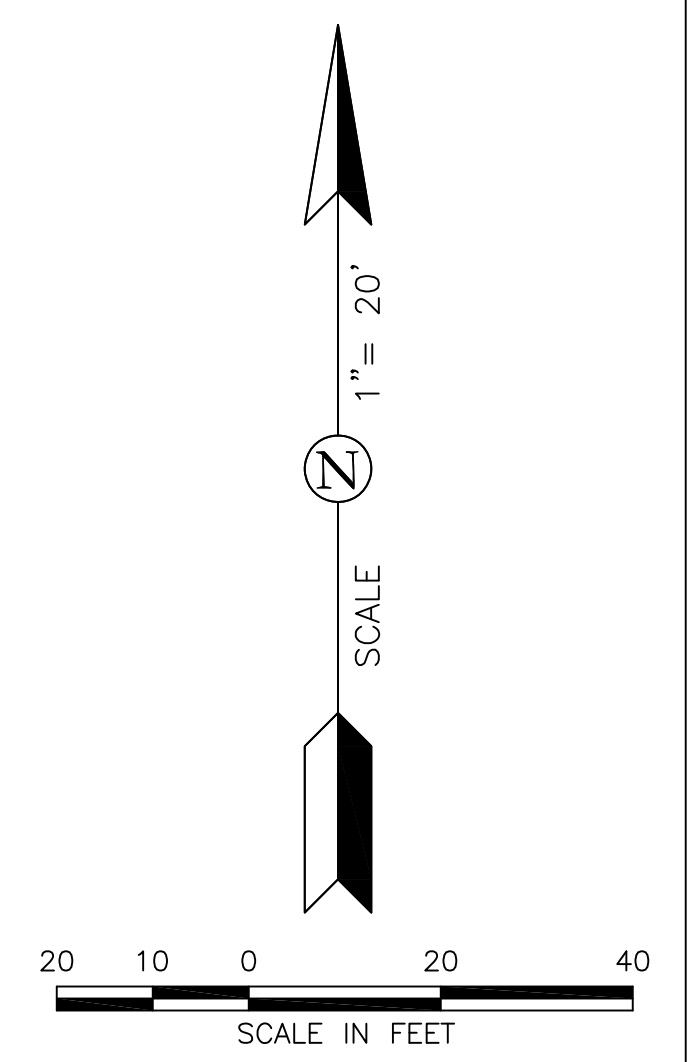
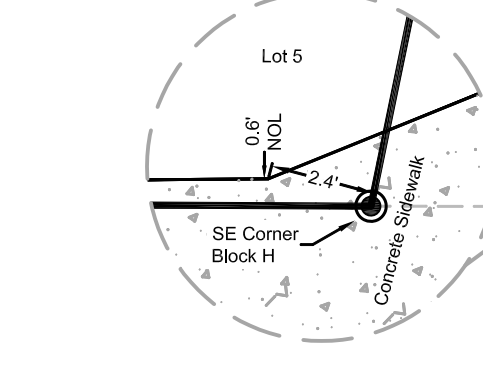
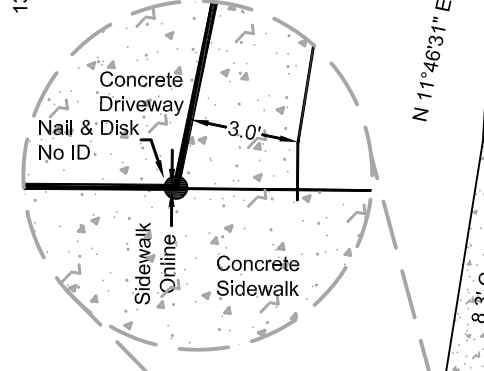
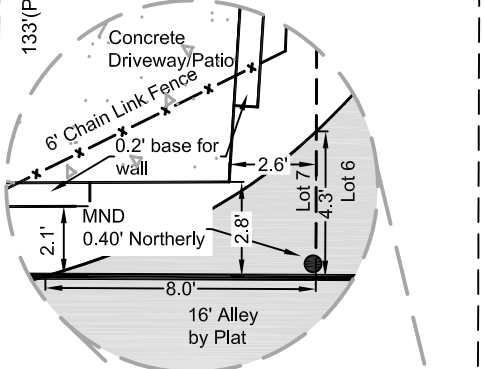
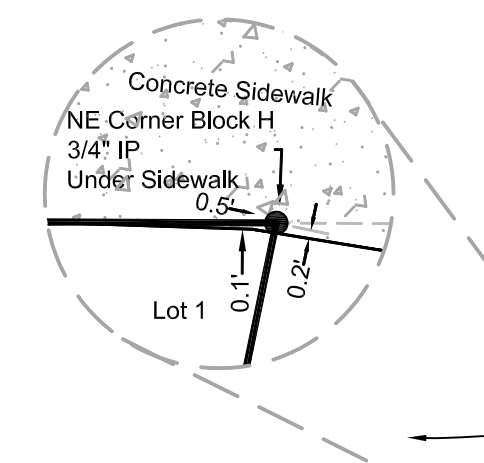
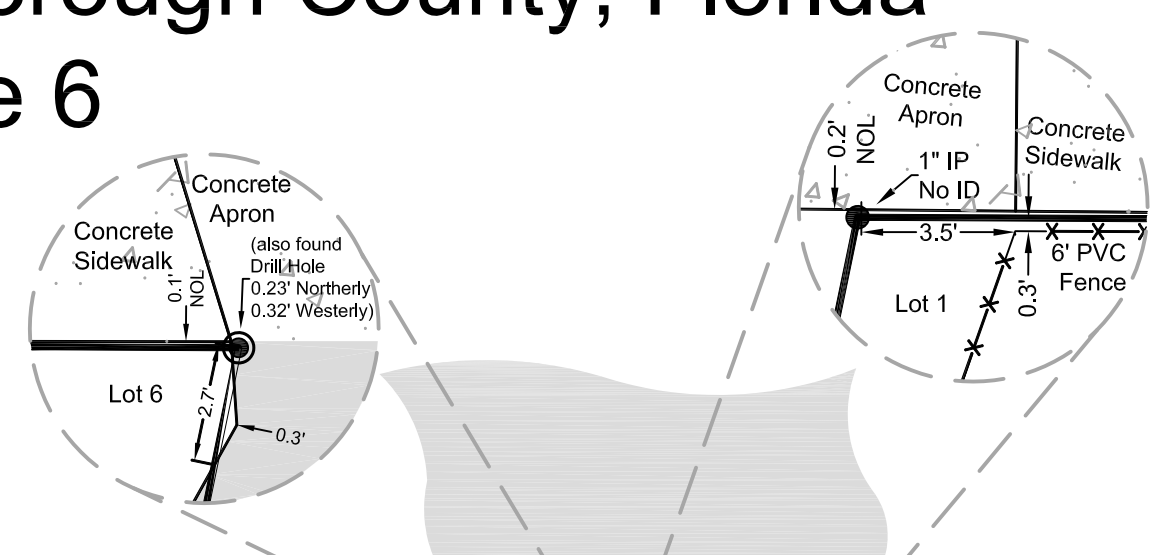
SECTION 14, TOWNSHIP 29 S., RANGE 18 E.
HILLSBOROUGH COUNTY, FLORIDA

