



**DAVID L. TIPPIN WATER TREATMENT FACILITY
BUILDING AND SITE IMPROVEMENTS**

PROGRAM

Exhibit A

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING AND SITE IMPROVEMENTS

EXECUTIVE SUMMARY

Wilder Architecture was engaged by the City of Tampa Water Department to provide programming and pre-design services for Building and Site Improvements for the David L. Tippin Water Treatment Facility. The project design services are broken down into two phases. The Programming and Pre-Design Phases are complete and the efforts are presented in this document. The second phase would be the actual Design and Construction Phases. If the City elects to proceed with the project the Design Team will begin the Design Phase and provide design documents for review and upon approval develop construction drawings for bidding and construction.

For Programming Wilder Architecture visited the site to conduct interviews with section heads and staff and to collect data and information for the Design Team to develop a written program to lead subsequent design and construction phases. The Architectural Program is in written form and identifies design criteria and relationships between spaces. The Team looked at the following Sections:

Administration

Operations

- Plant Operations
- Instrumentation & Control

Maintenance

Safety & Security

Engineering

This document reflects all issues brought to light during the site visit and interview process whether Owner directed, Code required, or recommended by the Design Team (Architect and Engineers). The final project scope will be determined based on Owner priority and budget.

Administration Building

This is one of the original structures of the Treatment Facility constructed in 1925 along with the Pump Building. The building was the Original Chemistry Building and has evolved over the years into a primarily administrative facility. The modifications have been piece meal over the years and the space does not function as well as it could relative to work flow, tasks performed and new and future technology. The design team has looked at the building structure and construction to determine what areas can be modified to accommodate the new layout. The program for the Administration Building will fundamentally remain the same in terms of number of existing spaces, but with the addition of a Library space, Flex Office space, and a small Storage space for the Engineering Section.

Main Pump Building

The scope of work for Main Pump Building is to develop documents to provide for a comprehensive cleaning and repainting throughout both interior and exterior this includes removing lead based paint. Spaces to be remodeled include the PLC/Utility Room, Break Room, and Instrument & Control Computer Work Area. Work to also include: Painting of bridge cranes, trolleys, and hoists; update lighting, including emergency lighting, replace guard and hand rails, improve signage, and replace exterior doors in poor condition. Historic restoration of the 2 shower / rest rooms is included in the scope.

Maintenance Building

Remodel / renovate the third floor office area into a conference center for meetings and/or training including the addition of a screen wall and lighting upgrade. The scope includes new finishes in adjacent spaces. Additional work in the Maintenance Building includes improvement to the Welding Room on the first floor. The improvements include the addition of a fan and exhaust system for the welding machine, the addition of a vacuum system for the grinding machines, new lighting, a general cleaning, and re-painting.

Parking on Main Campus

Analyze existing parking needs and develop a plan for parking on the campus including expanding capacity at the Maintenance Building to accommodate the new Conference Center. Scope also includes staff access improvements near the main entry. In essence assessing the current parking situation for the purpose of developing a plan to improve existing conditions and provide for the future.

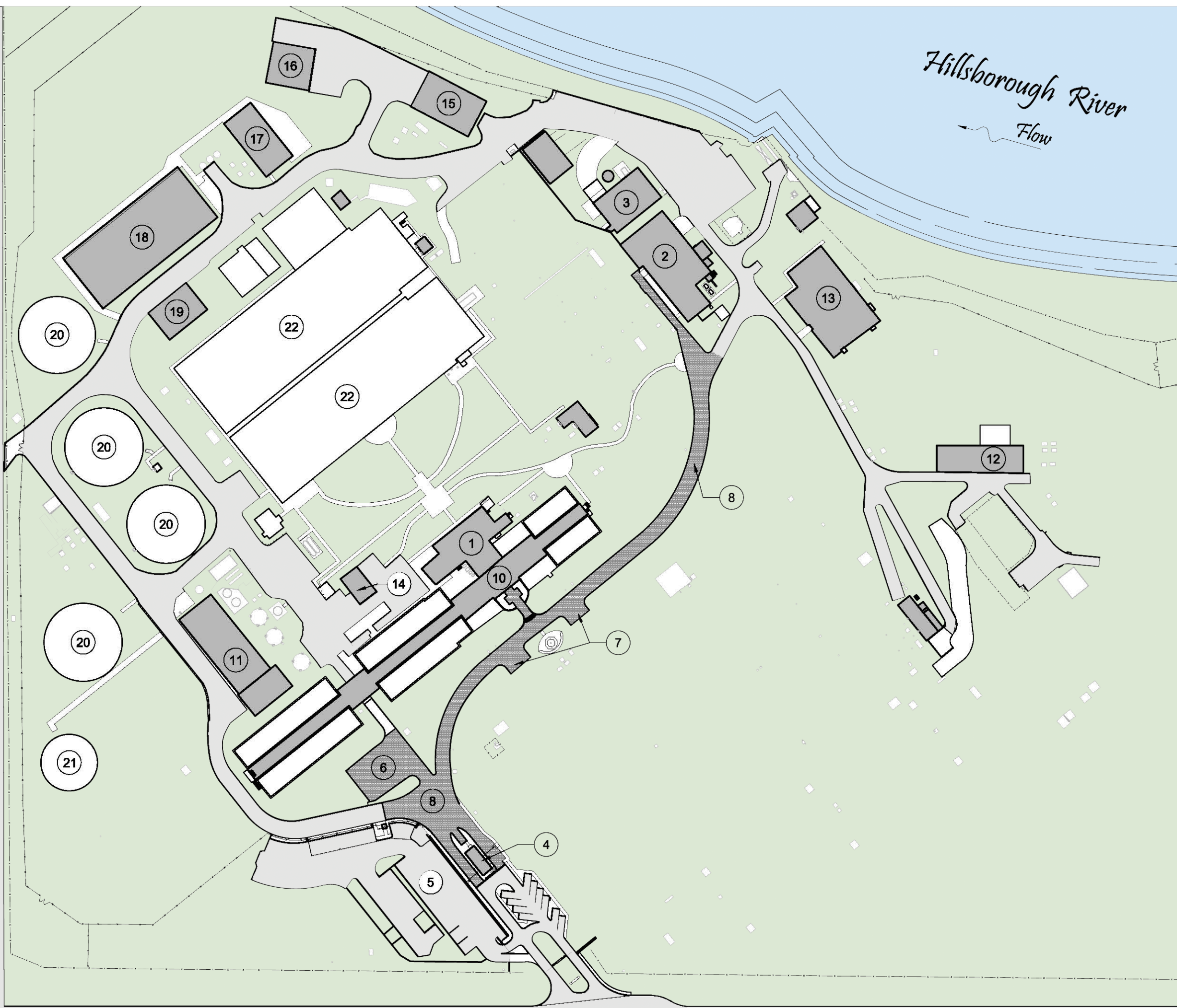
SITE PLAN - EXISTING

DAVID L. TIPPEN WATER
TREATMENT FACILITY
BUILDING IMPROVEMENTS

WILDERARCHITECTURE, INC.

DRAWING LEGEND

- 1. ADMINISTRATION BUILDING
- 2. MAIN PUMP BUILDING
- 3. MAINTENANCE BUILDING
- 4. SECURITY BUILDING
- 5. STAFF PARKING
- 6. FLEET PARKING (BRICK PAVING)
- 7. VISITOR PARKING
- 8. ACCESS DRIVE (BRICK PAVING)
- 9. ACCESS DRIVE (ASPHALT PAVING)
- 10. FILTRATION BUILDING
- 11. CHEMICAL BUILDING
- 12. GENERATOR BUILDING
- 13. WATER QUALITY LAB BUILDING
- 14. LIME HOUSE
- 15. STORAGE BUILDING
- 16. OZONE BUILDING
- 17. OZONE CONTRACTORS BUILDING
- 18. POLYMER BUILDING
- 19. GRAVITY THICKENER TANK
- 20. WASH WATER SURGE TANK
- 21. FILTERS
- 22. SEDIMENTATION BASIN



SITE PLAN - EXISTING

0 65' 130' 260'



DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING AND SITE IMPROVEMENTS

SYSTEMS NARRATIVE

ADMINISTRATION BUILDING

Program:

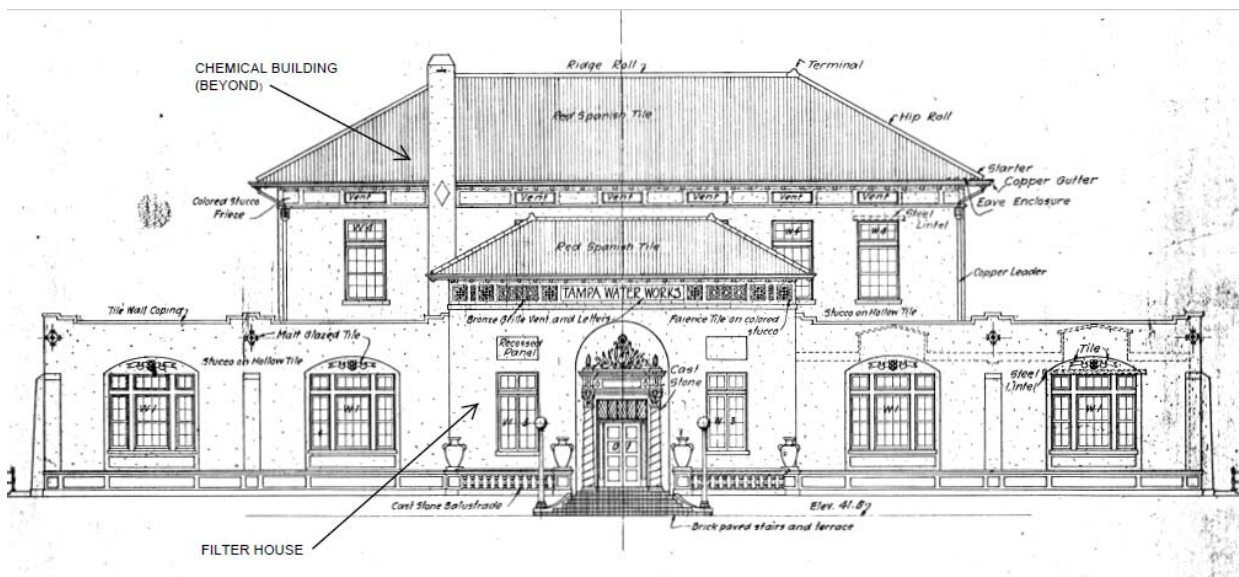
The Administration Building currently houses the Administration, Engineering, Operations, Operations - Instrument & Control, Maintenance, and Safety/Security Sections. The functions are housed on both the first and second floors of the original Chemical House. Scope of work for the Administration Building is to include the remodeling of the interior of the administrative areas of the building to update finishes, provide for efficiencies, upgrade technology and improve workflow. Spaces include Administrative Offices, Engineering and Security Work Areas, Instrument and Control Work Area, Break Room, Conference Room, etc. The program for the Administration Building will fundamentally remain the same in terms of number of existing spaces, but with the addition of a Library space, Flex Office space, and a small Storage space for the Engineering Section. All efforts will be made to remodel the building to reflect the architecture of the period and work with the existing character of the building to enhance the outcome.

Selective Demolition:

Selective Demolition includes the removal of any non load bearing partitions affecting future work, removal of existing acoustical panel ceiling and gypsum wall board soffits for mechanical and electrical work. It is recommended that the existing restrooms on the second floor be removed and new code compliant toilets constructed in their place.

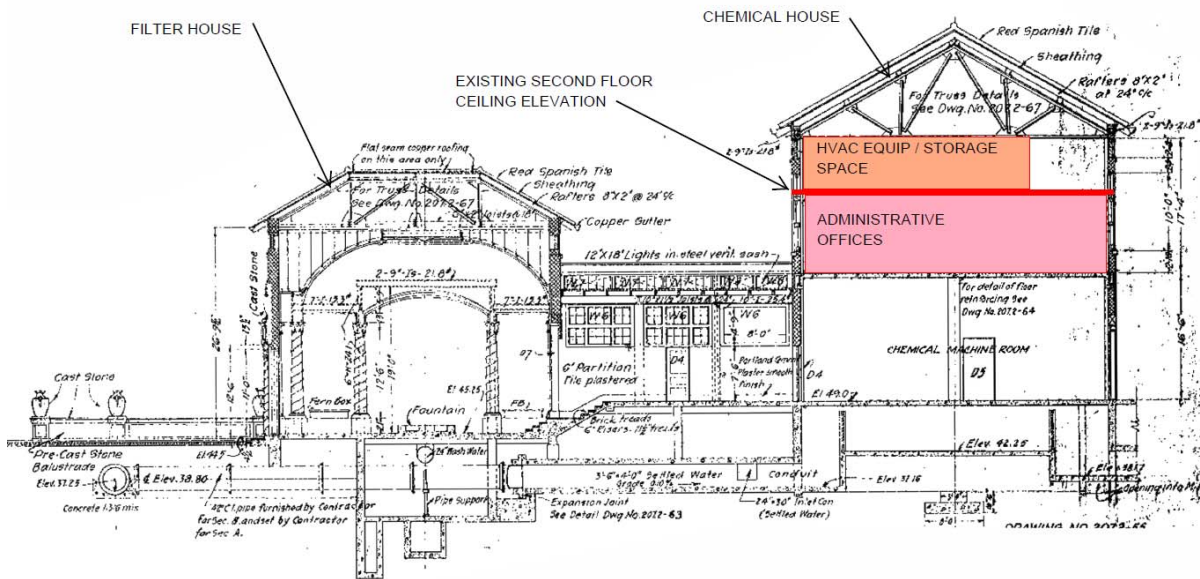
Architectural:

The historic Tampa Water Works Building, with the current two story center structure and filtration tanks was originally built in 1925. This building consisted of two linked structures, the single story Filter House and the two-story Chemical House. This project focuses on improvements to the original Chemical House to renovate and remodel the interior to create a more efficient and attractive working environment.



The original function of the two-story Chemical House building was industrial in nature, and warranted a different structural grid than a typical office building. This two-story component was constructed as a poured-in-place concrete frame with clay masonry infill at the exterior walls. The exterior walls have an exterior cement plaster finish. At conditioned spaces adjacent to exterior walls, the interior side of the exterior walls appears to have been furred out and most likely insulated.

There are massive concrete columns (at the first floor) and beams that will remain and are to be integrated into the project design. The roof structure consists of steel trusses that bear on the exterior walls and clear span the short dimension of the building. The steel trusses support wood rafters, wood decking, and clay tile roof.



There have been several significant modifications to the Chemical House to convert it to the current Administration Building function since originally constructed. The existing stair at the southeast of the building was modified, and a second stair added for egress purposes. The elevator was also upgraded and modified to convey people to the second floor offices. A conditioned space above the second floor ceiling, and below the existing structural steel trusses, was also added to house HVAC equipment serving the second floor. This space is accessible by stair only, and is also used for general storage. This function of this space is anticipated to remain as is. The Engineering staff will develop a system for archiving old documents and only keeping active project documents at the 2nd floor space. This will maximize the storage space upstairs and reduce the document storage needs at the 2nd floor.

Empty, unconditioned attic space surrounds the aforementioned HVAC equipment and storage space. The attic should be insulated at the roof deck and all attic vents should be closed. This will prevent warm, moist air from entering the building and improving HVAC efficiency. A one story addition was also constructed at the northwest end of the building. This addition, which currently houses the Instrument and Control Workroom and Supervisor's Office, is included in the project scope.

There exists a floor elevation change at the second floor. The design team will evaluate the existing elevation changes and sloped areas to determine ADA compliance and if any remedial measures will be necessary to comply. An underutilized space exists between the Break Room and exterior wall at the ground floor. This space is elevated from the adjacent Break Room via a thickened concrete slab. Core drilling of this slab should be performed in order to determine composition and if selective demolition is feasible and cost effective.

Efforts will be made to raise the ceilings at the second floor, where possible, to recapture the full height of the existing windows and original character of the building. The existing windows appear to be sound and are not anticipated to be replaced.

New partitions will be constructed out of gypsum wallboard and metal studs and with acoustic treatment and fire rating where required.

There is a concern that the existing means of egress does not meet current code. A complete code upgrade is required if the value of the proposed remodeling cost of construction is greater than 50% of the total value of the existing structure. It is unlikely that the cost of remodeling will reach the 50% threshold.

Casework – New casework will be constructed for the new Instrument and Control Workroom - work stations to accommodate 2 monitors with upper cabinets. Library to have shelves and display cases.

Finishes – It is the intent to raise the ceilings as high as possible to recapture the full height of the existing windows. This warrants the use of exposed architectural ductwork and pendant mounted LED lighting.

Testing and removal of any hazardous materials and removal of any such as asbestos or lead paint are not considered as part of this project scope. The Design Team is not qualified to assess or remove hazardous materials. The Owner will need to contract this scope of work separately.

Equipment:

The existing furniture and equipment are all to remain and will need to be relocated to accommodate any room changes. All office equipment and furnishings are not included in the contract and will be provided by the Owner. These include but are not limited to: phones, computers, fax machines, clocks, chairs, desks, tables, couches, etc.

Mechanical:

The 1st floor I&C Workroom, Conference Room and Break Room are served with a single zone direct expansion split system (air handler and condensing unit). The air handlers and ductwork are located above the drop ceilings. The 2nd floor Administration offices are served by two DX single zone split systems that are located in the 3rd floor mechanical equipment mezzanine. Supply and return ducts are routed in the interstitial space above the 2nd floor hard ceilings. The Conference Room and 2nd floor administration office condensing units are located on a narrow concrete platform between to the open water tanks and the building that makes it difficult to service the equipment.

The existing HVAC equipment will be replaced in kind with new direct expansion split systems (air handler and condensing unit). The equipment sizing and zoning will be evaluated with respect to the new floor plan layout. We would recommend locating the new air handlers for the first floor in a floor level mechanical space for easier access for maintenance. The new air handlers for the second floor will be in same location (3rd floor mechanical space) but the existing condensing units for the 2nd floor offices should be relocated to a more accessible location. HVAC controls will consist of a new building DDC energy management system (EMS) and each zone will have individual temperature control. There will be no mechanical work in the Engineering and Security Work Areas.

Plumbing:

It is recommended that new accessible toilet rooms (male and female) be provided on the second floor. New sanitary, hot and cold water piping will be routed from the existing systems.

Electrical:

Power Distribution:

The power distribution in these spaces is old and has been added on as the space utilization evolved. The existing power distribution system is a 120/240 volt, 3 phase, hi-leg delta. The new work should anticipate new receptacles and new branch circuits from a new branch circuit panel or panels. New branch circuits would be required for any new HVAC equipment.

Major replacement or upgrades to the main service or main power distribution equipment would not be included. The extent of the power distribution work is dependent upon the extent of the remodeling and renovations.

Interior Lighting:

The interior should anticipate replacement of the existing lighting with new LED type luminaires. The exact types would need to be determined based upon the ceiling types and heights. A recessed, 2'x4', type luminaire for most of the general lighting is anticipated, but other areas with higher ceilings could consider using some direct/indirect pendant type luminaires. Recessed downlights could be considered in conference room and meeting spaces. Any new lighting will be LED.

New exit signs and emergency egress lighting should be provided using integral battery back-up.

New occupancy sensors will be required in order to meet code. Some daylight harvesting may be also necessary adjacent to windows. Dimming control versus standard on/off switches should be evaluated for each area.

The only lighting that would remain would be in areas that are not renovated / remodeled.

Voice and Data Network

The voice and data network cabling and outlets should be anticipated to be new. Voice and data cabling cannot be sliced and extended, so the remodeling and renovating of the spaces will likely require new cabling and new outlets to be installed to suit the spaces. We would assume new category 6 cabling back to an existing data rack. Major upgrades to the network, such as new rack and new fiber cable backbone would not be expected to be included, but further investigation is required to determine the existing condition.

Fire Alarm System

The only fire alarm observed in the spaces are some duct mounted smoke detectors in the ducts for the air handling systems. These provide for air handler shutdown upon the detection of smoke. There are no existing pull stations or horns and strobes. A fire alarm system is not expected to be required by code based upon the business occupancy and number of occupants.

Fire Protection:

The existing building does not have a fire protection system. When originally constructed, the building, consisting of the Filter House and Chemical House, was considered one single occupancy type. It is interpreted that when the Chemical House was converted to the Administrative function the building's occupancy type, by Florida Building Code definition (Florida Building Code 5th Edition, 2014), became a mixed-use occupancy. Due to the gross square footage of gross square footage of the Administrative component (Business Group B) relative to the Filter House component (Low-hazard Factory Industrial, F-2), the Administrative component could not be considered an accessory use. If the value of proposed construction for the Administration Building is greater than 50% of the building value then a 3 hour fire separation would need to be constructed between the one and two-story volumes at the first floor. The Administration Building would not need to have a fire protection system due to its area (8,500 gross square feet) and construction type (Type III A). It is unlikely that the cost of remodeling will reach the 50% threshold.

New fire extinguishers should be provided in the renovated / remodeled areas.

MAIN PUMP BUILDING

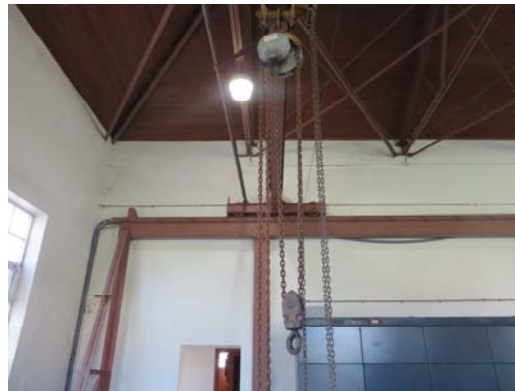
Program:

The scope of work for Main Pump Building is to develop documents to provide for a comprehensive cleaning and repainting throughout both the interior and exterior.

Exterior: All exterior surfaces, excluding roof, will be cleaned. Cement plaster finish will be repaired where damaged or cracked, prepped and painted. Exposed wood surfaces (trim, rafter tails, etc.) will be repaired / replaced with matching species where damaged, prepped and painted. Existing exterior doors and frames will be prepped and painted, and replace exterior doors in poor condition. Existing aluminum windows will be cleaned.