DATE OF LAST FIELD WORK: N/A
DRAWN BY: SURVEY SECTION DRAFTING-KZ / TAC
FIELD BOOK: 2018-2, 2018-5
DRAWING FILE: RIDGEWOOD PARK PARKS.dwg
SHEET NO. 1 OF 1

Section 14 - Township 29 South - Range 18 East Hillsborough County, Florida Ridgewood Park Plat Book 10, Page 6

Columbus Avenue
(Michigan Avenue by Plat)
50' R/W by Plat
Asphalt Pavement

Basis of Bearings
S 89°42'32" E 551.53(M) 551.32(C) (Overall)



Vicinity Map
Not to scale

- Legend**
- (M) Measured
 - (C) Calculated
 - (D) Description
 - (P) Plat
 - (R) Reported
 - C.I.P. Capped iron rod
 - I.P. Iron pipe
 - I.R. Iron rod
 - C.M. Concrete monument
 - *A* 3' Wood Slat Fence
 - R/W Right-of-way
 - NCF No corner found or set
 - PC Point of curvature
 - PT Point of tangency
 - PRC Point of reverse curve
 - ID. Identification
 - C.O.T. City of Tampa
 - NOL North of line
 - EOL East of line
 - SOL South of line
 - WOL West of line
 - NTS Not to scale
 - Found monument as shown
 - Set 5/8" iron rod and cap "City of Tampa D.P.W."
 - ⊙ Set MAG nail & disk "City of Tampa T. & S.S."

Line Table			
Line	Distance (M)	Distance (C)	Bearing (M)
L1	16.32	16.32	N 11°39'52" E
L2	16.48	16.32	S 89°42'23" E
L3	16.47	16.32	S 89°44'22" E
L4	15.80	16.00	N 00°12'10" E

Notes

1. Bearings shown hereon as (M) are based on the Florida State Plane Coordinate System, Transverse Mercator, West Zone NAD 83/90 a bearing of S 89°42'32" E, was held along the Northernly boundary of Block H, RIDGEWOOD PARK, according to the map or plat thereof as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida.
2. C.O.T. and certifying land surveyor make no representations or guarantees pertaining to easements, rights of way, setback lines, reservations, agreements and other similar matters.
3. All matters of record depicted hereon were within C.O.T. survey section files.
4. C.O.T. and/or certifying land surveyor has not made a search of the Public Records for any titles, deeds, reservations, easements, rights of way, setback lines, agreements or other instruments that may be recorded therein.
5. Survey based on monumentation found acceptable.
6. Neither interior fences, structures, nor improvements, either above or below ground, have been located as part of this survey, except as shown.
7. The Specific Purpose of this survey is to determine the rights of way for the alleys located in Block H, RIDGEWOOD PARK, and to detail any occupation or encroachments therein.

DESCRIPTION:
Block H, RIDGEWOOD PARK, according to the map or plat thereof, as recorded in Plat Book 10, Page 6, in the Public Records of Hillsborough County, Florida.

REVISIONS	
DESCRIPTION	DATE

SURVEYOR'S CERTIFICATE

THIS CERTIFIES THAT A SURVEY OF THE PROPERTY DEPICTED HEREON WAS MADE UNDER MY SUPERVISION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 54-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

CLARENCE WADE, III
FLORIDA PROFESSIONAL LAND SURVEYOR, CERTIFICATE NO. 4383

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

CITY OF TAMPA, FLORIDA
DEPARTMENT OF TRANSPORTATION
AND STORMWATER SERVICES
SURVEY SECTION
3808 EAST 26TH AVENUE
TAMPA, FLORIDA
(813) 635-3430

SPECIFIC PURPOSE SURVEY

SECTION 14, TOWNSHIP 29 S., RANGE 18 E.
HILLSBOROUGH COUNTY, FLORIDA
DATE OF LAST FIELD WORK: 10/2019
DRAWN BY: SURVEY SECTION DRAFTING-KZ
FIELD BOOK: 2018-2, 2018-5
DRAWING FILE: Glenwood Block H.dwg
SHEET NO. 1 OF 1

Project Commitment Record