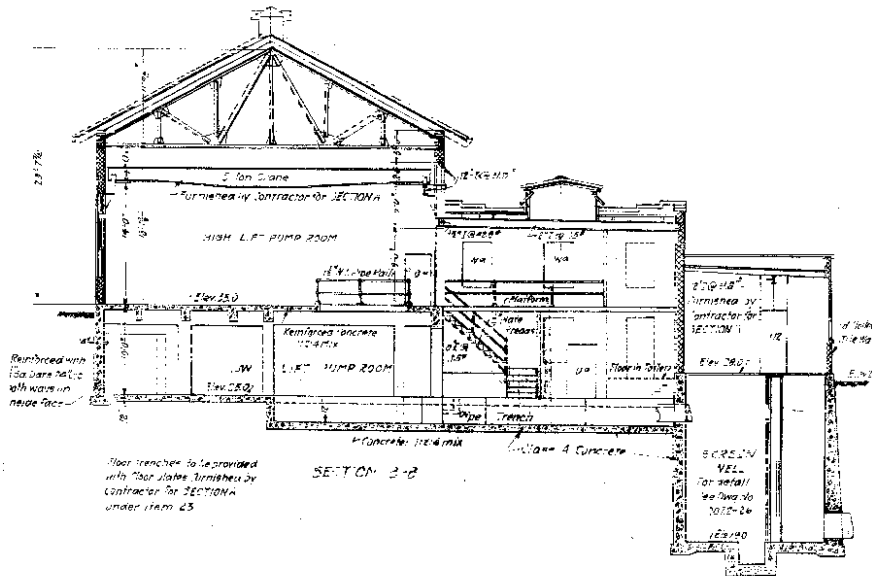
Interior: Spaces to be renovated include the Instrument and Control HUB Room, and Instrument and Control Development Room. Work to also include: Painting of bridge cranes, trolleys, hoists, and exposed steel structure; update lighting, including emergency lighting, replace guard and hand rails, and improve signage. Historic restoration of the 2 shower / rest rooms is also included in the scope of work. It is intended that the building will be subject to tours by the public and shall be designed as such.



Architectural:

The Pump Building was constructed in 1925 at the same time as the Filter House and Chemical House. The Pump Building was constructed as a poured-in-place concrete frame with clay masonry infill at the exterior walls (above grade). The basement stem/retaining walls are poured-in-place concrete. The elevated first floor, which supports pumps and electrical equipment, is a poured-in-place concrete slab with integral concrete beams and supporting columns. The above grade exterior walls have a cement plaster finish at both the interior and exterior. The roof structure consists of steel trusses that bear on the exterior walls and clear span the short dimension of the building. The steel trusses support wood rafters, wood decking, and clay tile roof. There has been a subsequent addition that added two bays of matching construction. It is the intent to rehabilitate the building to make it conducive to tours. This will require refinishing the facility inside and out and provide for safety of visitors.

SHEET 1 OF 15 SHEETS



Casework - Existing casework and shelving in the Instrument and Control Development Room are to be removed.

Finishes – In Office Area: The existing floor and ceiling finishes will be replaced. A new acoustical panel ceiling will be installed in the Office areas. Existing gypsum wall board ceiling soffits are to be painted. New carpet will be installed. New and existing partitions are to be painted. Cleaning and repainting of all items of the building exterior and interior.

Testing and removal of any hazardous materials and removal of any such as asbestos or lead paint are not considered as part of this project scope. The Design Team is not qualified to assess or remove hazardous materials. The Owner will need to contract this scope of work separately.

Equipment:

All office equipment and furnishings at the Instrument and Control HUB and Development Rooms are not included in the contract and will be provided by the Owner. Existing fixed equipment (pumps, etc. to be cleaned and painted).

Mechanical:

The 1st floor I&C HUB Room and 2nd floor I&C Development Room are served via a single zone direct expansion split system (air handler and condensing unit). The air handler is located in a utility room on the 1st floor and ductwork is located above the drop ceilings. The 2 shower / restrooms are served by sidewall exhaust fans mounted low on walls and no safety protection. The direct expansion split system equipment will be re-used and the ductwork and grilles will be re-worked with respect to the new floor plan layout. The historic restoration of the 2 shower / restroom will be served by new ceiling mounted exhaust fans. HVAC controls will consist of a new building DDC energy management system (EMS) and each zone will have individual temperature control. The exhaust fans will be controlled by a light switch.

Plumbing:

The historic restoration of the 2 shower / restroom will include replacement of the flush valve water closets, wall mounted sinks and built in shower. Existing sanitary, hot and cold water piping will be reused as much as possible.

Electrical:Power Distribution:

The new work should anticipate some new receptacles and new branch circuits from existing panels. Some new power is expected to be required for the remodeled space and new workstations in the I & C Hub Room, and the I & C Development Room.

Major replacement or upgrades to the main service or main power distribution equipment would not be included. The extent of the power distribution work is dependent upon the extent of the remodeling and renovations.

Interior Lighting:

The interior should anticipate replacement of the existing lighting with new LED type luminaires in the I & C Hub Room, and the I & C Development Room. We expect to utilize mostly a recessed, 2'x4', type luminaire for the general lighting in acoustical tile ceilings. New lighting will be LED.

New exit signs and emergency egress lighting should be provided using integral battery back-up.

New occupancy sensors will be required in order to meet code. Dimming control versus standard on/off switches should be evaluated for each area.

The only lighting that would remain would be in areas that are not remodeled.

Voice and Data Network

The voice and data network cabling and outlets should be anticipated to be new in the I & C Hub Room, and the I & C Development Room. Voice and data cabling cannot be sliced and extended, so the remodeling and renovating of the spaces will likely require new cabling and new outlets to be installed to suit the space. We would recommend new category 6 cabling back to an existing data rack. Major upgrades to the network, such as new rack and new fiber cable backbone would not be expected to be included.

Fire Alarm System

There was no fire alarm system observed in this building. A fire alarm system is not expected to be required by code based upon the occupancy type (F-2) and number of occupants.

Fire Protection:

The existing building does not have a fire protection system. Per the Florida Building Code (5th Edition, 2014) the existing Pump Building is interpreted to be a Low-hazard Factory Industrial (F-2) occupancy classification. The interpreted construction type is Type III A. The allowable floor area for this occupancy and construction type is 28,500 gross square feet. The calculated gross square footage of the building is 14,500. The Pump Building would not be required to have a fire protection system installed.

New fire extinguishers should be provided in the renovated / remodeled areas.

SITE / PARKING IMPROVEMENTS

Program:

Analyze existing parking needs and develop a plan for parking on the campus including expanding capacity at the Maintenance Building to accommodate the new Conference Center. Scope also includes staff access improvements near the main entry. In essence assessing the current parking situation for the purpose of developing a plan to improve existing conditions and provide for the future. The final parking scope will be determined at the Design Phase when reconfigurations of existing paved areas and opportunities for expansion are investigated. Alternate layouts will be drafted and selected based on balancing cost and need.

The following site access and parking opportunities will be investigated:

Site Access: Access to the staff parking lot is to be expanded / widened to accommodate larger vehicles and vehicles towing trailers. See item #14 on the following Site Plan.

Parking – Reconfigure / Restripe Existing: More parking is needed to support the new Third Floor Conference Center. Parking at the existing paved area adjacent to the Maintenance Building is limited. This paved area can be resurfaced, reconfigured and restriped to accommodate additional surface parking. See item #10 on the following Site Plan.

Parking – Additional Visitor Parking: If additional parking is needed to support the Maintenance Conference Center there is opportunity to utilize existing near-by open space. See item #11 on the following Site Plan.

Parking – Additional Staff: The facility staff has proposed expanding the existing staff parking area to provide more staff parking. See item #13 on the following Site Plan.

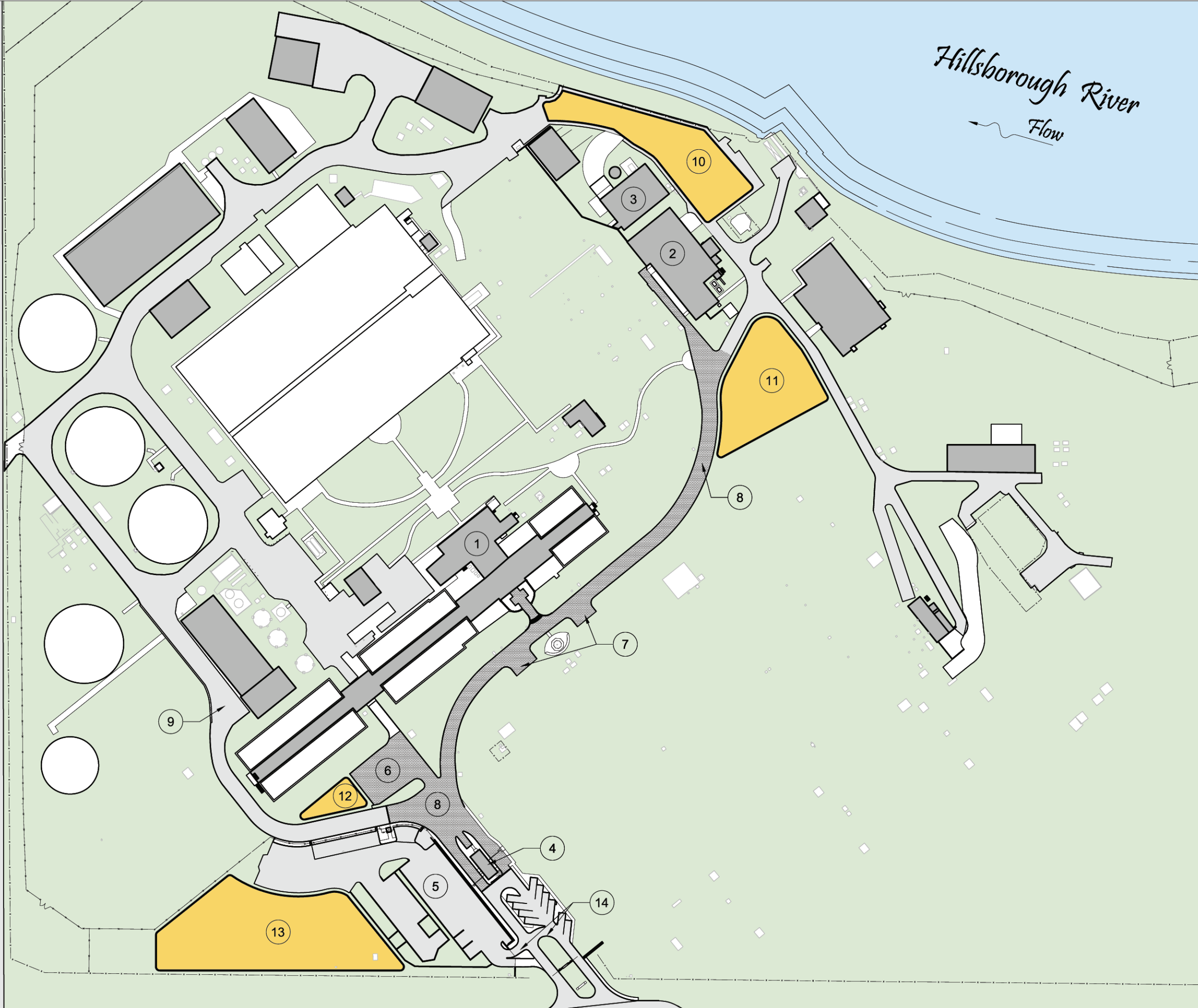
Parking – Additional Fleet: The facility staff has indicated there are issues with the existing fleet parking area opposite the entry drive from the staff parking area. This parking area is reserved for fleet vehicle parking after hours. At times there are vehicles parked on the adjacent grassed area in addition to the designated brick paved lot. This area will be reviewed to determine if the existing brick paved area can be reconfigured or if there is a need to expand. See items #6 and #12 on the following Site Plan.

Hillsborough River
Flow

DRAWING LEGEND

- 1. ADMINISTRATION BUILDING
- 2. MAIN PUMP BUILDING
- 3. MAINTENANCE BUILDING
- 4. SECURITY BUILDING
- 5. STAFF PARKING
- 6. FLEET PARKING (BRICK PAVING)
- 7. VISITOR PARKING
- 8. ACCESS DRIVE (BRICK PAVING)
- 9. ACCESS DRIVE (ASPHALT PAVING)
- 10. RECONFIGURE / RESTRIPE PARKING AREA (15,000 SF)
- 11. OPPORTUNITY FOR ADDITIONAL PARKING (12,500 SF)
- 12. OPPORTUNITY TO EXPAND FLEET PARKING (3,000 SF)
- 13. OPPORTUNITY TO EXPAND STAFF PARKING (28,000 SF)
- 14. EXPAND ACCESS TO STAFF LOT FOR LARGER VEHICLES AND VEHICLES WITH TRAILERS

SITE PLAN - PARKING AND ACCESS

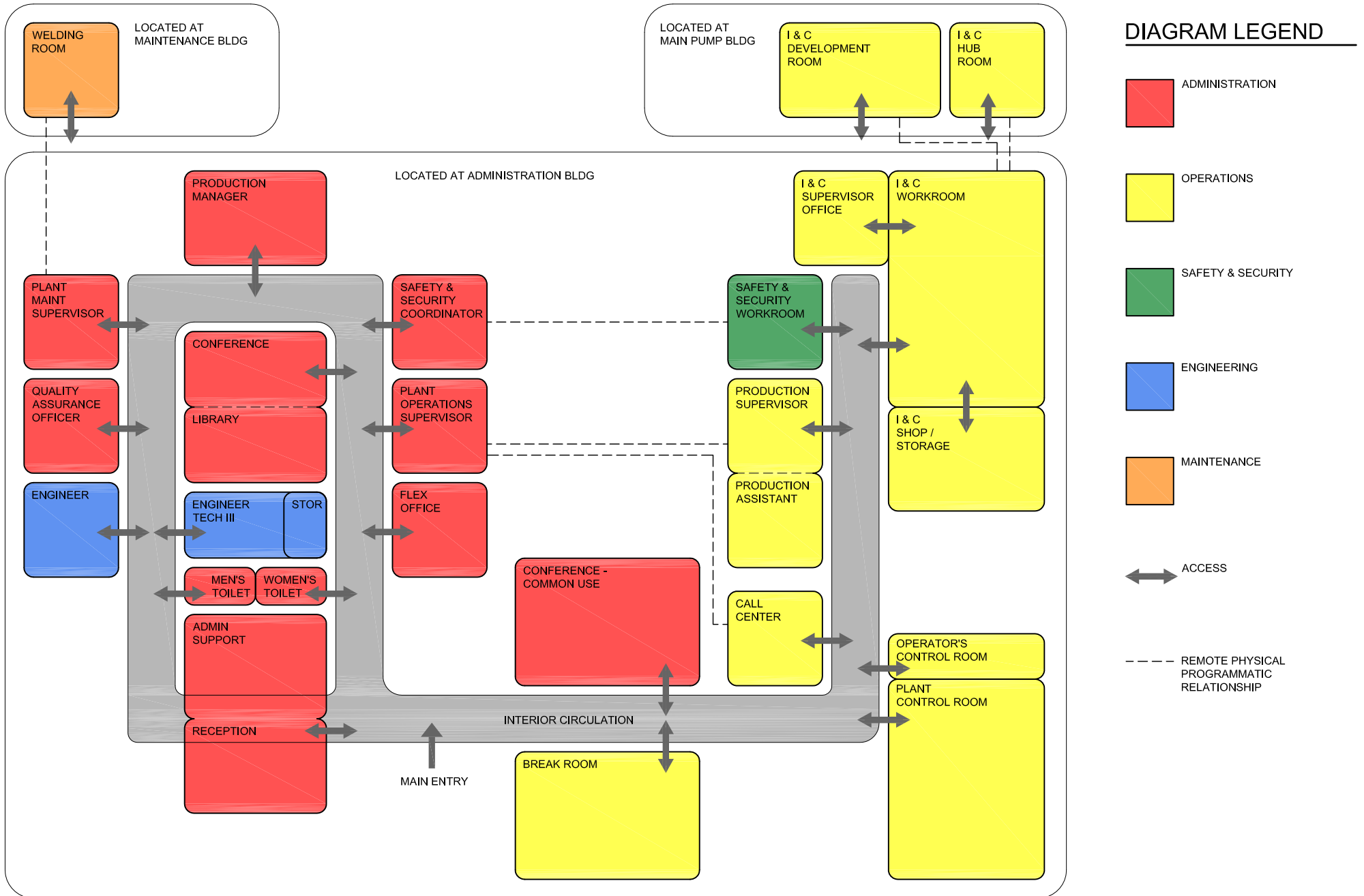


SCHEDULE OF SPACES

**DAVID L. TIPPIN WTF BLDG SITE IMPROVEMENTS
SCHEDULE OF SPACES**

ADMINISTRATION	EXISTING SPACE	ROOM	POP	FLOOR	BLDG
OFFICES - SECTION HEADS	Y	5	5	2nd	ADMIN
RECEPTION/ADMINISTRATION	Y	1	1	2nd	ADMIN
CONFERENCE ROOM - ADMINISTRATION	Y	1	4-6	2nd	ADMIN
LIBRARY	N	1		2nd	ADMIN
MEN'S ROOM	Y	1		2nd	ADMIN
LADIES ROOM	Y	1		2nd	ADMIN
CONFERENCE ROOM - COMMON USE	Y	1		1st	ADMIN
FLEX OFFICE	N	1	1	2nd	ADMIN
ENGINEERING					
OFFICE - ENGINEER	Y	1	1	2nd	ADMIN
WORK AREA	Y	1	2	2nd	ADMIN
STORAGE	N				ADMIN
OPERATIONS					
I & C WORKROOM		1		1st	ADMIN
I & C SUPERVISOR OFFICE	Y		1		ADMIN
I & C WORKROOM	Y		7		ADMIN
OPERATORS		1		1st	ADMIN
PRODUCTION SUPERVISOR	Y		1		ADMIN
PRODUCTION ASSISTANT	Y		1		ADMIN
SHOP / STORAGE	Y			1st	ADMIN
PLANT - CONTROL ROOM	Y	1		NIC	ADMIN
OPERATORS CONTROL ROOM	Y	1	8	NIC	ADMIN
BREAK ROOM	Y	1	10	1st	ADMIN
CALL CENTER	Y	1	1	1st	ADMIN
I & C DEVELOPMENT ROOM	Y	1	3	2nd	PUMP
I & C HUB ROOM	Y	1	1	1st	PUMP
RESTROOM / SHOWER / LOCKER	Y	2		1st & 2nd	PUMP
SAFETY & SECURITY					
SECURITY SYSTEM SPECIALIST WORK STATION	Y	1	1	1st	ADMIN
MAINTENANCE					
WELDING	Y	1		1st	MAINT

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING & SITE IMPROVEMENTS PROGRAM ADJACENCY DIAGRAM



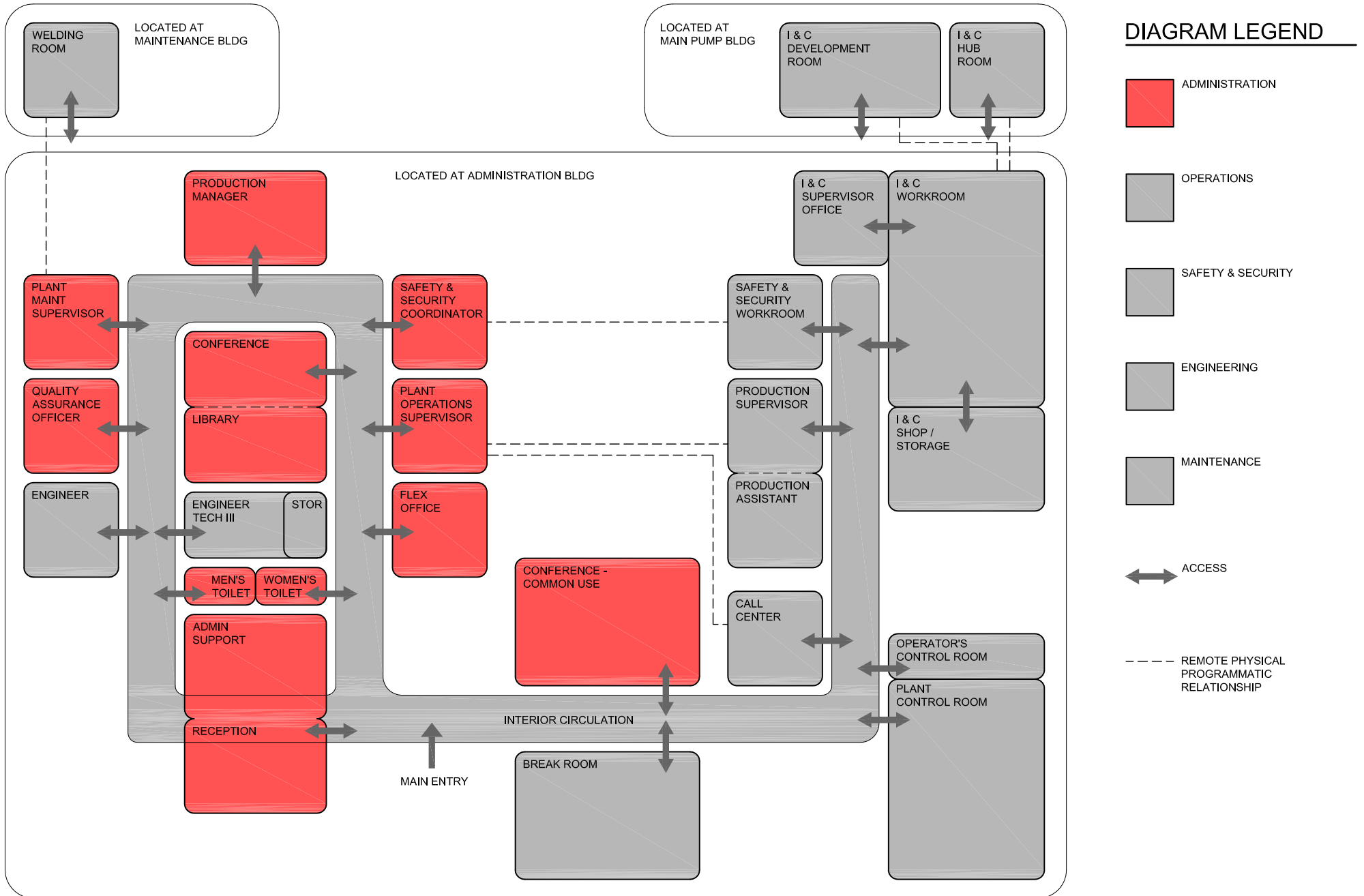
**SECTION SURVEYS
ROOM DATA SHEETS
RELATIONSHIP DIAGRAMS**

Project Name: **DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS**

Job Number: **1501**

Department: **ADMINISTRATION**

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING & SITE IMPROVEMENTS PROGRAM ADJACENCY DIAGRAM



DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

WAI Job #: 1501
Issue Date: 05.26.15
Due Date: Received by WAI on 06.10.15

1 ORGANIZATIONAL INFORMATION

DEPARTMENT: **ADMINISTRATION**

SECTION: _____

Please attach an organizational chart of your department, if available.

2 APPROVALS

QUESTIONNAIRE COMPLETED BY: John Ranon
Title: Production Manager
Date: 06.09.15
Phone: 813.231.5255

DEPARTMENT MANAGER: _____
Title: _____

SIGNATURE OF DEPARTMENT MANAGER: _____

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

3 GENERAL ORGANIZATION AND ADJACENCIES

A. Give a brief description of your department's function and responsibilities.

Management and operation of all facets of the D L Tippin Water Treatment Facility: - Treatment Plant, Hillsborough River Dam, - Solid Processing, AND Storage Tanks (5)

B. Identify positions within your department that have important communications links or which need to be in close physical proximity to one and other. List also any required adjacencies to support functions or equipment. Please prioritize these adjacencies.

Chris Wetz - Operations Control Room; Dale Skinner - Operations Control Room; Chris Wetz / N. Robinson; Israel Vigier - Security Guard House

C. Identify other departments with which you have important communications links or which need to be in close proximity. Please prioritize these adjacencies.

Admin Support, Reception, Library, Conference Space (for Admin use at 2nd Floor)

Additional Comments:

A Flex Office / Workstation is desired to facilitate City Staff visiting from off site. Upgrade of the existing second floor toilet facilities is recommended (including accessibility) if the project budget can support.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

4 NUMBER OF POSITIONS

Indicate all positions that comprise your department. Please indicate all vacant positions to be filled.

Position/Title		Current	3 Years beyond current year	Office/Workstation Square Footage
Carlos Diaz Estrada	Plant Maint. Supervisor	1		COT Standard
Christopher Wetz	Plant Operations Supervisor	1		COT Standard
Dawn Lei	Quality Assurance Officer	1		COT Standard
Israel Vigier	Safety / Security Coordinator	1		COT Standard
Debbie Lambert	Administ Admin Administrative Support	1		COT Standard
John Ranon	Production Manager	1		COT Standard

6

Indicate the current number of each position type in column above.
 Indicate future growth in columns above.

Additional Comments:

The Operations Production Supervisor office can be relocated closer to the Operations Program Functions

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

5 SPECIAL AREAS OR REQUIREMENTS

A. List any special or common use areas that are required by your department:

Admin Support, Reception, Library, Conference Space (for Admin use at 2nd Floor)

B. List any special requirements of your department:

C. List any special equipment and its requirements used by your department (Please list only shared equipment not located at individual workstations):

Copy, Scan, Fax Machine Equipment listed is to be included at the Admin Support Area. SMART Boards at Conference Rooms.

Additional Comments:

The entire plant is served by an emergency power system; individual work areas do not have their own redundant power source.

6 SECURITY ISSUES

Describe any security issues or requirements pertinent to the operation of your department:

Limited key access after hours to individual offices Key access to be traditional key / lock system (not card reader or key pad)

7 CONFIDENTIALITY

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

Describe any specific needs you may have for confidentiality of work and filing or storage:

Lockable file cabinets. Most physical confidential materials are contained within locked offices and on secure computers.

8 TECHNOLOGY

Describe any trends in technology that may impact your department in the future:

None anticipated.

9 FUNCTIONS NOT LISTED ELSEWHERE

Indicate any present or future requirements for areas, changes in procedure, or other foreseeable changes that will affect the space needs of your department.

None

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

10 WORK HOURS

Indicate the time periods personnel in your department are scheduled to be at work.

6:30 am to 6:00 pm

11 VISITORS

Please describe the frequency of contact your department has with the general public and other visitors. Also, describe how the public or other visitors are to be received.

Visitors are either: 1 - met downstairs or at the entry to the Filter / Admin Bldg, or 2 - Come directly upstairs to the executive suite of offices.

Department Survey - Exterior

SECTION:

RELATIONSHIPS:

All private staff vehicles are required to park in the staff lot adjacent to the main entry.

PARKING REQUIREMENTS

Description	Spaces (#)	Space Size		Paved	Secure	Cover Clearance	Remarks
1 Admin Staff	7						
2							
3							
4							
5							
Spaces Subtotal:		7					

Parking Remarks: 7 spaces - All employees in the Employee Parking Lo

EXTERIOR AREA REQUIREMENTS

Description	SQ FT	Cover Clearance		Paved	Secure	Access Restriction	Remarks
1							
2							
3							
4							
5							
Area Subtotal (sq ft):		0					

Exterior Area Remarks: None

ACCESS REQUIREMENTS

Tractor trailer access: N/A

Drive-in access: _____

Access Remarks:

Department Survey - Interior

ROOM NAME:	RECEPTION / ADMINISTRATION SUPPORT	
ROOM USE:	Waiting area for visitors	
NUMBER OF ROOMS:	1	OCCUPANCY: 1 Staff and 2 visitors
HOURS OF USE:	6:30am to 6:00pm (M-F)	ROOM AREA: Equal to existing min.
RELATIONSHIPS:	Adjacent to Administrative Offices. Close proximity to Conference	

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input checked="" type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input checked="" type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Guest Chairs					E				
2 Small Table					E				
3 Desk					E				
4 File Cabinets					E				Lockable
5 Copy / Fax	1				E	x	x	x	
6 Computer and Monitor	1				E		x	x	
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

It is desired for finishes and lighting to be upgraded / replaced if this space is to remain in its current location. It is desired for ceiling heights to be increased if feasible. All furniture existing.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	OFFICE		
ROOM USE:	Section Head Office		
NUMBER OF ROOMS:	6	OCCUPANCY:	1 plus 2 guests
HOURS OF USE:	6:30am to 6:00pm (M-F)	ROOM AREA:	Equal to existing min.
RELATIONSHIPS:	Adjacent to Reception/Admin Support. Near Conference, Library		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input checked="" type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Credenza	1				E				
3 Chair	1				E				
4 Guest Chair	2				E				
5 Computer and Monitor	1				E		x	x	
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

It is desired for finishes and lighting to be upgraded / replaced if this space is to remain in its current location. It is desired for ceiling heights to be increased if feasible. All furniture existing.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **FLEX OFFICE**

ROOM USE: Work Space for Visiting City Staff

NUMBER OF ROOMS: 1 OCCUPANCY: 1

HOURS OF USE: 6:30am to 6:00pm (M-F) ROOM AREA: 100 sf

RELATIONSHIPS: Adjacent to Reception/Admin Support. Near Conference, Library

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input type="checkbox"/>	Temp (High/Low)
<input type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input checked="" type="checkbox"/>	Paint	9'-0"
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Qty	Description	SIZE			Status	TeleCom		Elec	Remarks
		#	L	W		H	Phone		
1	Desk		60"	30"					
2	Chair								
3	Computer and Monitor	1					x	x	
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Desired for the office to be separated acousitcally (walls, doors).

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **CONFERENCE - ADMIN**

ROOM USE: Conference for Admin Staff

NUMBER OF ROOMS: 1 OCCUPANCY: 6

HOURS OF USE: 6:30am to 6:00pm (M-F) ROOM AREA: 200 sf

RELATIONSHIPS: Adjacent to Library (possible contiguous). Near Admin Offices

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input checked="" type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint	9'-0"
<input type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Conference Table	1	72"	36"		C				
2 Chairs	6				C				
3 SMART Board					C		x	x	
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

To be located at second floor. Possibly contiguous with Library.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	CONFERENCE - COMMON USE		
ROOM USE:	Conference for All Facility Staff		
NUMBER OF ROOMS:	1	OCCUPANCY:	Existing
HOURS OF USE:	6:30am to 6:00pm (M-F)	ROOM AREA:	Existing
RELATIONSHIPS:	Existing Space to remain in its current location configuration		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input checked="" type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input checked="" type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input checked="" type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Conference Table					E				
2 Conference Chairs					E				
3 SMART board					E		x	x	
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

It is desired for finishes and lighting to be upgraded / replaced. All furniture existing.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **LIBRARY**

ROOM USE: Library

NUMBER OF ROOMS: 1 OCCUPANCY: 2

HOURS OF USE: 6:30am to 6:00pm (M-F) ROOM AREA: 150 sf

RELATIONSHIPS: Adjacent to Admin Conf (possible contiguous). Near Admin Offices

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
	Fluorescent		Telephone	x	HVAC
x	Incandescent		Data		Air Change Freq.
x	LED		Printer		Rel Humidity
	Emergency Power		Clock		Exhaust
	UPS (Uninterrupted Power)		Intercom		Pressure
	Dedicated Outlet		Cable TV	x	Temp (High/Low)
	Electrical Outlet (V)		Video		Fire Supp System
	Dimming Required		Security Camera		Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
x	Carpet	x	Paint		Paint		
	VCT	x	Gypsum Board		Gypsum Board		
	Ceramic Tile		Ceramic Tile	x	Acoustical Panel		
	Other		Other		Other		

CASEWORK

	Base Cabinet (length)		Drawers		Lockable
	Wall Cabinet (length)		Open Shelving		Acid Resistant
	Countertop (height)		Special Drawer		Sink
	Kneespace (quantity)		Tall Cabinet (7'-0")	x	Book Shelves

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Book Shelves	3	36"	14"	72+	C				Owner to confirm
2									
3									
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

To be located at second floor. Possibly contiguous with Admin Conference Room. Amount of shelving indicated for desing purposes. Owner to confirm quantity of desired shelving.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **MEN'S ROOM**

ROOM USE: Toilet Room

NUMBER OF ROOMS: 1 OCCUPANCY: 1

HOURS OF USE: 6:30am to 6:00pm (M-F) ROOM AREA: Code Required Minimum

RELATIONSHIPS: Close proximity to Admin and Engineering Program Spaces

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input type="checkbox"/>	Telephone	<input type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input checked="" type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input type="checkbox"/>	Temp (High/Low)
<input type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input type="checkbox"/>	Carpet	<input type="checkbox"/>	Paint	<input checked="" type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input checked="" type="checkbox"/>	Gypsum Board	
<input checked="" type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Water Closer	1				B				
2 Lavarory	1				B				
3									
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Existing toilet rooms are out dated and do not meet current code requirements for accessibility. It is desired to provide new accessible toilet rooms if feasible.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **MEN'S ROOM**

ROOM USE: Toilet Room

NUMBER OF ROOMS: 1 OCCUPANCY: 1

HOURS OF USE: 6:30am to 6:00pm (M-F) ROOM AREA: Code Required Minimum

RELATIONSHIPS: Close proximity to Admin and Engineering Program Spaces

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
	Fluorescent		Telephone		HVAC
	Incandescent		Data		Air Change Freq.
x	LED		Printer		Rel Humidity
	Emergency Power		Clock	x	Exhaust
	UPS (Uninterrupted Power)		Intercom		Pressure
	Dedicated Outlet		Cable TV		Temp (High/Low)
	Electrical Outlet (V)		Video		Fire Supp System
	Dimming Required		Security Camera		Access Control

FINISHES

Floor		Walls		Ceiling		Height
	Carpet		Paint	x	Paint	
	VCT		Gypsum Board	x	Gypsum Board	
x	Ceramic Tile	x	Ceramic Tile		Acoustical Panel	
	Other		Other		Other	

CASEWORK

	Base Cabinet (length)		Drawers		Lockable
	Wall Cabinet (length)		Open Shelving		Acid Resistant
	Countertop (height)		Special Drawer		Sink
	Kneespace (quantity)		Tall Cabinet (7'-0")		Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Water Closer	1				B				
2 Lavarory	1				B				
3									
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Existing toilet rooms are out dated and do not meet current code requirements for accessibility. It is desired to provide new accessible toilet rooms if feasible.

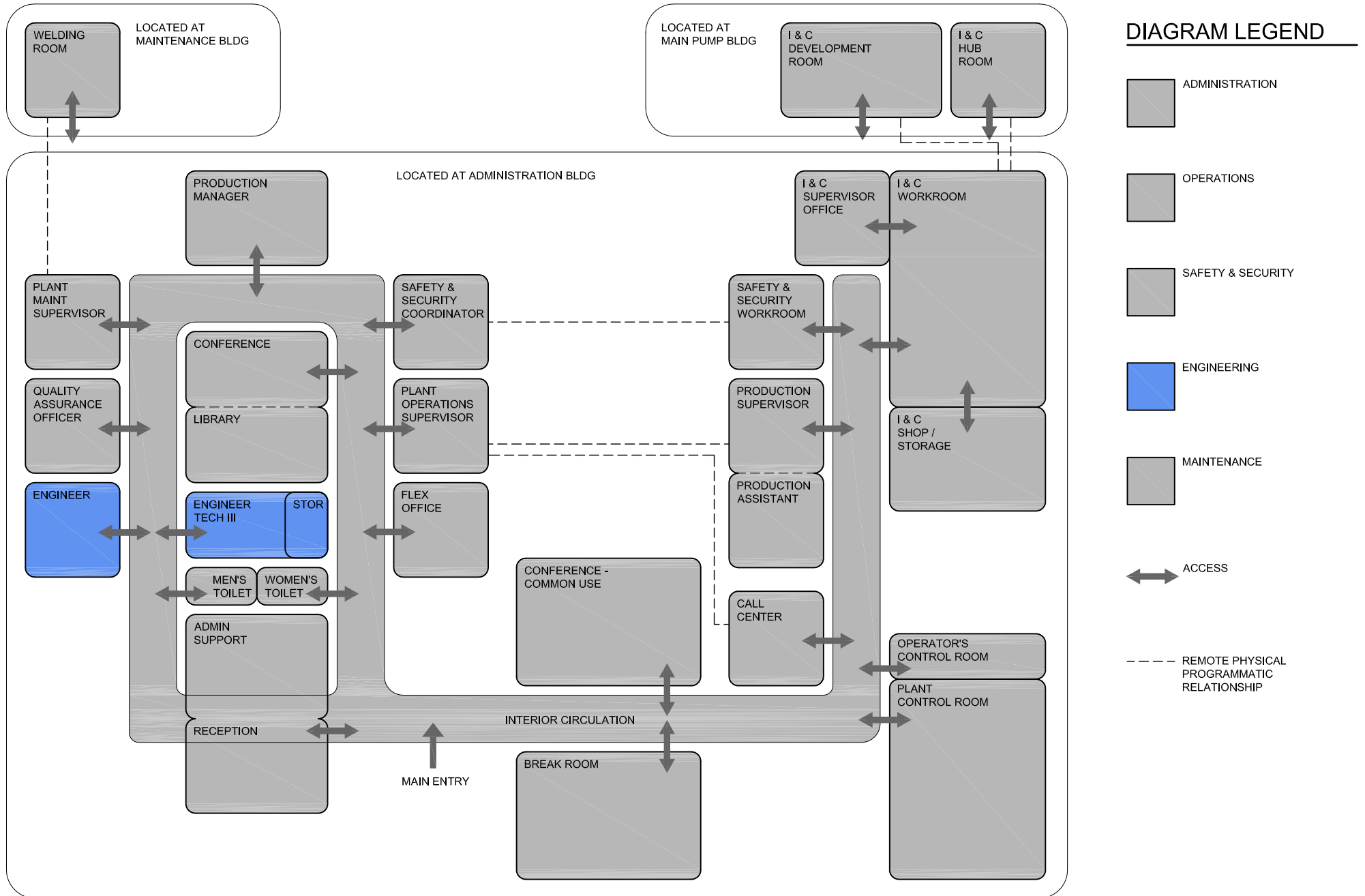
WILDERARCHITECTURE, INC.
9/10/2015

Project Name: **DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS**

Job Number: **1501**

Department: **ENGINEERING**

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING & SITE IMPROVEMENTS PROGRAM ADJACENCY DIAGRAM



DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

WAI Job #: 1501
Issue Date: 05.26.15
Due Date: Received by WAI on 06.10.15

1 ORGANIZATIONAL INFORMATION

DEPARTMENT: ENGINEERING

SECTION: _____

Please attach an organizational chart of your department, if available.

2 APPROVALS

QUESTIONNAIRE COMPLETED BY: Rory Jones
Title: Engineer III
Date: 7/1/15
Phone: 231-5291

DEPARTMENT MANAGER: _____
Title: _____

SIGNATURE OF DEPARTMENT MANAGER: _____

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

3 GENERAL ORGANIZATION AND ADJACENCIES

A. Give a brief description of your department's function and responsibilities.

Provide engineering services for the Water Production staff. Manage Capital Improvement Projects and perform/oversee evaluations and studies.

B. Identify positions within your department that have important communications links or which need to be in close physical proximity to one and other. List also any required adjacencies to support functions or equipment. Please prioritize these adjacencies.

There is only one other person within the Engineering Section. Their physical proximity to me is desired to be close but it is not as critical as my need to be close to the general leadership (Administration Section Heads) and decision making group, and the ability to conduct private conversation.

C. Identify other departments with which you have important communications links or which need to be in close proximity. Please prioritize these adjacencies.

Plant Manager - John Ranon

Operations Manager - Chris Wetz

Maintenance Manager - Carlos Estrada

Security Manager - Israel Vigier

Additional Comments:

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

4 NUMBER OF POSITIONS

Indicate all positions that comprise your department. Please indicate all vacant positions to be filled.

Position/Title		Current	3 Years beyond current year	Office/Workstation Square Footage
Rory Jones	Engineer III	1		
Ben Freamon	Engineering Technician III	1		
Future	Co-Op		1	

2 1

Indicate the current number of each position type in column above.
 Indicate future growth in columns above.

Additional Comments:

Given the amount of time we call upon our Director and Chief Engineer, we may want to consider having a "flex" office to accommodate the occasional downtown visitor to freely work. Also, may to consider a future Co-Op position during space study.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

5 SPECIAL AREAS OR REQUIREMENTS

A. List any special or common use areas that are required by your department:

Access to Copy/Scan/Fax Machine and Breakroom

B. List any special requirements of your department:

Need a small storage area to house general tools/equipment like: shovel, hammer, survey tripod, transit, and general personal protection equipment.

C. List any special equipment and its requirements used by your department (Please list only shared equipment not located at individual workstations):

Our Eng. Tech III will be responsible for digitizing our as-builts utilizing an incoming HP design jet printer and scanner. This individual will also be responsible for organizing and maintaining the Library. This individual should have adequate space to layout 24"x 36" plan sets and be in general proximity to the Library
Large format printer/scanner is a HP DesignJet T2500 eMultifunction Printer.

Additional Comments:

The entire plant is served by an emergency power system; individual work areas do not have their own redundant power source.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

6 SECURITY ISSUES

Describe any security issues or requirements pertinent to the operation of your department:

7 CONFIDENTIALITY

Describe any specific needs you may have for confidentiality of work and filing or storage:

The Engineer III general work scope requires decisions and discussion that may pertain to surrounding individuals. It is desired to be in a location that allows free discussion, within my office, to conduct business.

8 TECHNOLOGY

Describe any trends in technology that may impact your department in the future:

Use of a SMART board has proven to be a valuable resource in meetings

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

9 FUNCTIONS NOT LISTED ELSEWHERE

Indicate any present or future requirements for areas, changes in procedure, or other foreseeable changes that will affect the space needs of your department.

10 WORK HOURS

Indicate the time periods personnel in your department are scheduled to be at work.

Times will vary significantly. We only work during the day shift. General hours are: 5:30AM to 6:00PM

11 VISITORS

Please describe the frequency of contact your department has with the general public and other visitors. Also, describe how the public or other visitors are to be received.

The frequency varies significantly. The Engineering Tech III does not receive visitors very often.
The Engineer III receives visitors weekly and the location, of the visits, varies between conference rooms and the private office. Visitors check-in with security and usually report to conference room or office.

Additional Comments:

Department Survey - Exterior

SECTION:

RELATIONSHIPS:

--

PARKING REQUIREMENTS

#	Description	Spaces (#)	Space Size	Paved	Secure	Cover Clearance	Remarks
1	Engineer	1					
2	Technician	1					
3	Co Op	1					
4							
5							
Spaces Subtotal:		3					

Parking Remarks: 3 spaces - All employees in the Employee Parking Lo

EXTERIOR AREA REQUIREMENTS

#	Description	SQ FT	Cover Clearance	Paved	Secure	Access Restriction	Remarks
1							
2							
3							
4							
5							
Area Subtotal (sq ft):		0					

Exterior Area Remarks: None

ACCESS REQUIREMENTS

Tractor trailer access: N/A

Drive-in access: _____

Access Remarks:

--

Department Survey - Interior

ROOM NAME:	ENGINEERING OFFICE		
ROOM USE:	Office		
NUMBER OF ROOMS:	1	OCCUPANCY:	1 staff and 2 guests
HOURS OF USE:	5:30am to 6:00pm	ROOM AREA:	120 sf
RELATIONSHIPS:	Close proximity to Administrative Offices and Eng Workroom.		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint		
<input type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board		
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel		
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other		

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Credenza	1				E				
3 Chair	1				E				
4 Guest Chair	2				E				
5 Computer	1				E		x	x	
6 Monitor	1				E			x	
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

All furniture and equipment are existing to be relocated.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **ENGINEERING WORKROOM**

ROOM USE: _____

NUMBER OF ROOMS: 1 OCCUPANCY: 2

HOURS OF USE: 5:30am to 6:00pm ROOM AREA: 150 sf

RELATIONSHIPS: Close proximity to Engineer and direct access to a storage room.

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
	Fluorescent	x	Telephone	x	HVAC
	Incandescent	x	Data		Air Change Freq.
x	LED		Printer		Rel Humidity
	Emergency Power		Clock		Exhaust
	UPS (Uninterrupted Power)		Intercom		Pressure
	Dedicated Outlet		Cable TV	x	Temp (High/Low)
x	Electrical Outlet (V)		Video		Fire Supp System
	Dimming Required		Security Camera		Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
x	Carpet	x	Paint		Paint		
	VCT	x	Gypsum Board		Gypsum Board		
	Ceramic Tile		Ceramic Tile	x	Acoustical Panel		
	Other		Other		Other		

CASEWORK

	Base Cabinet (length)		Drawers		Lockable
	Wall Cabinet (length)		Open Shelving		Acid Resistant
	Countertop (height)		Special Drawer		Sink
	Kneespace (quantity)		Tall Cabinet (7'-0")		Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Desk	1				E				
2 Credenza	1				E				
3 Chair	1				E				
4 Guest Chair	2				E				
5 Computer	2				E		x	x	
6 Monitor	3				E			x	
7 Flat File	1				E				
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

All furniture and equipment are existing to be relocated. Space to be sized to accommodate a future Co-op work station. Flat File to be utilized as a drawing layout area.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	STORAGE ROOM		
ROOM USE:	Storage		
NUMBER OF ROOMS:	<u>1</u>	OCCUPANCY:	<u>0</u>
HOURS OF USE:	<u>5:30am to 6:00pm</u>	ROOM AREA:	<u>50 sf</u>
RELATIONSHIPS:	<u>Access directly from Engineering Workroom</u>		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input type="checkbox"/>	Telephone	<input type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint		
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board		
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel		
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other		

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input checked="" type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	D	W	H	*	Phone	Data	V	
1 Open Shelving	2	18"	36"	72"	E				
2									
3									
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

All furniture and equipment are existing to be relocated. Shelving indicated sized for design purposes. Owner to confirm quantity.

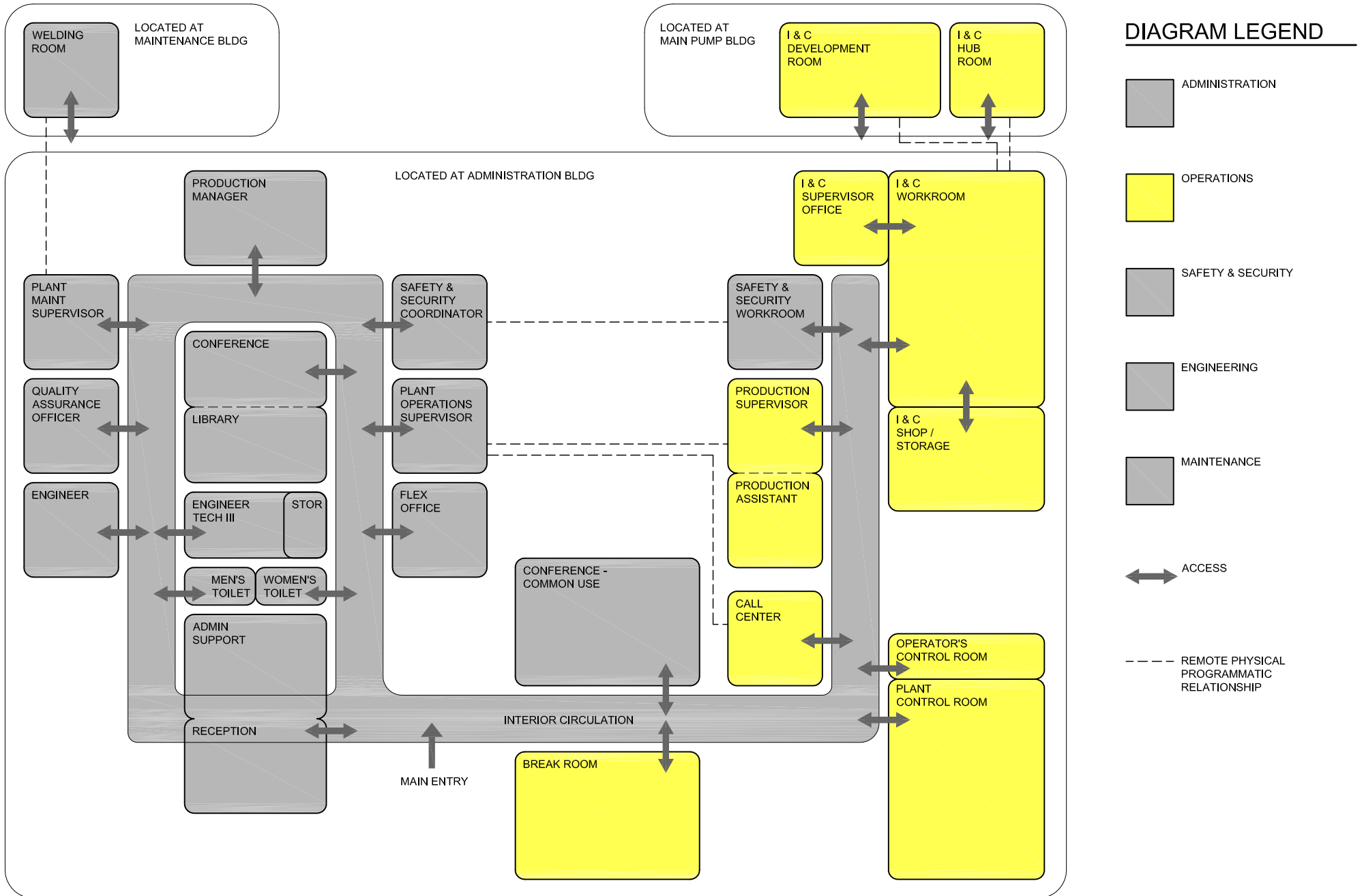
WILDERARCHITECTURE, INC.
9/10/2015

Project Name: **DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS**

Job Number: **1501**

Department: **OPERATIONS**

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING & SITE IMPROVEMENTS PROGRAM ADJACENCY DIAGRAM



DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

WAI Job #: 1501
Issue Date: 05.26.15
Due Date: Received by WAI on 06.10.15

1 ORGANIZATIONAL INFORMATION

DEPARTMENT: **OPERATIONS**

SECTION: _____

Please attach an organizational chart of your department, if available.

2 APPROVALS

QUESTIONNAIRE COMPLETED BY: Chris Wetz
Title: Plant Operations Supervisor
Date: 06.17.15
Phone: 727-215-3514

DEPARTMENT MANAGER: _____
Title: _____

SIGNATURE OF DEPARTMENT MANAGER: _____

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

3 GENERAL ORGANIZATION AND ADJACENCIES

A. Give a brief description of your department's function and responsibilities.

Operations works out of the console (at the Plant Control Room) as the hub of the facilities process control. Instrument and Control (I&C), Maintenance, and the utilities crew interact with the operation all day long to coordinate their PM's and CM's.

B. Identify positions within your department that have important communications links or which need to be in close physical proximity to one and other. List also any required adjacencies to support functions or equipment. Please prioritize these adjacencies.

The Operators on the console (2) (at the Plant Control Room) need to be close to each other for coordination of running the treatment process and the distribution systems. The 3rd operator works at the we lab (within the Plant Control Room) to run tests of processes. The call center is in the area next to the console but doesn't necessarily have to be close to the console. It would be nice to have the Production Supervisor and Operations Scheduling Technician close to the console.

C. Identify other departments with which you have important communications links or which need to be in close proximity. Please prioritize these adjacencies.

I&C needs to be close to the Operations console since we control the whole facility and distribution listens via SCADA communication. The I&C program functions (I&C Supervisor, I&C Workroom, and the I&C Shop / Storage) are to be located near the Plant Control Room.

Additional Comments:

Shower and locker facilities for Operations staff are already provided for elsewhere and are not in the project scope.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

4 NUMBER OF POSITIONS

Indicate all positions that comprise your department. Please indicate all vacant positions to be filled.

Position/Title	Current	3 Years beyond current year	Office/Workstation Square Footage
Christopher Wetz Plant Operations Supervisor	1		
Dale Skinner Operations Production Supervisor	1		
Nelia Robinson Operations Scheduling Assistant	1		
Patrick McPhee Assistant Production Supervisor	1		
Carlos Colina I&C Electrical Technician	1		
Randy Bonk I&C Electrical Technician	1		
Keith Merrill I&C Electrical Technician	1		
Zachary Mark Rodgers I&C Electrical Technician	1		
Frank Segui-Rodriguez I&C Electrical Technician	1		
Kenneth Thompson I&C Electrical Technician	1		
IN Console			
Rotating Shifts 18 people Team Leader			
Production Tech II	18		
Production Tech III			

28

Indicate the current number of each position type in column above.
 Indicate future growth in columns above.

Additional Comments:

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

5 SPECIAL AREAS OR REQUIREMENTS

A. List any special or common use areas that are required by your department:

Call Center Area, Admin Support (for Section Head), Break Room

B. List any special requirements of your department:

Console (at the Plant Control Room) needs to be close to SCADA Server room (Operators Control Room)

C. List any special equipment and its requirements used by your department (Please list only shared equipment not located at individual workstations):

Copy, Scan, Printer/phones for Call Center

Additional Comments:

The Plant Control Room and Operators Control Room (SCADA Server Room) are not in the project scope. Upgrading finishes will be considered. The Design team will coordinate efforts with the firm contracted to make upgrades to these two spaces. The entire plant is served by an emergency power system; individual work areas do not have their own redundant power source.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

6 SECURITY ISSUES

Describe any security issues or requirements pertinent to the operation of your department:

Console should be cotained area in case oh chlorine leak along with SCADA Server room.

7 CONFIDENTIALITY

Describe any specific needs you may have for confidentiality of work and filing or storage:

Water Operations falls under the Homeland security Act.

8 TECHNOLOGY

Describe any trends in technology that may impact your department in the future:

Vitual Technology in SCADA operations, remote operations, wireless network.

9 FUNCTIONS NOT LISTED ELSEWHERE

Indicate any present or future requirements for areas, changes in procedure, or other foreseeable changes that will affect the space needs of your department.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

10 WORK HOURS

Indicate the time periods personnel in your department are scheduled to be at work.

24/7 365 Rotating shifts

11 VISITORS

Please describe the frequency of contact your department has with the general public and other visitors. Also, describe how the public or other visitors are to be received.

Via Call center during evenings and weekends,, tours out maintaing remote sites.

Additional Comments:

Department Survey - Exterior

SECTION:

RELATIONSHIPS:

--

PARKING REQUIREMENTS

Description	Spaces (#)	Space Size	Paved	Secure	Cover Clearance	Remarks
1 Operators	28					varies see below
2						
3						
4						
5						
Spaces Subtotal:	28					

Parking Remarks:

We have various size vehicles from very large off road trucks to compact and mid-size to large sedans and with a few motorcycles thrown in. We would need designated spots for all these sizes.

EXTERIOR AREA REQUIREMENTS

Description	SQ FT	Cover Clearance	Paved	Secure	Access Restriction	Remarks
1						
2						
3						
4						
5						
Area Subtotal (sq ft):	0					

Exterior Area Remarks:

Unsure as what is meant by this

ACCESS REQUIREMENTS

Tractor trailer access: N/A

Drive-in access:

Access Remarks:

We park the boats on trailers behind the warehouse, but would like covered storage for the boats.

Department Survey - Interior

ROOM NAME:	I & C SUPERVISOR OFFICE		
ROOM USE:	Office		
NUMBER OF ROOMS:	<u>1</u>	OCCUPANCY:	<u>1</u>
HOURS OF USE:	<u>6:30am to 6:00pm</u>	ROOM AREA:	<u>100 sf</u>
RELATIONSHIPS:	<u>In close proximity to I & C Workroom</u>		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input checked="" type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint		
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board		
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel		
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other		

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Desk					E				
2 Chair					E				
3 Guest Chair					E				
4 Computer and Monitor							x	x	
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

All furniture and equipment to be existing to remain or relocated.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **I & C WORKROOM**

ROOM USE: Workspace for I & C staff

NUMBER OF ROOMS: 1 OCCUPANCY: 7

HOURS OF USE: 7 AM - 7 PM ROOM AREA: _____

RELATIONSHIPS: Near I & C Supervisor and operations console

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input checked="" type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input checked="" type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Special Outlets	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input checked="" type="checkbox"/>	Security Camera	<input checked="" type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling	
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint
<input type="checkbox"/>	VCT	<input type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel
<input checked="" type="checkbox"/>	Other (sealed concrete)	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other

CASEWORK

<input checked="" type="checkbox"/>	Base Cabinet (48" ea.)	<input type="checkbox"/>	Drawers	<input checked="" type="checkbox"/>	Lockable
<input checked="" type="checkbox"/>	Wall Cabinet (match base)	<input checked="" type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input checked="" type="checkbox"/>	Countertop (30")	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input checked="" type="checkbox"/>	Kneespace (7 stations)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Desk	7								
2 Chairs	7								
3 Computer	7 (1 per station?)								
4 Monitor	14 (2 per station?)								Owner to verify
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

This needs to be a functional workshop with testing stations. Existing workstations are ad hoc utilizing available furniture and casework. Ideally workstations should be built in casework stations with ergonomic chairs (if furniture is to be new). Quantity of computers and monitors appears to vary per work station.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: I & C SHOP STORAGE

ROOM USE: _____

NUMBER OF ROOMS: 1 OCCUPANCY: Varies

HOURS OF USE: 7AM - 7PM ROOM AREA: _____

RELATIONSHIPS: Direct Access to I & C Workroom

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input checked="" type="checkbox"/>	Exhaust
<input checked="" type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input checked="" type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input checked="" type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel	
<input checked="" type="checkbox"/>	Other (Sealed Concrete)	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet	<input checked="" type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Qty	Description	SIZE			Status	TeleCom		Elec	Remarks
		#	L	W		H	Phone		
1	Workstations (work benches)				E				
2	Storage Cabinets				E				
3									
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Existing workstations (benches), storage cabinets to be reused.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	PRODUCTION SUPERVISOR		
ROOM USE:	Office		
NUMBER OF ROOMS:	1	OCCUPANCY:	1
HOURS OF USE:	6:00am to 6:00pm	ROOM AREA:	100 sf
RELATIONSHIPS:	Close proximity to Production Assitant and Plant Control Room		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint		
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board		
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel		
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other		

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Chair	1				E				
3 Computer	1				E		x	x	
4 Monitor	1				E			x	
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Office space can be shared with Production Assistant. Space to be functional, professional looking, and ergonomic.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	PRODUCTION ASSISTANT		
ROOM USE:	Office		
NUMBER OF ROOMS:	1	OCCUPANCY:	1
HOURS OF USE:	6:00am to 6:00pm	ROOM AREA:	100 sf
RELATIONSHIPS:	Close proximity to Production Assitant and Plant Control Room		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height	9'-0"
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint		
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board		
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel		
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other		

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Chair	1				E				
3 Computer	1				E		x	x	
4 Monitor	1				E			x	
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Office space can be shared with Production Supervisor. Space to be functional, professional looking, and ergonomic.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **CALL CENTER**

ROOM USE: Office

NUMBER OF ROOMS: 1 OCCUPANCY: 1

HOURS OF USE: 5pm-9pm Th-Fr, all day Sat ROOM AREA: 100 sf

RELATIONSHIPS: Close proximity to Production Assitant and Plant Control Room

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input checked="" type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling	Height	9'-0"
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Chair	1				E				
3 Computer	1				E		x	x	
4 Monitor	3				E			x	
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Office space to be close to Plant Control Room. Equipment is existing to be relocated.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME: **BREAKROOM**

ROOM USE: Breakroom

NUMBER OF ROOMS: 1 OCCUPANCY: 16-20

HOURS OF USE: 24 hours ROOM AREA: _____

RELATIONSHIPS: Central to all program components

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
	Fluorescent		Telephone	x	HVAC
	Incandescent		Data		Air Change Freq.
x	LED		Printer		Rel Humidity
	Emergency Power	x	Clock		Exhaust
	UPS (Uninterrupted Power)		Intercom		Pressure
	Dedicated Outlet		Cable TV	x	Temp (High/Low)
x	Electrical Outlet (V)	x	Video		Fire Supp System
	Dimming Required		Security Camera		Access Control

FINISHES

Floor		Walls		Ceiling		Height
	Carpet	x	Paint		Paint	
x	VCT	x	Gypsum Board		Gypsum Board	
	Ceramic Tile		Ceramic Tile	x	Acoustical Panel	
	Other		Other		Other	

CASEWORK

x	Base Cabinet (12'-0")	x	Drawers		Lockable
	Wall Cabinet (12'-0")		Open Shelving		Acid Resistant
	Countertop (36")		Special Drawer	x	Sink
	Kneespace (none)		Tall Cabinet (7'-0")		Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Round Tables	4				E				48" D Round
2 Chairs	20				E				
3 Oven and Range w/ Hood	1				A				
4 Microwave Oven	1				E				
5 Toaster Oven	1				E				
6 Refrigerator	1				E				
7 Vending Machine (drink)	1				E				
8 Vending Machine (snack)	1				E				
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Existing Equipment and Furniture to be reused except new range with hood. A monitor is desired for staff to watch video while on break.

WILDERARCHITECTURE, INC.
9/10/2015

Department Survey - Interior

ROOM NAME:	I & C DEVELOPMENT ROOM		
ROOM USE:	Workstations		
NUMBER OF ROOMS:	<u>1</u>	OCCUPANCY:	<u>4</u>
HOURS OF USE:	<u>6:00am to 6:00pm</u>	ROOM AREA:	<u>Existing</u>
RELATIONSHIPS:	<u>Existing location at 2nd Floor of Main Pump Bldg</u>		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input checked="" type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint	
<input checked="" type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input checked="" type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty	SIZE			Status	TeleCom		Elec	Remarks
	#	L	W	H	*	Phone	Data	V	
1 Desk	4				C				
2 Chair	4				C				
3 Computers	6				C		x	x	
4									
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

Department Survey - Interior

ROOM NAME: **I & C HUB**

ROOM USE: Server Room

NUMBER OF ROOMS: 1 OCCUPANCY: _____

HOURS OF USE: 6:00am to 6:00pm ROOM AREA: Existing

RELATIONSHIPS: Existing location at 1st Floor of Main Pump Bldg

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical		Communication		Environment	
<input type="checkbox"/>	Fluorescent	<input checked="" type="checkbox"/>	Telephone	<input checked="" type="checkbox"/>	HVAC
<input type="checkbox"/>	Incandescent	<input checked="" type="checkbox"/>	Data	<input type="checkbox"/>	Air Change Freq.
<input checked="" type="checkbox"/>	LED	<input type="checkbox"/>	Printer	<input type="checkbox"/>	Rel Humidity
<input type="checkbox"/>	Emergency Power	<input type="checkbox"/>	Clock	<input type="checkbox"/>	Exhaust
<input type="checkbox"/>	UPS (Uninterrupted Power)	<input type="checkbox"/>	Intercom	<input type="checkbox"/>	Pressure
<input checked="" type="checkbox"/>	Dedicated Outlet	<input type="checkbox"/>	Cable TV	<input checked="" type="checkbox"/>	Temp (High/Low)
<input checked="" type="checkbox"/>	Electrical Outlet (V)	<input type="checkbox"/>	Video	<input type="checkbox"/>	Fire Supp System
<input type="checkbox"/>	Dimming Required	<input type="checkbox"/>	Security Camera	<input type="checkbox"/>	Access Control

FINISHES

Floor		Walls		Ceiling		Height
<input checked="" type="checkbox"/>	Carpet	<input checked="" type="checkbox"/>	Paint	<input type="checkbox"/>	Paint	
<input type="checkbox"/>	VCT	<input checked="" type="checkbox"/>	Gypsum Board	<input type="checkbox"/>	Gypsum Board	
<input type="checkbox"/>	Ceramic Tile	<input type="checkbox"/>	Ceramic Tile	<input checked="" type="checkbox"/>	Acoustical Panel	
<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	<input type="checkbox"/>	Other	

CASEWORK

<input type="checkbox"/>	Base Cabinet (length)	<input type="checkbox"/>	Drawers	<input type="checkbox"/>	Lockable
<input type="checkbox"/>	Wall Cabinet (length)	<input type="checkbox"/>	Open Shelving	<input type="checkbox"/>	Acid Resistant
<input type="checkbox"/>	Countertop (height)	<input type="checkbox"/>	Special Drawer	<input type="checkbox"/>	Sink
<input type="checkbox"/>	Kneespace (quantity)	<input type="checkbox"/>	Tall Cabinet (7'-0")	<input type="checkbox"/>	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Chair	1				E				
3									
4									
5									
6									
7									
8									
9									
10									

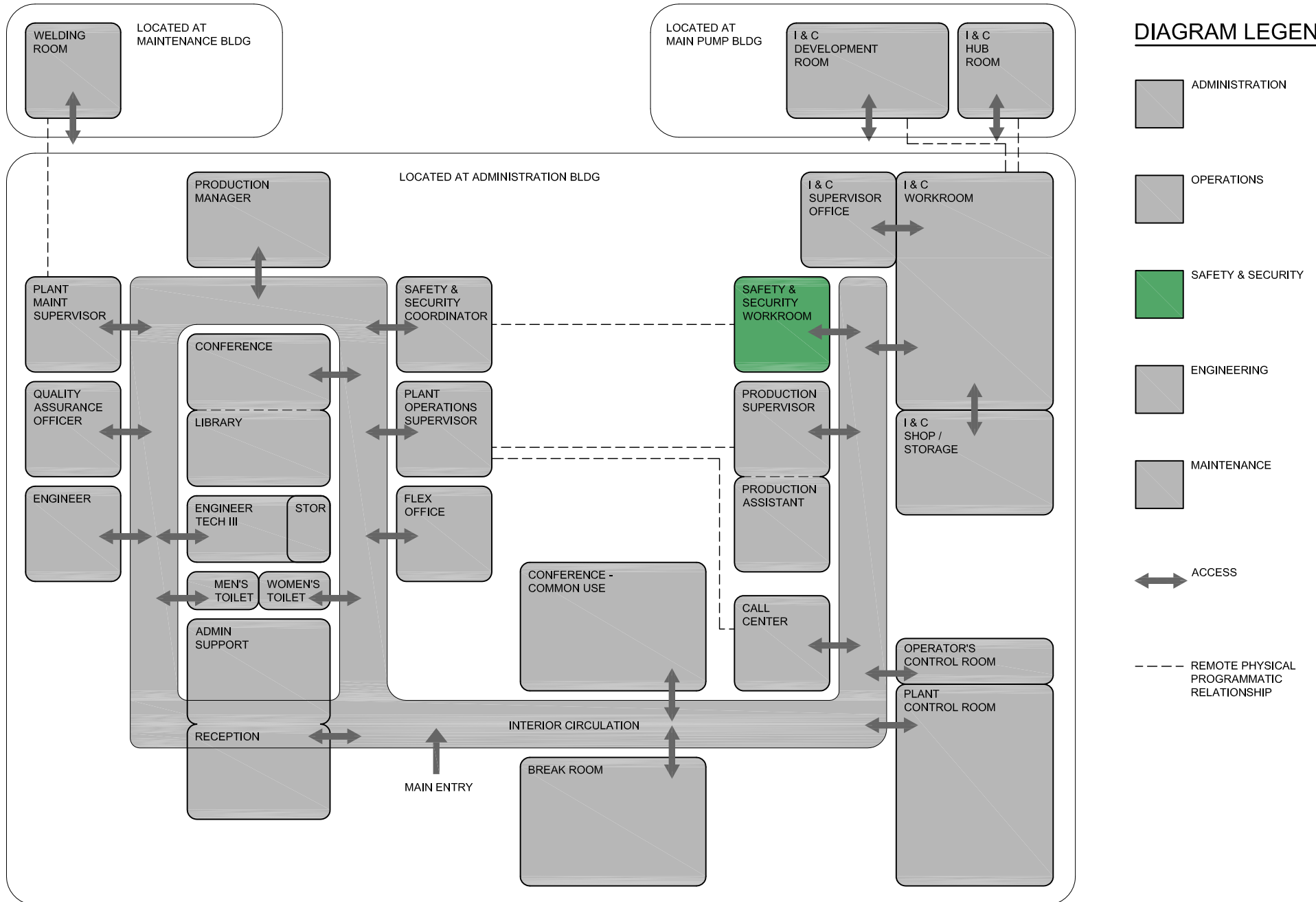
*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

There is a desire to provide a work station at this space. Upgrade finishes and light fixtures.

WILDERARCHITECTURE, INC.
9/10/2015

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING & SITE IMPROVEMENTS PROGRAM ADJACENCY DIAGRAM



DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

WAI Job #: 1501
Issue Date: 05.26.15
Due Date: Received by WAI on 06.10.15

1 ORGANIZATIONAL INFORMATION

DEPARTMENT: SAFETY / SECURITY

SECTION: _____

Please attach an organizational chart of your department, if available.

2 APPROVALS

QUESTIONNAIRE COMPLETED BY: _____

Title: _____

Date: 06.09.15

Phone: 813.231.5255

DEPARTMENT MANAGER: _____

Title: _____

SIGNATURE OF DEPARTMENT MANAGER: _____

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

3 GENERAL ORGANIZATION AND ADJACENCIES

A. Give a brief description of your department's function and responsibilities.

Provide security and a safe working environment for the entire facility.

B. Identify positions within your department that have important communications links or which need to be in close physical proximity to one and other. List also any required adjacencies to support functions or equipment. Please prioritize these adjacencies.

The Safety and Security Coordinator's office is located within the Administration Section. The Water Plant Security System Specialist office is included in the project scope and should be located in close proximity to the I & C Work Room and Plant Control Room.

C. Identify other departments with which you have important communications links or which need to be in close proximity. Please prioritize these adjacencies.

The System Security Specialist Workstation is the only Safety & Security program space in the project scope (other than the Safety & Security Coordinator Office which is part of the Administration Section).

Additional Comments:

None

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

4 NUMBER OF POSITIONS

Indicate all positions that comprise your department. Please indicate all vacant positions to be filled.

Position/Title	Current	3 Years beyond current year	Office/Workstation Square Footage
Safety / Security Coordinator	1		
Water Plant Security System S	1		

2

Indicate the current number of each position type in column above.

Indicate future growth in columns above.

Additional Comments:

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

5 SPECIAL AREAS OR REQUIREMENTS

A. List any special or common use areas that are required by your department:

Administration, I & C Workroom, Plant Control Room, Break Room - Common Use

B. List any special requirements of your department:

None pertaining to Security System Specialist office.

C. List any special equipment and its requirements used by your department (Please list only shared equipment not located at individual workstations):

None

Additional Comments:

The entire plant is served by an emergency power system; individual work areas do not have their own redundant power source.

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

6 SECURITY ISSUES

Describe any security issues or requirements pertinent to the operation of your department:

Security System Specialist work is sensitive in nature and work station needs to be secured.

7 CONFIDENTIALITY

Describe any specific needs you may have for confidentiality of work and filing or storage:

The Security System Specialist Office needs to be lockable.

8 TECHNOLOGY

Describe any trends in technology that may impact your department in the future:

None at this time

DAVID L. TIPPIN WTF BLDG & SITE IMPROVEMENTS

Department Survey

9 FUNCTIONS NOT LISTED ELSEWHERE

Indicate any present or future requirements for areas, changes in procedure, or other foreseeable changes that will affect the space needs of your department.

None specific to this scope of work.

10 WORK HOURS

Indicate the time periods personnel in your department are scheduled to be at work.

6:30 am to 6:00 pm is anticipated.

11 VISITORS

Please describe the frequency of contact your department has with the general public and other visitors. Also, describe how the public or other visitors are to be received.

Visitors interacting with the Security System Specialist would not take place at the work station.

See Administration for protocol for visitors.

Additional Comments:

Department Survey - Exterior

SECTION:

RELATIONSHIPS:

--

PARKING REQUIREMENTS

Description	Spaces (#)	Space Size	Paved	Secure	Cover Clearance	Remarks
1						
2						
3						
4						
5						
Spaces Subtotal:		0				

Parking Remarks: _____

EXTERIOR AREA REQUIREMENTS

Description	SQ FT	Cover Clearance	Paved	Secure	Access Restriction	Remarks
1						
2						
3						
4						
5						
Area Subtotal (sq ft):		0				

Exterior Area Remarks: None

ACCESS REQUIREMENTS

Tractor trailer access: N/A

Drive-in access: _____

Access Remarks: _____

--

Department Survey - Interior

ROOM NAME:	SECURITY SYSTEM SPECIALIST WORKSTATION		
ROOM USE:	Office / Workstation		
NUMBER OF ROOMS:	1	OCCUPANCY:	1
HOURS OF USE:	6:00am to 6:00pm	ROOM AREA:	100 sf
RELATIONSHIPS:	Close proximity to I & C Workroom		

ENVIRONMENTAL TECHNOLOGY

Lighting/Electrical

	Fluorescent
	Incandescent
x	LED
	Emergency Power
	UPS (Uninterrupted Power)
	Dedicated Outlet
x	Electrical Outlet (V)
	Dimming Required

Communication

x	Telephone
x	Data
x	Printer
	Clock
	Intercom
	Cable TV
	Video
	Security Camera

Environment

x	HVAC
	Air Change Freq.
	Rel Humidity
	Exhaust
	Pressure
x	Temp (High/Low)
	Fire Supp System
	Access Control

FINISHES

Floor

	Carpet
x	VCT
	Ceramic Tile
	Other

Walls

x	Paint
x	Gypsum Board
	Ceramic Tile
	Other

Ceiling

	Height	9'-0"
	Paint	
	Gypsum Board	
x	Acoustical Panel	
	Other	

CASEWORK

	Base Cabinet (length)
	Wall Cabinet (length)
	Countertop (height)
	Kneespace (quantity)

	Drawers
	Open Shelving
	Special Drawer
	Tall Cabinet (7'-0")

	Lockable
	Acid Resistant
	Sink
	Other

FURNITURE & EQUIPMENT

Description	Qty #	SIZE			Status *	TeleCom		Elec V	Remarks
		L	W	H		Phone	Data		
1 Desk	1				E				
2 Chair	1				E				
3 Computer	1				E		x	x	
4 Monitor	1				E			x	
5									
6									
7									
8									
9									
10									

*Status: A=Purchased & Installed by Contractor B=Furnished by Owner & Installed by GC C=Furnished & Installed by Owner, E=Existing to be Relocated by Owner.

COMMENTS

The Security Specialist works on sensitive material. There needs to be the ability to secure the work space. Furniture and equipment to be reused.

WILDERARCHITECTURE, INC
1517 Seventh Avenue
Suite C
Tampa, Florida 33605

AA26000655

DAVID L. TIPPIN WATER TREATMENT FACILITY IMPROVEMENTS

1517 SEVENTH AVENUE
SUITE C
TAMPA, FLORIDA 33605.3716
TELEPHONE 813.242.6677
FACSIMILE 813.242.6683
WILDERARCHITECTURE.COM
AA26000655
WILDERARCHITECTURE, INC.

CITY OF TAMPA

Exhibit B

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
IMPROVEMENTS

Project #: 1501-00

30% CONCEPTUAL
DESIGN
SUBMITTAL

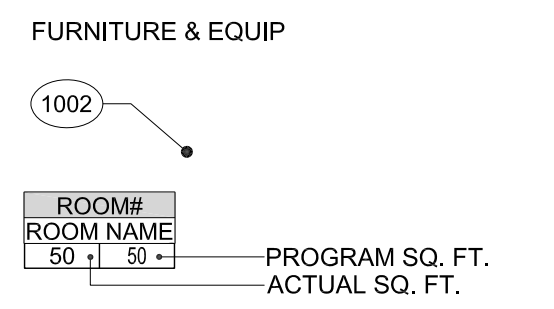
WILDERARCHITECTURE, INC.

03.02.16

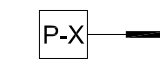
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AB	ANCHOR BOLT	MAS	MASONRY
AC	AIR CONDITION, ER, ING	MAX	MAXIMUM
ADA	AMERICANS WITH DISABILITIES ACT	MECH	MECHANICAL
ADJ	ADJACENT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MH	MANHOLE
ALUM	ALUMINUM	MIN	MINIMUM
APC	ACOUSTIC PANEL CEILING	MISC	MISCELLANEOUS
APPROX	APPROXIMATELY	MO	MASONRY OPENING
ARCH	ARCHITECT	MTD	MOUNTED
		MVCJ	MASONRY VERTICAL CONTROL JOINT
BLDG(S)	BUILDING(S)	NA	NOT APPLICABLE
BLK	BLOCK	NIC	NOT IN CONTRACT
BLKG	BLOCKING	#, NO	NUMBER
BOS	BOTTOM OF STEEL	NTS	NOT TO SCALE
BOTT	BOTTOM		
BRG	BEARING		
BUR	BUILT-UP ROOFING		
		OC	ON CENTER
CI	CONTRACTOR INSTALLED	OD	OUTSIDE DIAMETER
CJ	CONTROL JOINT	OH	OVERHEAD
CL	CENTER LINE	OI	OWNER INSTALLED
CLF	CHAIN LINK FENCE	OP	OWNER PROVIDED
CLG	CEILING	OPNG	OPENING
CEM	CEMENT	OPP	OPPOSITE
CP	CONTRACTOR PROVIDED	OPH	OPPOSITE HAND
CR	CLASSROOM		
OT	CERAMIC TILE	PERIM	PERIMETER
CM	CONSTRUCTION MANAGER	PLAS	PLASTER
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
COL	COLUMN	PNT	PAINT (PAINTED FINISH)
CONC	CONCRETE	PROJ	PROJECT
CONF	CONFERENCE	PT	PRESSURE TREATED
CONST	CONSTRUCTION	PTN	PARTITION
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CONTR	CONTRACTOR	PLWD	PLYWOOD
CPT	CARPET	PP	PUSH PLATE
		QT	QUARRY TILE
D	DEEP, DEPTH		
DEMO	DENOLITION	R/W	RIGHT OF WAY
DF	DRINKING FOUNTAIN	RCP	REFLECTED CEILING PLAN
DIAM	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION	REBAR	REINFORCING BAR
DOCS	DOCUMENTS	REINF	REINFORCEMENT/ING
DN	DOWN	REQ'D	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	RWB	RESILIENT WALL BASE
		RWL	RAIN WATER LEADER
EA	EACH	SC	SMOKE COMPARTMENT
EHPA	ENHANCED HURRICANE PROTECTION AREA	SHT	SHEET
EJ	EXPANSION JOINT	SF	SQUARE FOOT
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SOG	SLAB ON GRADE
EQ	EQUAL	SPECS	SPECIFICATIONS
EQUIP	EQUIPMENT	SQ	SQUARE
ETC	ETCETERA	SS	STAINLESS STEEL
ETR	EXISTING TO REMAIN	STC	SOUND TRANSMISSION CLASS (RATING)
EWC	ELECTRIC WATER COOLER	STD	STANDARD
EWL	ELECTRIC WATER HEATER	STL	STEEL
EXIST	EXISTING	STOR	STORAGE
EXP	EXPOSED	STRL	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPEND / ED / SION
		T&B	TOP AND BOTTOM
FBC	FLORIDA BUILDING CODE	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN	TEL	TELEPHONE
FE	FIRE EXTINGUISHER	TEMP	TEMPORARY
FFPC	FLORIDA FIRE PREVENTION CODE	TERR	TERRAZZO
FIN	FINISH	TOM	TOP OF MASONRY
FIXT	FIXTURE	TOS	TOP OF STEEL
FL	FLOOR	TOT	TOTAL
FLUOR	FLUORESCENT	T/S	TOP OF SLAB
FT	FEET	TYP	TYPICAL (UNO)
FTG	FOOTING		
FURN	FURNITURE		
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	V	VINYL
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VERT	VERTICAL
GL	GLASS, GLAZING	VEST	VESTIBULE
GWB	GYPSPUM WALLBOARD	VIF	VERIFY IN FIELD
		VP	VENEER PLASTER
HB	HOSE BIBB	VSF	VINYL SHEET FLOORING
HC	HANDICAPPED	VT	VINYL TILE
HT	HEIGHT, HIGH	VTR	VENT TO ROOF
HDW	HARDWARE		
HM	HOLLOW METAL		
HMF	HOLLOW METAL FRAME		
HORIZ	HORIZONTAL	W	WIDE, WIDTH
		W/	WITH
ID	INSIDE DIAMETER	WP	WEATHERPROOF
INCAND	INCANDESCENT	WWF	WELDED WIRE FABRIC
INSUL	INSULATION	WVP	WOOD VENEER PANELING
INT	INTERIOR		
JAN	JANITOR		
JT	JOINT		

ARCHITECTURAL ABBREVIATIONS AND ACRONYMS D12

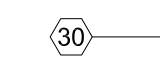
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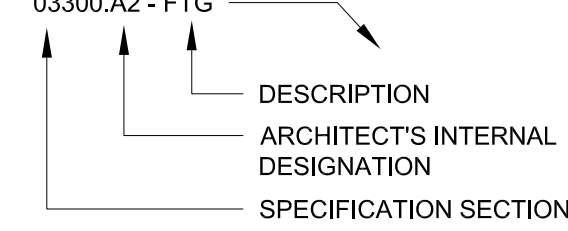
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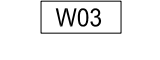
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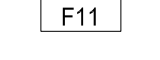
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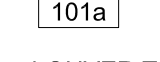
WINDOW TYPE



HOLLOW METAL FRAME TYPE



DOOR TAG



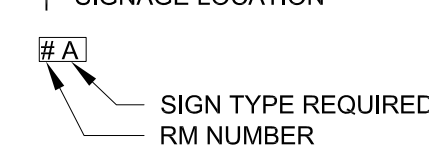
LOUVER TAG



SPOT ELEV



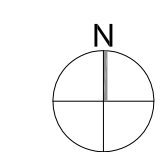
SIGNAGE TAGS



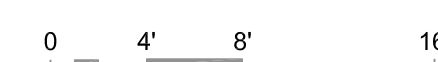
DRAWING IDENTIFICATION

DWG NAME	DWG NO
SCALE	

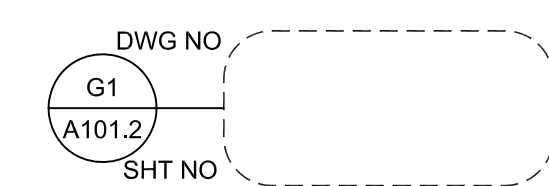
NORTH ARROW



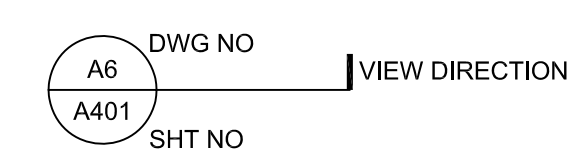
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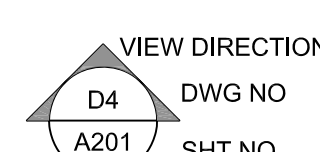
DETAIL INDICATION



SECTION CUT INDICATION



ELEVATION INDICATION



ARCHITECTURAL DRAWING SYMBOLS D7

FLOOR PLAN

	CMU WALL		WATER CLOSET *
	TILT-UP CONC PANEL		URINAL *
	PTN OR WALL		LAVATORY *
	PARTIAL HT MTL STUD WALL ASSEMBLY		WATER COOLER *
	DOOR		* HATCHING OVER FIXTURE SYMBOL INDICATES AN ACCESSIBLE FIXTURE
	ALUM WINDOW - SIDE EGRESS HINGED		BRACKET MTD FIRE EXTINGUISHER
	ALUM WINDOW - PROJECTED OR FIXED		CABINET MTD FIRE EXTINGUISHER
			CABINET MTD FIRE BLANKET AND FIRE EXTINGUISHER

LEGENDS A7

COVER

- ARCHITECTURAL**
A000 GENERAL INFORMATION SHEET
A100 SITE PLAN
A100.1 ENLARGED SITE PLAN
X101.1 EXISTING CONDITIONS ADMINISTRATION FIRST FLOOR PLAN
X101.2 EXISTING CONDITIONS ADMINISTRATION SECOND AND ATTIC/STORAGE FLOOR PLANS
A101.1 ADMINISTRATION FIRST FLOOR AND SECOND FLOOR PLANS
A101.2 ADMINISTRATION SECTIONS
A102.1 PUMP BUILDING BASEMENT FLOOR PLAN
A102.2 PUMP BUILDING FIRST FLOOR PLAN
A102.3 PUMP BUILDING SECOND FLOOR PLAN
A102.5 PUMP BUILDING EXTERIOR ELEVATIONS
A102.6 PUMP BUILDING EXTERIOR ELEVATIONS
A102.7 PUMP BUILDING SECTIONS
A102.8 PUMP BUILDING SECTIONS
A103.1 MAINTENANCE BUILDING FIRST FLOOR PLAN

DRAWING INDEX D1



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DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING IMPROVEMENTS

Project #:	1501-00
Distribution	Date
Prelim 30% Conceptual	11.23.15
30% CON. DESIGN SUB	03.02.16

GENERAL INFORMATION

A000

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
IMPROVEMENTS

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SITE PLAN
A100



- SPECIFIC NOTES**
1. ADMINISTRATION BUILDING
 2. MAIN PUMP BUILDING
 3. MAINTENANCE BUILDING
 4. SECURITY BUILDING
 5. STAFF PARKING
 6. FLEET PARKING (BRICK PAVING)
 7. VISITOR PARKING
 8. ACCESS DRIVE (BRICK PAVING)
 9. ACCESS DRIVE (ASPHALT PAVING)
 10. FILTRATION BUILDING
 11. CHEMICAL BUILDING
 12. GENERATOR BUILDING (NOT SHOWN IN PLAN)
 13. WATER QUALITY LAB BUILDING
 14. LIME HOUSE
 15. STORAGE BUILDING
 16. OZONE BUILDING
 17. OZONE CONTRACTORS BUILDING
 18. POLYMER BUILDING
 19. GRAVY THICKENER TANK
 20. WASH WATER SURGE TANK
 21. FILTERS
 22. SEDIMENTATION BASIN
 23. HILLSBOROUGH RIVER
 24. MAIN VEHICULAR ENTRY
 25. RECONFIGURED PARKING AREA
 26. ADDITIONAL PARKING FOR CITY VEHICLES

- DRAWING - LEGEND**
- EXISTING BUILDING
 - EXISTING BRICK PAVING
 - EXISTING CHAIN LINK FENCE
 - TRAIN TRACKS
 - EXISTING TREE
 - AREA FOR POTENTIAL ADDITIONAL SITE PARKING

SITE PLAN 1" = 60' A3
NOTES A1

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SCOPE SUMMARY

SCOPE ITEMS - PARKING - MAINTENANCE BLDG

PARKING FOR THE CONFERENCE CENTER AT THE MAINTENANCE BUILDING IS LIMITED. THE SCOPE OF WORK IS TO RESURFACE, RECONFIGURE, AND RESTRIPE THE EXISTING PARKING AREA TO ACCOMMODATE ADDITIONAL PARKING. ANCILLARY LANDSCAPING WILL BE INCLUDED TO ENHANCE ENTRY TO THE CONFERENCE CENTER.

THE INDICATED LAYOUT PROVIDES 30 TOTAL PARKING SPACES AS SHOWN. THE TOTAL INCLUDES:

- 9 - 90 DEGREE PARKING SPACES WITH 2 ACCESSIBLE SPACES.
- 8 - PARALLEL PARKING SPACES
- 13 - ANGLED (45 DEGREE) PARKING SPACES.

SCOPE ITEMS - PARKING & ACCESS - MAIN ENTRY / STAFF LOT

A NEW PARKING LOT FOR PARKING OF CITY VEHICLES, AT THE END OF THE WORK DAY, IS TO BE LOCATED NORTH OF THE EXISTING STAFF PARKING LOT. QUANTITY IS AS FOLLOWS:

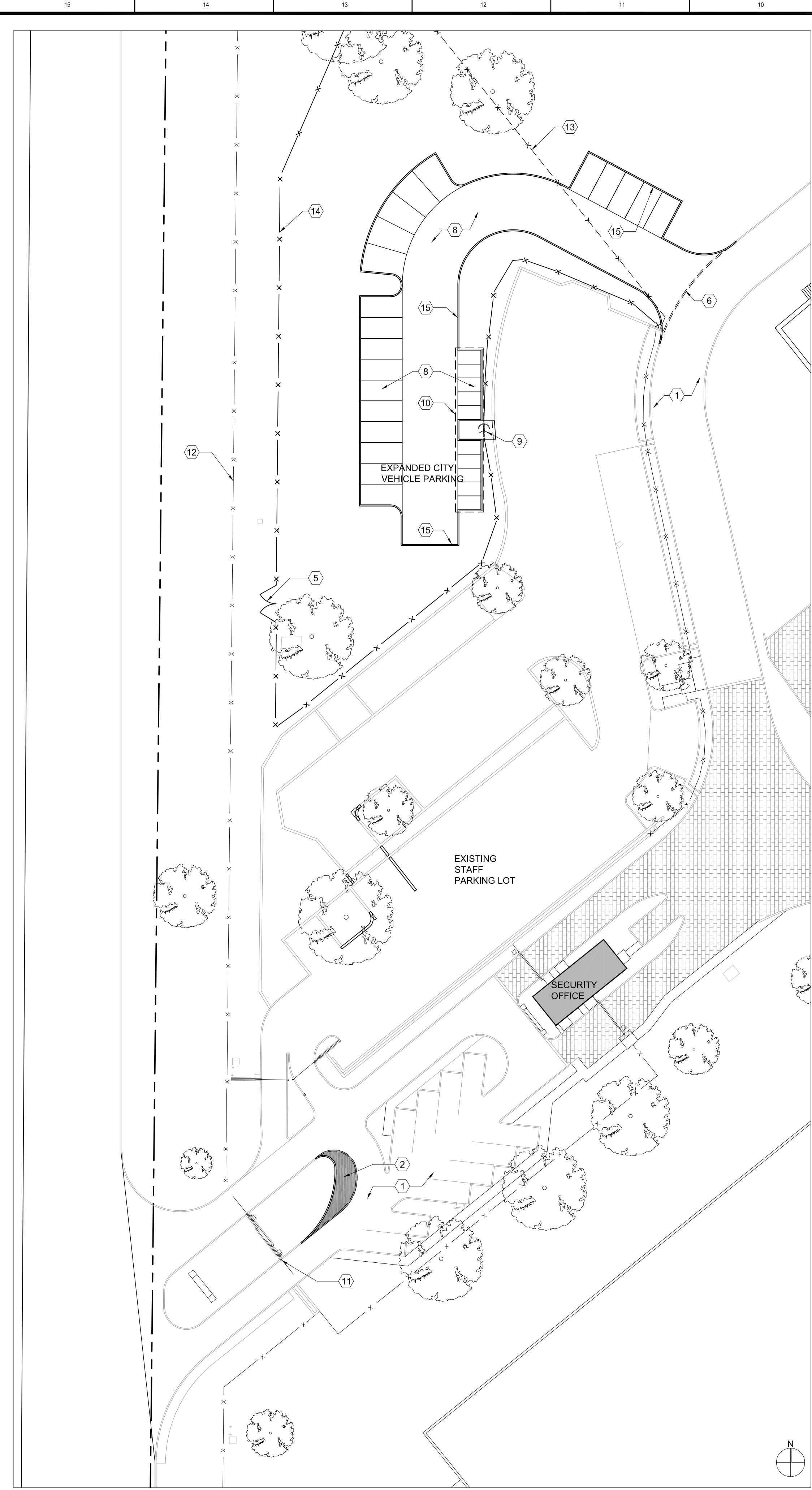
- 20 - PARKING SPACES FOR STANDARD SIZE CITY VEHICLES. DRIVE AREAS AND PARKING SPACES ARE TO BE IMPERVIOUS TURF BLOCK.
- 10 - COVERED PARKING SPACES FOR CARTS. DRIVE AREA AND PARKING SPACES ARE TO BE IMPERVIOUS TURF BLOCK. THE STRUCTURE COVERING THE PARKED CARTS IS TO INCLUDE A SOLAR ARRAY TO CHARGE THE VEHICLES.

THE TURN RADIUS OF THE MAIN ENTRY IS TO BE MODIFIED (ENLARGED) TO ALLOW ACCESS FOR VEHICLES TOWING TRAILERS.

PARKING SCOPE - MAINTENANCE BLDG F1

SPECIFIC NOTES

1. EXISTING PAVED AREA.
2. NEW ASPHALT PAVING (HATCHED AREA).
3. PARKING STRIPING, TYPICAL.
4. ACCESSIBLE PARKING SPACE.
5. NEW DOUBLE SWING VEHICULAR GATE.
6. EDGE OF EXISTING PAVING.
7. CROSS WALK.
8. NEW TURF BLOCK PAVING.
9. NEW SECURITY TURN STYLE.
10. CART SHELTER ABOVE. INCLUDES SOLAR ARRAY FOR CHARGING CARTS.
11. MAIN ENTRY GATE.
12. EXISTING FENCE, TYPICAL.
13. EXISTING FENCE TO BE REMOVED.
14. NEW FENCE TO MATCH EXISTING.
15. NEW CONCRETE CURB AT PERIMETER OF TURF BLOCK PAVING.

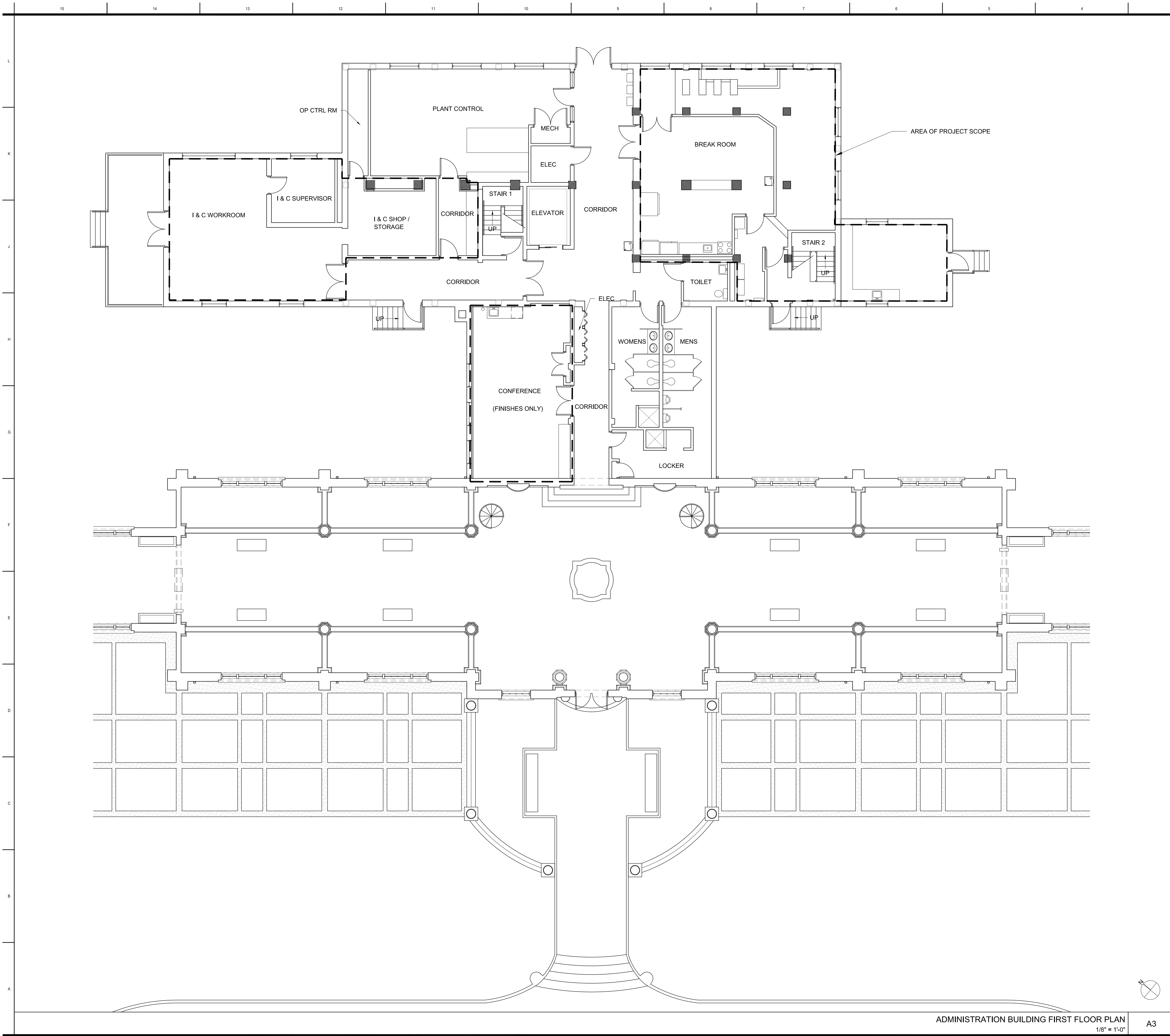


ENLARGED SITE PLAN OF PARKING SCOPE AT MAIN ENTRY / STAFF LOT
1" = 30'
A10



ENLARGED SITE PLAN OF PARKING SCOPE - ADJACENT TO MAINTENANCE BLDG
1" = 30'
A3

NOTES A1



SCOPE SUMMARY

THE SCOPE OF WORK FOR THE ADMINISTRATION BUILDING IS TO INCLUDE THE REMODELING OF THE INTERIOR OF THE ADMINISTRATIVE AREAS OF THE BUILDING TO UPDATE FINISHES, PROVIDE FOR EFFICIENCIES, UPGRADE TECHNOLOGY AND IMPROVE WORKFLOW.

SCOPE ITEMS

ARCHITECTURAL
IT IS UNLIKELY THAT THE COST OF REMODELING WILL REACH THE 50% THRESHOLD TO REQUIRE THE ENTIRE FACILITY BE BROUGHT UP TO CURRENT CODE.

- NEW PARTITIONS WILL BE CONSTRUCTED OUT OF GYPSUM WALLBOARD AND METAL STUDS - WITH ACOUSTIC TREATMENT AND FIRE RATING WHERE REQUIRED.
- NEW CASEWORK WILL BE CONSTRUCTED FOR THE NEW INSTRUMENT AND CONTROL WORKROOM - LIBRARY TO HAVE SHELVES AND DISPLAY CASES.
- FINISHES - IT IS THE INTENT TO RAISE THE CEILINGS AS HIGH AS POSSIBLE TO RECAPTURE THE FULL HEIGHT OF THE EXISTING WINDOWS. THIS WARRANTS THE USE OF EXPOSED ARCHITECTURAL DUCTWORK AND PENDANT MOUNTED LED LIGHTING.

HVAC
- THE EXISTING HVAC EQUIPMENT WILL BE REPLACED IN KIND WITH NEW DIRECT EXPANSION SPLIT SYSTEMS (AIR HANDLER AND CONDENSING UNIT).

PLUMBING
- IT IS RECOMMENDED THAT NEW ACCESSIBLE TOILET ROOMS (MALE AND FEMALE) BE PROVIDED ON THE SECOND FLOOR. NEW SANITARY, HOT AND COLD WATER PIPING MAY BE ROUTED FROM THE EXISTING SYSTEMS.

POWER DISTRIBUTION
- THE NEW WORK CONSISTS OF NEW RECEPTACLES AND NEW BRANCH CIRCUITS FROM A NEW BRANCH CIRCUIT PANEL OR PANELS. NEW BRANCH CIRCUITS WOULD BE REQUIRED FOR ANY NEW HVAC EQUIPMENT.
- MAJOR REPLACEMENT OR UPGRADES TO THE MAIN SERVICE OR MAIN POWER DISTRIBUTION EQUIPMENT WOULD NOT BE INCLUDED.

LIGHTING
- REPLACEMENT OF THE EXISTING LIGHTING WITH NEW LED TYPE LUMINAIRES
- NEW OCCUPANCY SENSORS, DIMMING CONTROL VERSUS STANDARD ON/OFF SWITCHES, AND DAYLIGHT HARVESTING WILL BE EVALUATED.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING WILL BE PROVIDED USING INTEGRAL BATTERY BACK-UP.

VOICE AND DATA NETWORK
- THE REMODELED SPACES WILL REQUIRE NEW CABLING AND NEW OUTLETS TO BE INSTALLED TO SUIT THE SPACES WITH NEW CATEGORY 6 CABLING BACK TO AN EXISTING DATA RACK.

FIRE ALARM SYSTEM
- A FIRE ALARM SYSTEM IS NOT EXPECTED TO BE REQUIRED BY CODE BASED UPON THE BUSINESS OCCUPANCY AND NUMBER OF OCCUPANTS.

FIRE PROTECTION
- A FIRE PROTECTION SYSTEM IS NOT REQUIRED DUE TO TOTAL AREA AND CONSTRUCTION TYPE. NEW FIRE EXTINGUISHERS SHOULD BE PROVIDED IN THE RENOVATED / REMODELED AREAS.

ADMINISTRATION BUILDING FIRST FLOOR PLAN
1/8" = 1'-0"

A3

BUILDING INTERIOR SCOPE

A1

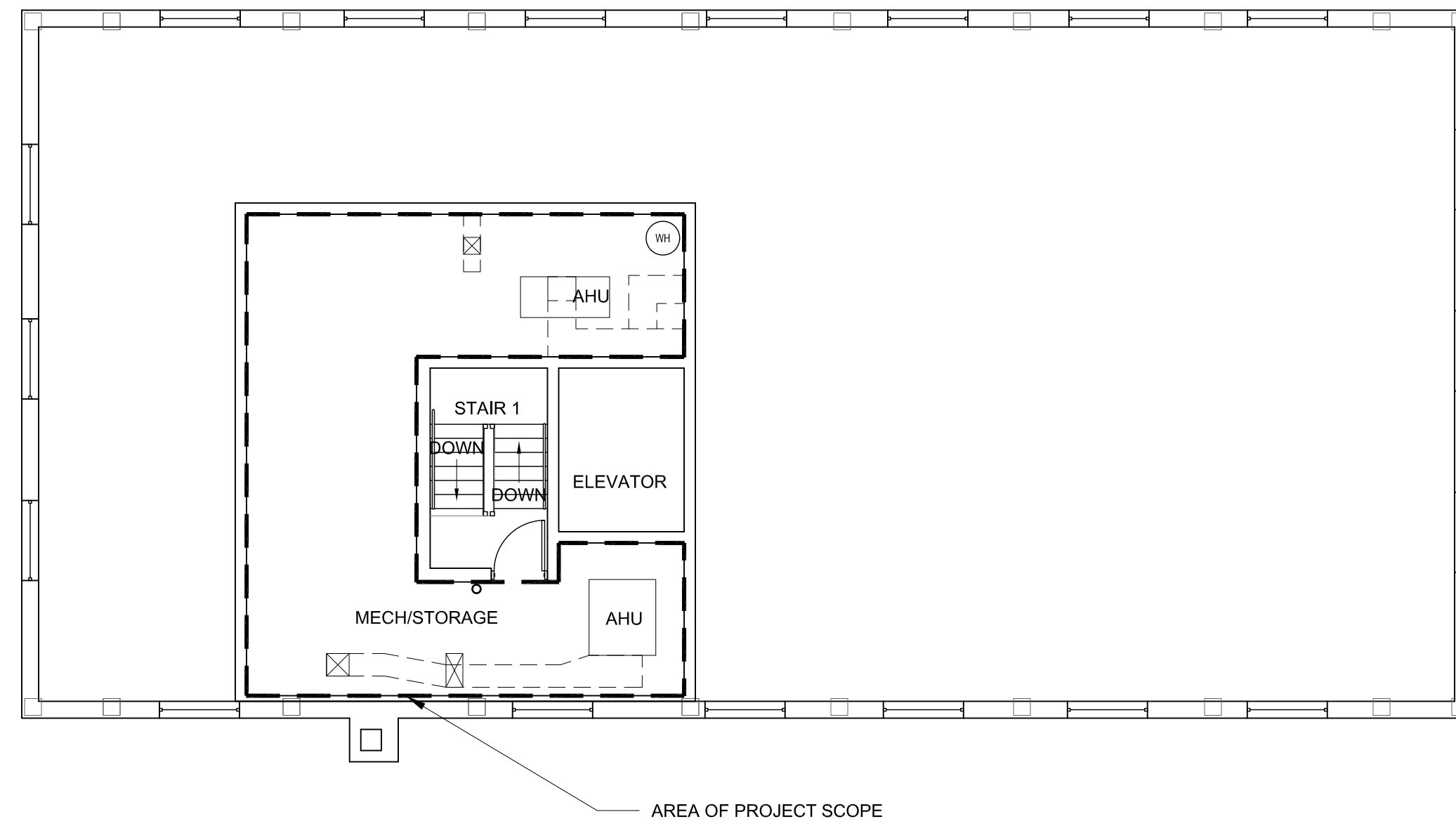
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DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
IMPROVEMENTS

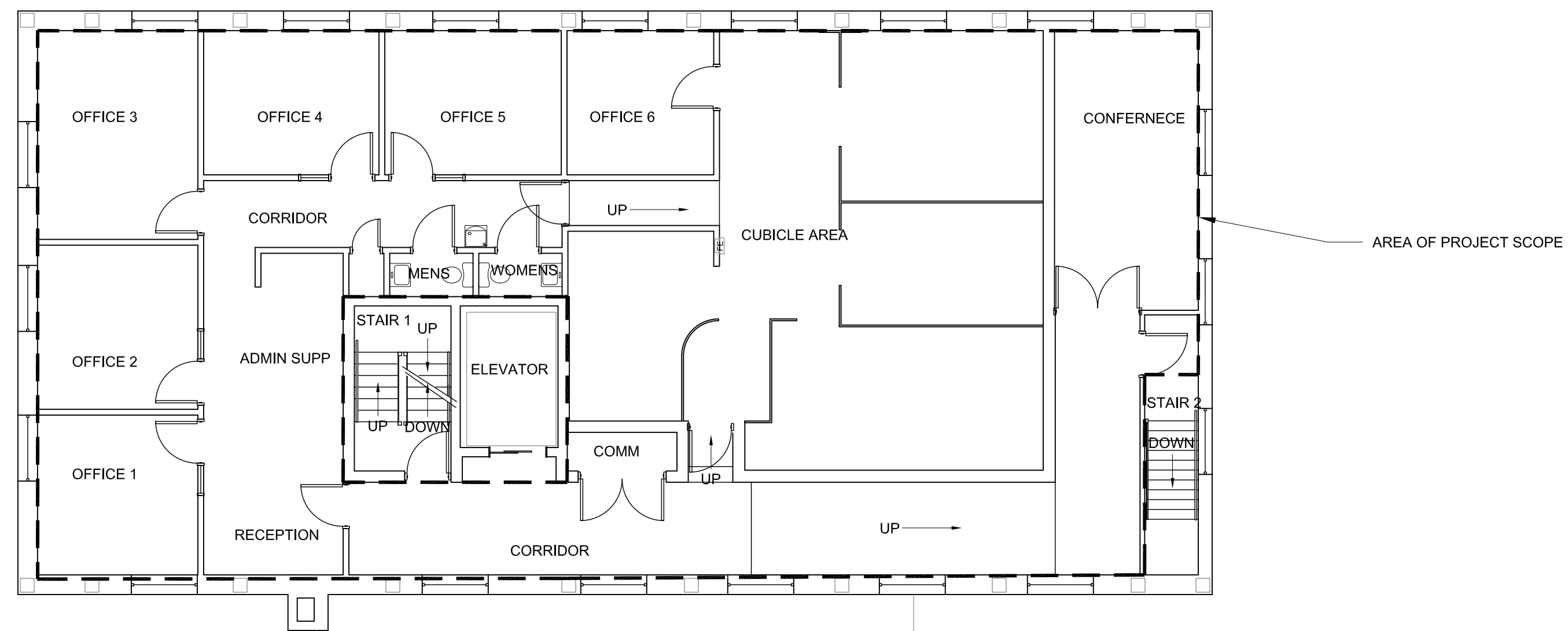
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ADMINISTRATION
FIRST FLOOR
EXISTING PLAN

X101.1



EXISTING ADMINISTRATION BUILDING ATTIC/STORAGE PLAN
 1/8" = 1'-0" F3



EXISTING ADMINISTRATION BUILDING SECOND FLOOR PLAN
 1/8" = 1'-0" A3

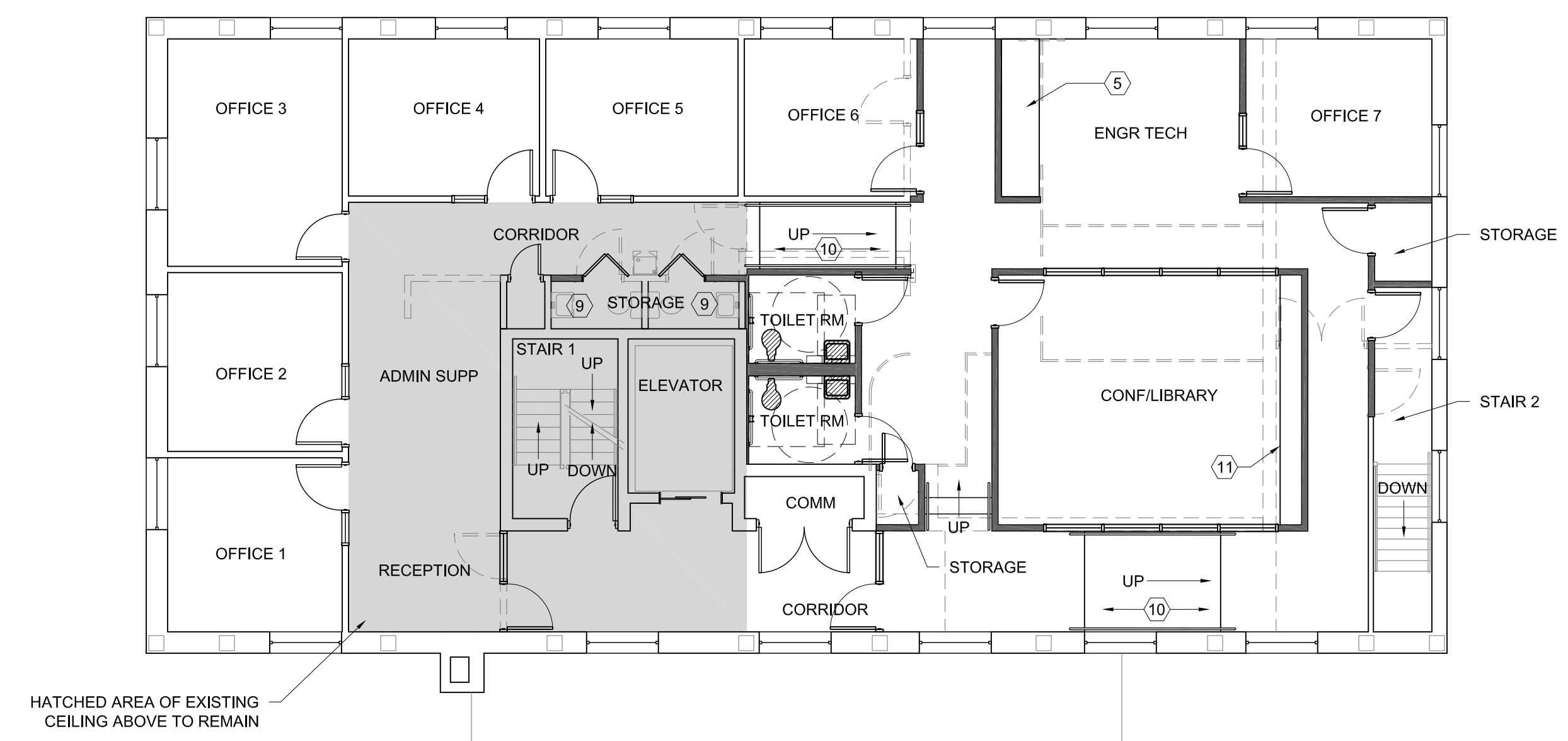
BUILDING INTERIOR SCOPE A1

**DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
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ADMINISTRATION
 SECOND FLOOR AND
 ATTIC EXISTING PLANS

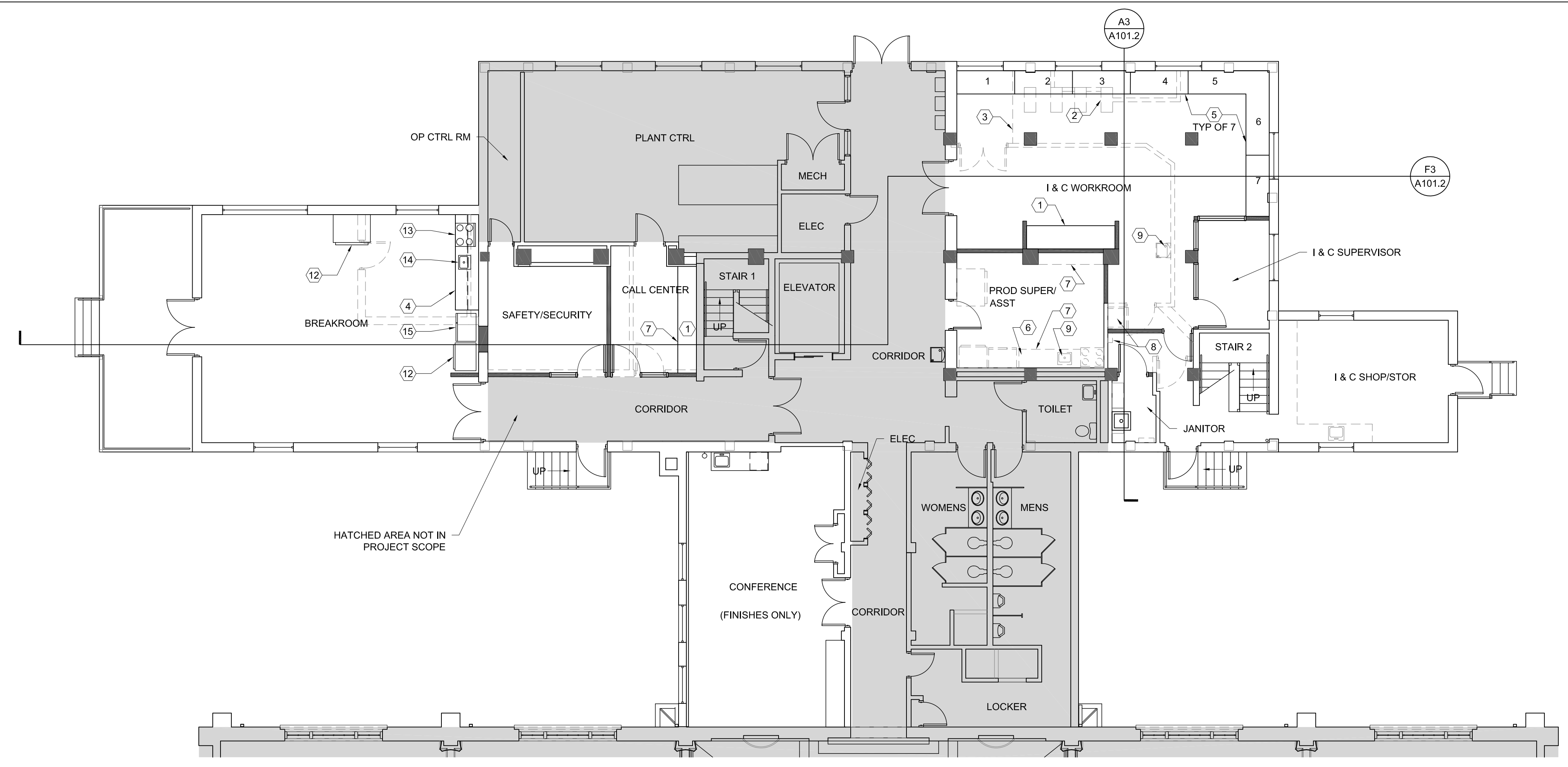
X101.2



ADMINISTRATION BUILDING SECOND FLOOR PLAN - ALTERNATE 4
1/8" = 1'-0" F3

- LEGEND**
- PTN OR PTN INFILL
 - DOOR (NEW)
 - PTN OR WALL (EXIST)
 - DOOR (EXIST)
 - WINDOW (EXIST)
 - DEMOLITION SHOWN DASHED

- FLOOR PLAN NOTES**
1. NEW CASEWORK
 2. RELOCATE EXIST EQUIPMENT
 3. REMOVE EXTRA CONCRETE SLAB
 4. KITCHENETTE
 5. NEW WORK STATION
 6. REMOVE KITCHENETTE
 7. REMOVE EXIST CASEWORK
 8. EXIST ELEC PANEL TO BE RELOCATED
 9. REMOVE PLUMBING FIXTURE
 10. EXIST RAMP LENGTH TO BE REDUCED
 11. DISPLAY CASE
 12. EXISTING VENDING MACHINE RELOCATED
 13. EXISTING STOVE RELOCATED
 14. EXISTING SINK RELOCATED
 15. EXISTING REFRIGERATOR TO BE RELOCATED



ADMINISTRATION BUILDING FIRST FLOOR PLAN - ALTERNATE 4
1/8" = 1'-0" A3

- LAYOUT**
1. PRODUCTION SUPERVISOR/ASSISTANT IS LOCATED ON THE FIRST FLOOR ADJACENT TO I & C WORK ROOM.
 2. NEW TOILET ROOMS ARE PROVIDED ON THE SECOND FLOOR.
 3. BREAK ROOM IS SWITCHED WITH I & C WORK ROOM/SUPERVISOR/STORAGE RESULTING IN A LARGER BREAK ROOM.
 4. EXISTING WORKROOM IS CONVERTED INTO I & C SHOP/STORAGE ROOM.
 5. EXISTING EQUIPMENT ROOM IS CONVERTED INTO JANITORS CLOSET WITH MOP SINK.

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ADMINISTRATION
FIRST AND SECOND
FLOOR PLAN

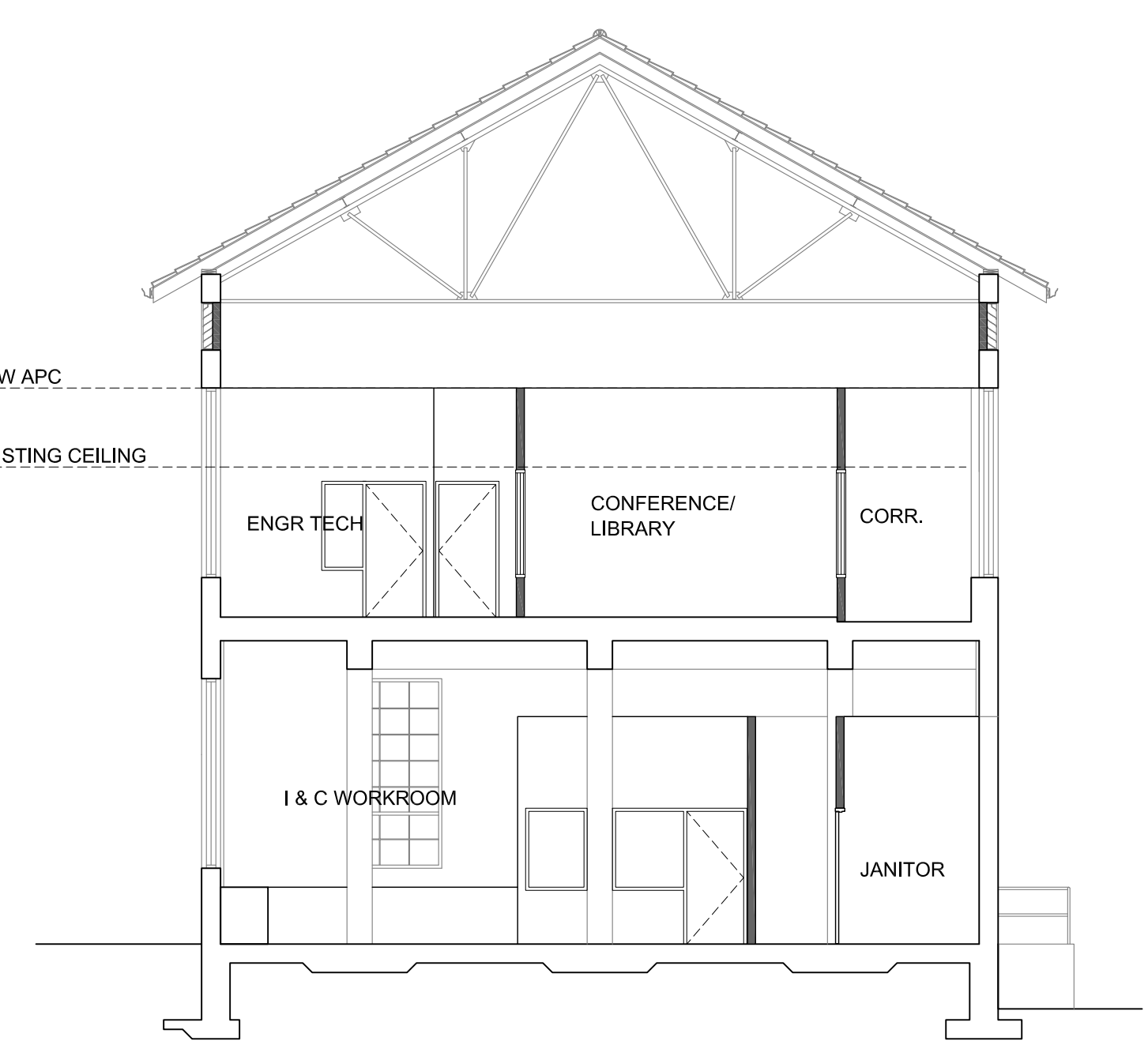
A101.1

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ADMINISTRATION BUILDING SECTION
1/8" = 1'-0" F3



ADMINISTRATION BUILDING SECTION
1/8" = 1'-0" A3

SPECIFIC NOTES
1.

DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
IMPROVEMENTS

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ADMINISTRATION
BUILDING SECTIONS

A101.2

NOTES A1

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PUMP BUILDING
BASEMENT FLOOR
PLAN

A102.1

SCOPE SUMMARY

THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - BASEMENT LEVEL

ARCHITECTURAL

- CLEAN ALL INTERIOR SURFACES.
- PREPARE AND PAINT THE FOLLOWING PUMP FUNCTION SYSTEMS: PUMPING MACHINERY, ASSOCIATED PIPING, ELECTRICAL SYSTEM COMPONENTS (CONDUITS AND ANY DEVICES ALLOWED BY CODE), ANCILLARY EQUIPMENT. PAINTING TO BE COLOR CODED BY FUNCTION.
- PREPARE AND PAINT / REFINISH THE FOLLOWING BUILDING SYSTEMS: CONCRETE FLOORS AND STAIRS (INCLUDING SAFETY STRIPING), WALLS, PARTITIONS, CONCRETE EQUIPMENT PADS, CONCRETE COLUMNS, BEAMS, SLABS (BOTH SIDES), CONCRETE STAIRS, STEEL STAIRS, HAND AND GUARD RAILS, STRUCTURAL STEEL (COLUMNS, BEAMS, TRUSSES, BRIDGING, ETC.), CRANE RAILS, CRANES, WOOD ROOF DECKING, HARD CEILING, DOORS, FRAMES, NON-ALUMINUM WINDOW FRAMES. PAINTING TO BE COLOR CODED BY SYSTEM.
- TOILET AND LOCKER ROOMS ARE TO BE RENOVATED. ALL SURFACES TO REMAIN ARE TO BE CLEANED. GLAZED MASONRY UNITS TO BE REPAIRED AND REPLACED WHERE DAMAGED (IF POSSIBLE).
- NEW FIRE EXTINGUISHERS ARE TO BE PROVIDED.

PLUMBING

- TOILET ROOM: RESTORATION INCLUDES REPLACEMENT OF FLUSH VALVE WATER CLOSETS, WALL MOUNTED SINKS, AND BUILT-IN SHOWER. EXISTING SANITARY, HOT AND COLD WATER PIPING WILL BE REUSED AS MUCH AS POSSIBLE.

MECHANICAL

- TOILET ROOM: WALL MOUNTED EXHAUST FANS ARE UNSAFE AND TO BE REPLACED BY CEILING MOUNTED EXHAUST FANS. THE FANS TO BE CONTROLLED VIA LIGHT SWITCH.

ELECTRICAL

- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS TO BE PROVIDED USING INTEGRAL BATTERY BACK-UP.
- NEW OCCUPANCY SENSORS WILL BE REQUIRED TO MEET CODE.

BUILDING INTERIOR SCOPE F1

SPECIFIC NOTES

1. PUMPING MACHINERY.
2. PIPING, TYPICAL.
3. ELECTRICAL EQUIPMENT.
4. COMPRESSOR TANK.
5. EQUIPMENT PEDESTAL.
6. FLOOR TRENCH AND GRATE.
7. STEEL STAIR (ALL OTHERS ARE CONCRETE)
8. CONCRETE EQUIPMENT PAD.
9. GUARD RAIL.
10. CONCRETE COLUMN, TYPICAL.
11. STEEL COLUMN, TYPICAL.
12. CRANE RAIL END SUPPORT.
13. OVERHEAD COILING DOOR.



VIEW LOOKING DOWN TO THE LOW LIFT PUMP ROOM



VIEW OF AREA OF CONDENSING ROOM 2
DEPICTING PIPE ROUTING.

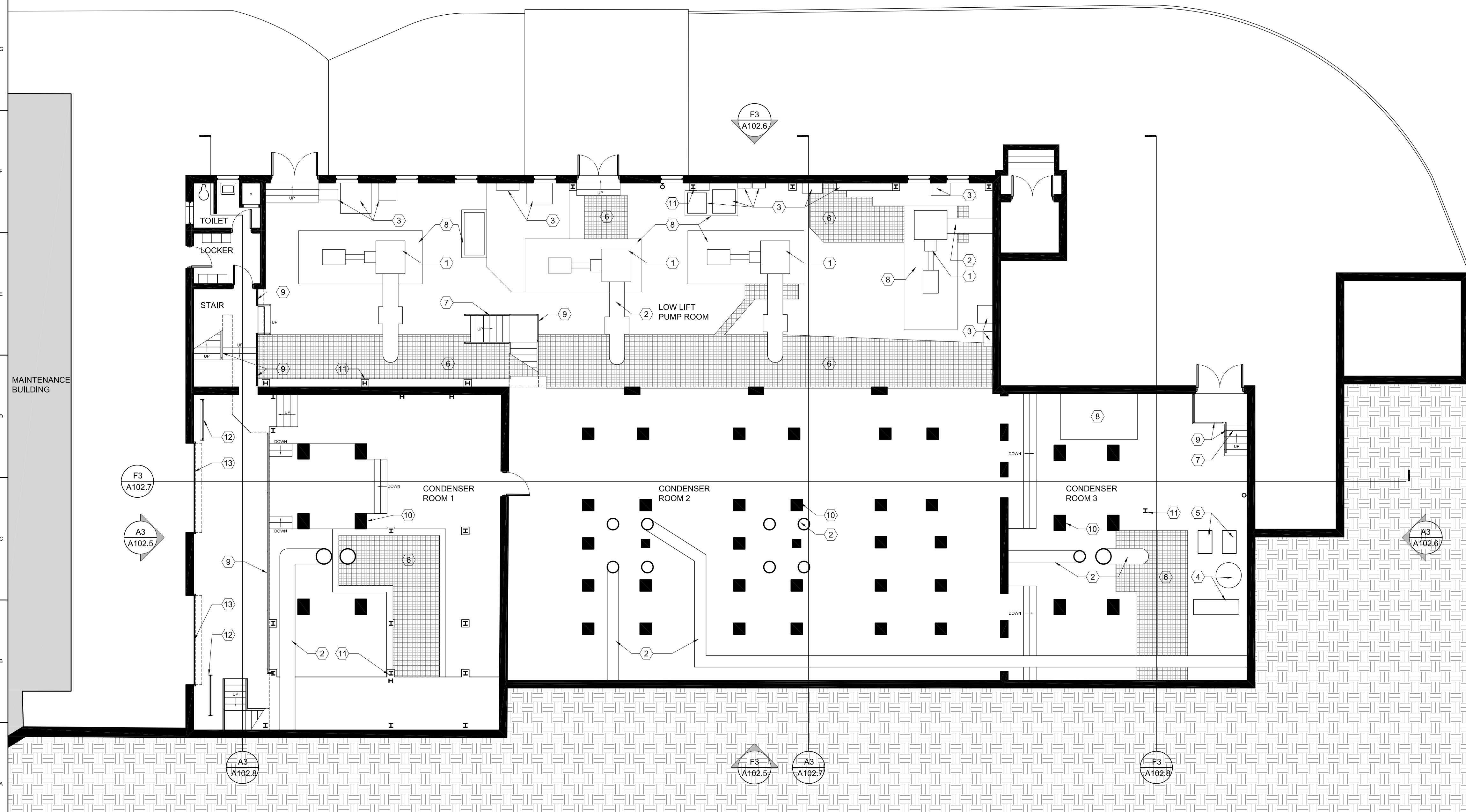


VIEW OF AREA OF CONDENSING ROOM 3
DEPICTING PIPE ROUTING AND COMPRESSOR AND
TANKS.



VIEW OF AREA OF CONDENSING ROOM 1 DEPICTING PIPE ROUTING AND COMPRESSOR
AND STRUCTURAL STEEL FRAMING.

PHOTOGRAPHS H3



PUMP BUILDING BASEMENT FLOOR PLAN
1/8" = 1'-0"

A3

NOTES A1

PROJECT #:	1501-00
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30% CON. DESIGN SUB.	03.02.16

**PUMP BUILDING
FIRST FLOOR PLAN**

A102.2

SCOPE SUMMARY

THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - FIRST FLOOR LEVEL

ARCHITECTURAL

- CLEAN ALL INTERIOR SURFACES.
- PREPARE AND PAINT THE FOLLOWING PUMP FUNCTION SYSTEMS: PUMPING MACHINERY, ASSOCIATED PIPING, ELECTRICAL SYSTEM COMPONENTS (CONDUITS AND ANY DEVICES ALLOWED BY CODE), ANCILLARY EQUIPMENT. PAINTING TO BE COLOR CODED BY FUNCTION.
- PREPARE AND PAINT / REFINISH THE FOLLOWING BUILDING SYSTEMS: CONCRETE FLOORS AND STAIRS (INCLUDING SAFETY STRIPING), WALLS, PARTITIONS, CONCRETE EQUIPMENT PADS, CONCRETE COLUMNS, BEAMS, SLABS (BOTH SIDES), CONCRETE STAIRS, STEEL STAIRS, HAND AND GUARD RAILS, STRUCTURAL STEEL (COLUMNS, BEAMS, TRUSSES, BRIDGING, ETC.), CRANE RAILS, CRANES, WOOD ROOF DECKING, HARD CEILINGS, DOORS, FRAMES, NON-ALUMINUM WINDOW FRAMES. PAINTING TO BE COLOR CODED BY SYSTEM.
- TOILET AND LOCKER ROOMS ARE TO BE RENOVATED. ALL SURFACES TO REMAIN ARE TO BE CLEANED. GLAZED MASONRY UNITS TO BE REPAIRED AND REPLACED WHERE DAMAGED (IF POSSIBLE).
- I & C HUB ROOM: FLOOR AND CEILING FINISHES ARE TO BE REPLACED, EXISTING PARTITIONS TO BE PAINTED.
- NEW FIRE EXTINGUISHERS ARE TO BE PROVIDED.

PLUMBING

- TOILET ROOM: RESTORATION INCLUDES REPLACEMENT OF FLUSH VALVE WATER CLOSETS, WALL MOUNTED SINKS, AND BUILT-IN SHOWER. EXISTING SANITARY, HOT AND COLD WATER PIPING WILL BE REUSED AS MUCH AS POSSIBLE.

MECHANICAL

- TOILET ROOM: WALL MOUNTED EXHAUST FANS ARE UNSAFE AND TO BE REPLACED BY CEILING MOUNTED EXHAUST FANS. THE FANS TO BE CONTROLLED VIA LIGHT SWITCH.
- I & C HUB ROOM: THE DIRECT EXPANSION SPLIT SYSTEM EQUIPMENT TO BE REUSED AND THE DUCT WORK AND GRILLES TO BE REWORKED.

ELECTRICAL

- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS TO BE PROVIDED USING INTEGRAL BATTERY BACK-UP.
- NEW OCCUPANCY SENSORS WILL BE REQUIRED TO MEET CODE.
- I&C HUB ROOM: NEW POWER RECEPTACLES AND BRANCH CIRCUITS FROM EXISTING PANELS ARE TO BE ADDED. NEW 2' X 4' LED TYPE LUMINAIRES ARE TO BE INSTALLED. NEW VOICE AND DATA CABLING AND OUTLETS TO BE INSTALLED.
- ELECTRICAL EQUIPMENT RESTRICTING ACCESS TO STAIR TO LOW LIFT PUMP ROOM AND TO TOILET ROOMS TO BE ADJUSTED TO ALLOW CLEAR ACCESS.

BUILDING SCOPE E1

SPECIFIC NOTES

1. PUMPING MACHINERY.
2. PIPING, TYPICAL.
3. ELECTRICAL EQUIPMENT.
4. STEEL STAIR (ALL OTHERS ARE CONCRETE)
5. CONCRETE EQUIPMENT PAD.
6. CONCRETE COLUMN, TYPICAL.
7. STEEL COLUMN, TYPICAL.
8. CRANE RAIL ABOVE.
9. CRANE BEAM ABOVE.
10. CRANE RAIL END SUPPORT.
11. GUARD RAIL.



VIEW OF HIGH LIFT PUMP ROOM SHOWING PUMPING MACHINERY AND ELECTRICAL EQUIPMENT



VIEW OF THE END OF THE HIGH LIFT PUMP ROOM SHOWING PUMPING MACHINERY, ELECTRICAL EQUIPMENT (TO BE ADJUSTED TO PROVIDE ACCESS TO TOILET AND LOCKER ROOMS), STEEL COLUMNS, CRANE RAIL, AND CRANE BEAM.

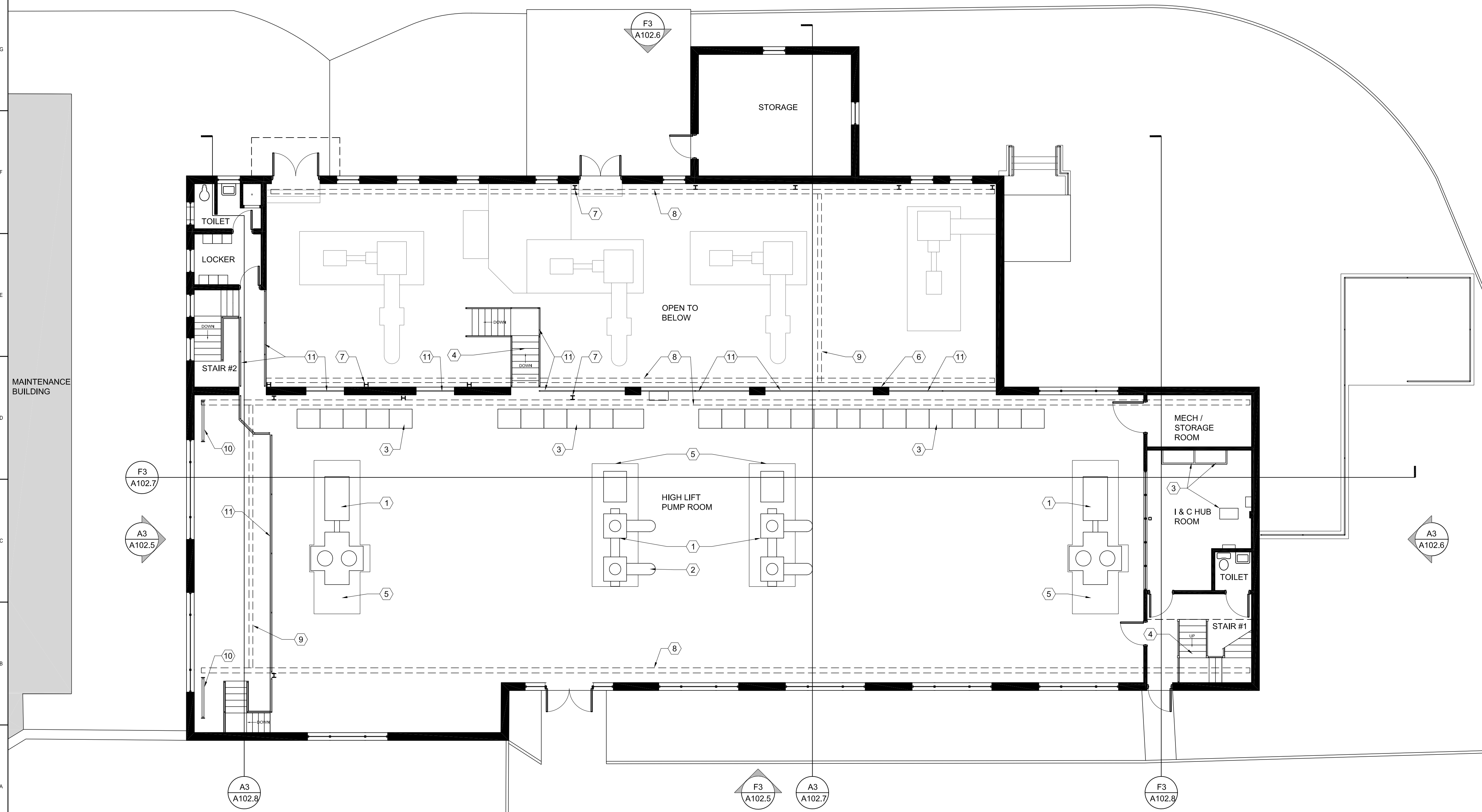


VIEW OF EXISTING TOILET ROOM SHOWING EXISTING PLUMBING FIXTURES AND GLAZED MASONRY UNITS TO BE CLEANED AND REPAIRED. FLOOR FINISH TO BE REPLACED.



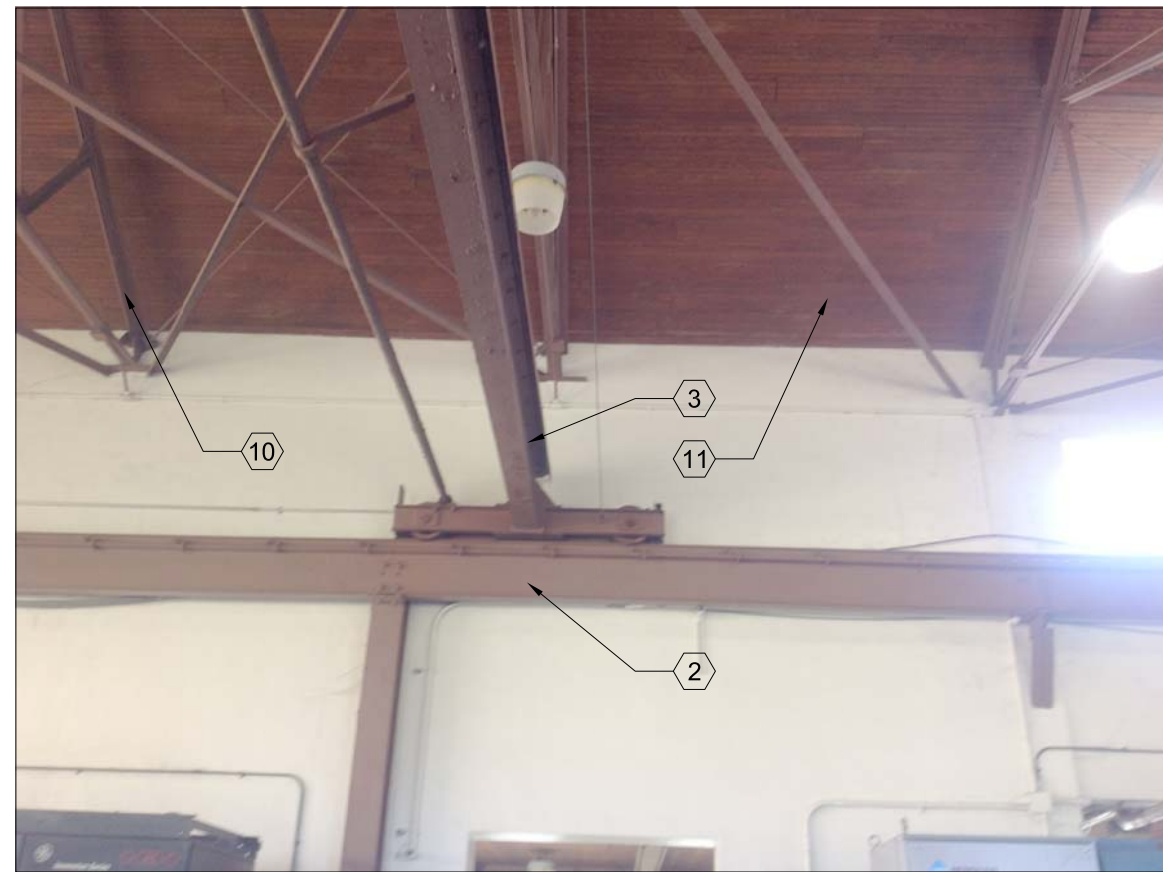
VIEW OF EXISTING TOILET ROOM SHOWING EXISTING PLUMBING FIXTURES AND GLAZED MASONRY UNITS TO BE CLEANED AND REPAIRED. FLOOR FINISH TO BE REPLACED. WALL MOUNTED EXHAUST FAN TO BE REMOVED.

PHOTOGRAPHS H3



PUMP BUILDING FIRST FLOOR PLAN
1/8" = 1'-0"

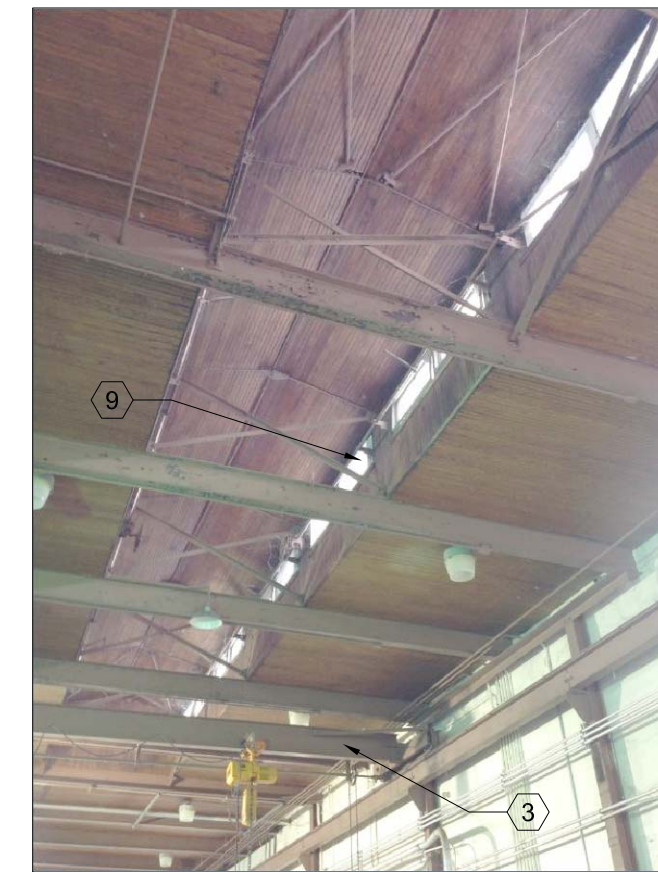
A3 NOTES A1



VIEW OF CRANE RAIL, CRANE BEAM, STRUCTURAL STEEL TRUSS FRAMING, ROOF DECKING, LIGHT FIXTURES



VIEW OF CRANE RAILS, STRUCTURAL STEEL TRUSS FRAMING, ROOF DECKING, LIGHT FIXTURES, CLERESTORY WINDOWS.



VIEW OF CRANE RAIL, CRANE BEAM, STRUCTURAL STEEL FRAMING, ROOF DECKING, LIGHT FIXTURES, CLERESTORY WINDOWS.



VIEW OF I & C DEVELOPMENT ROOM DEPICTING CABINETS TO BE REMOVED, EXISTING FINISHES TO BE REPLACED.

SCOPE SUMMARY
THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - SECOND FLOOR LEVEL

ARCHITECTURAL

- CLEAN ALL INTERIOR SURFACES.
- PREPARE AND PAINT / REFINISH THE FOLLOWING BUILDING SYSTEMS: WALLS, PARTITIONS, STEEL STAIRS, HAND AND GUARD RAILS, STRUCTURAL STEEL (COLUMNS, BEAMS, TRUSSES, BRIDGING, ETC.), CRANE RAILS, CRANES, WOOD ROOF DECKING, HARD CEILINGS, DOORS, FRAMES, NON-ALUMINUM WINDOW FRAMES. PAINTING TO BE COLOR CODED BY SYSTEM.
- I & C DEVELOPMENT ROOM: FLOOR AND CEILING FINISHES ARE TO BE REPLACED, EXISTING PARTITIONS TO BE PAINTED.
- EXISTING CABINETS AND ASSOCIATED METAL DOORS AND FRAMES, AT TOP STAIR LANDING TO BE REMOVED. A NEW PARTITION IS TO BE CONSTRUCTED WHERE DOORS AND FRAMES ARE REMOVED.
- NEW FIRE EXTINGUISHERS ARE TO BE PROVIDED.

MECHANICAL

- I & C DEVELOPMENT ROOM: THE DIRECT EXPANSION SPLIT SYSTEM EQUIPMENT TO BE REUSED AND THE DUCT WORK AND GRILLES TO BE REWORKED.

ELECTRICAL

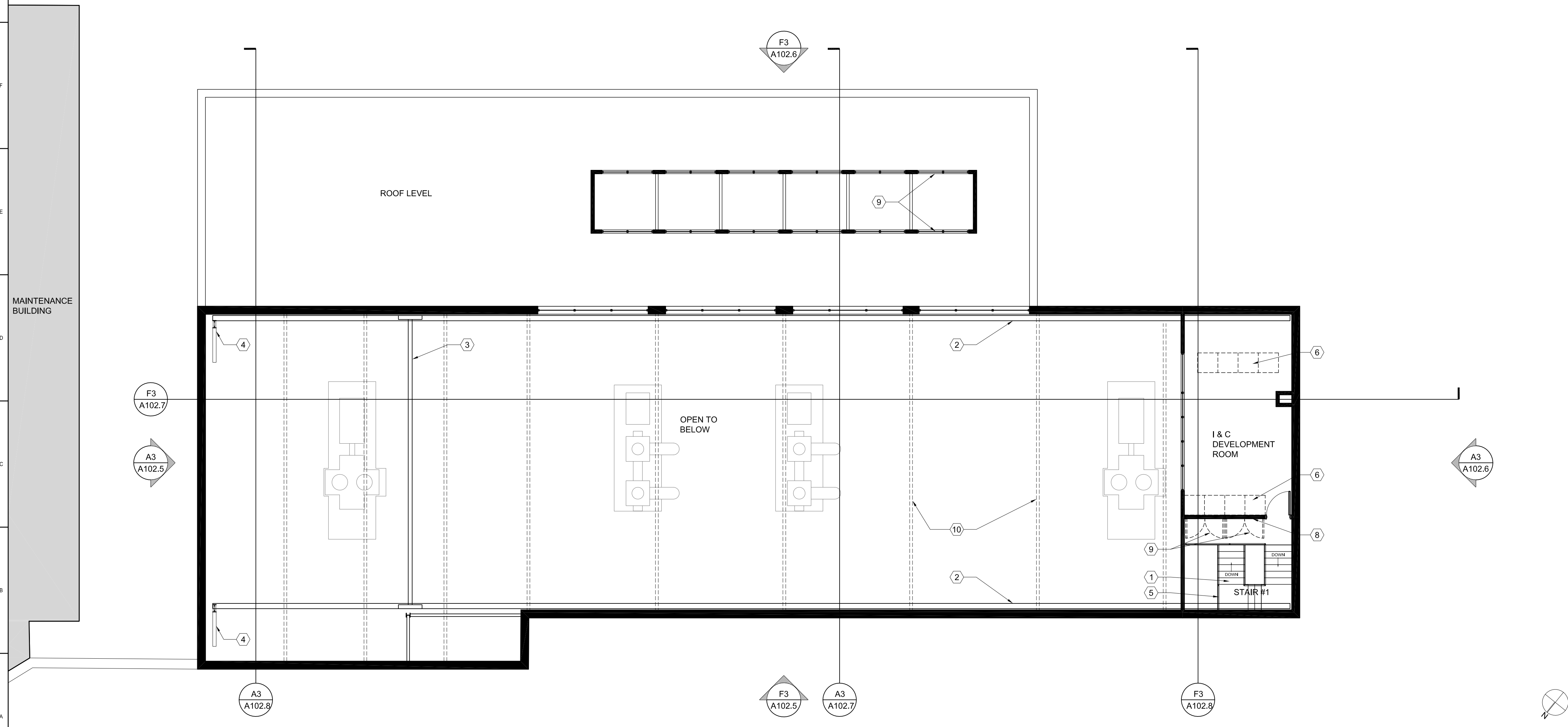
- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS TO BE PROVIDED USING INTEGRAL BATTERY BACK-UP.
- NEW OCCUPANCY SENSORS WILL BE REQUIRED TO MEET CODE.
- I&C DEVELOPMENT ROOM: NEW POWER RECEPTACLES AND BRANCH CIRCUITS FROM EXISTING PANELS ARE TO BE ADDED. NEW 2' X 4' LED TYPE LUMINAIRES ARE TO BE INSTALLED. NEW VOICE AND DATA CABLING AND OUTLETS TO BE INSTALLED.

PHOTOGRAPHS H3

BUILDING SCOPE E1

SPECIFIC NOTES

1. STEEL STAIR.
2. CRANE RAIL.
3. CRANE BEAM.
4. CRANE RAIL END SUPPORT.
5. GUARD RAIL.
6. EXISTING CABINETS TO BE REMOVED.
7. EXISTING DOORS AND FRAMES TO BE REMOVED.
8. NEW PARTITION.
9. EXISTING CLERESTORY WINDOWS.
10. STEEL TRUSS, TYPICAL.
11. WOOD ROOF DECKING.
12. STRUCTURAL STEEL FRAMING.



PUMP BUILDING SECOND FLOOR PLAN
1/8" = 1'-0"

A3

NOTES A1

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DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING
IMPROVEMENTS

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PUMP BUILDING
SECOND FLOOR PLAN

A102.3

PROJECT #: 1501-00	
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30% CON. DESIGN SUB.	03.02.16

PUMP BUILDING
EXTERIOR
ELEVATIONS

A102.5

SCOPE SUMMARY
THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

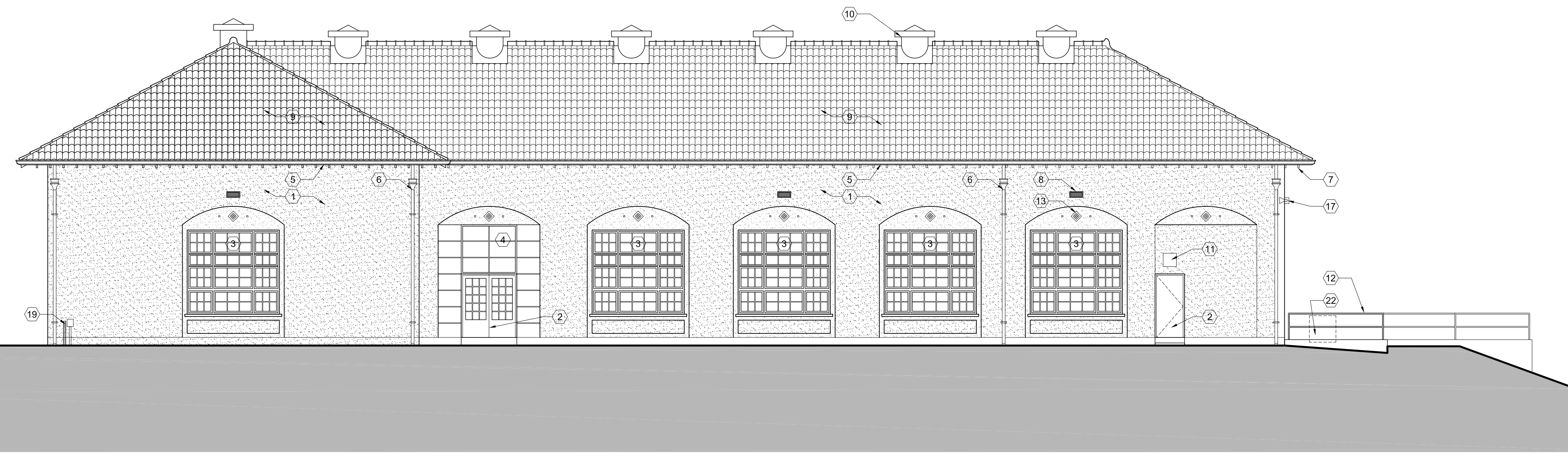
SCOPE ITEMS - EXTERIOR

ARCHITECTURAL

- ALL EXTERIOR SURFACES, EXCLUDING THE ROOF, ARE TO BE CLEANED.
- THE CEMENT PLASTER FINISH WILL BE REPAIRED WHERE DAMAGED OR CRACKED, PREPPED, AND PAINTED.
- WOOD MEMBERS (TRIM ELEMENTS, RAFTER TAILS, ETC.) ARE TO BE REPAIRED / REPLACED WHERE DAMAGED OR ROTTED, WITH MATCHING SPECIES, PREPPED AND PAINTED.
- EXISTING EXTERIOR DOORS AND FRAMES WILL BE PREPPED AND PAINTED. EXTERIOR DOORS IN POOR CONDITION WILL BE REPLACED.
- EXISTING ALUMINUM WINDOWS WILL BE CLEANED.
- EXTERIOR GUARD RAILS AND HAND RAILS AT STAIRS AND RETAINING WALLS ARE TO BE REPAIRED WHERE DAMAGED, PREPPED, AND PAINTED.
- GUTTERS AND DOWNSPOUTS ARE TO BE REPAIRED WHERE DAMAGED, PREPPED, AND PAINTED.
- EXISTING SEALANT (AT PERIMETER WINDOWS, DOORS, WALL PENETRATIONS, ETC.) JOINTS TO BE REPLACED.
- DEMOUNTABLE DEVICES ARE TO BE TEMPORARILY REMOVED AND REINSTALLED TO FACILITATE WORK.
- EXISTING TOILET ROOM WALL EXHAUST PENETRATIONS ARE TO BE FILLED IN.
- EXISTING WALL MOUNTED ELECTRICAL CONDUIT ARE TO BE PREPPED AND PAINTED.
- NO WORK TO THE EXISTING ROOF SYSTEMS IS ANTICIPATED AS PART OF THE PROJECT SCOPE.

ELECTRICAL

- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.

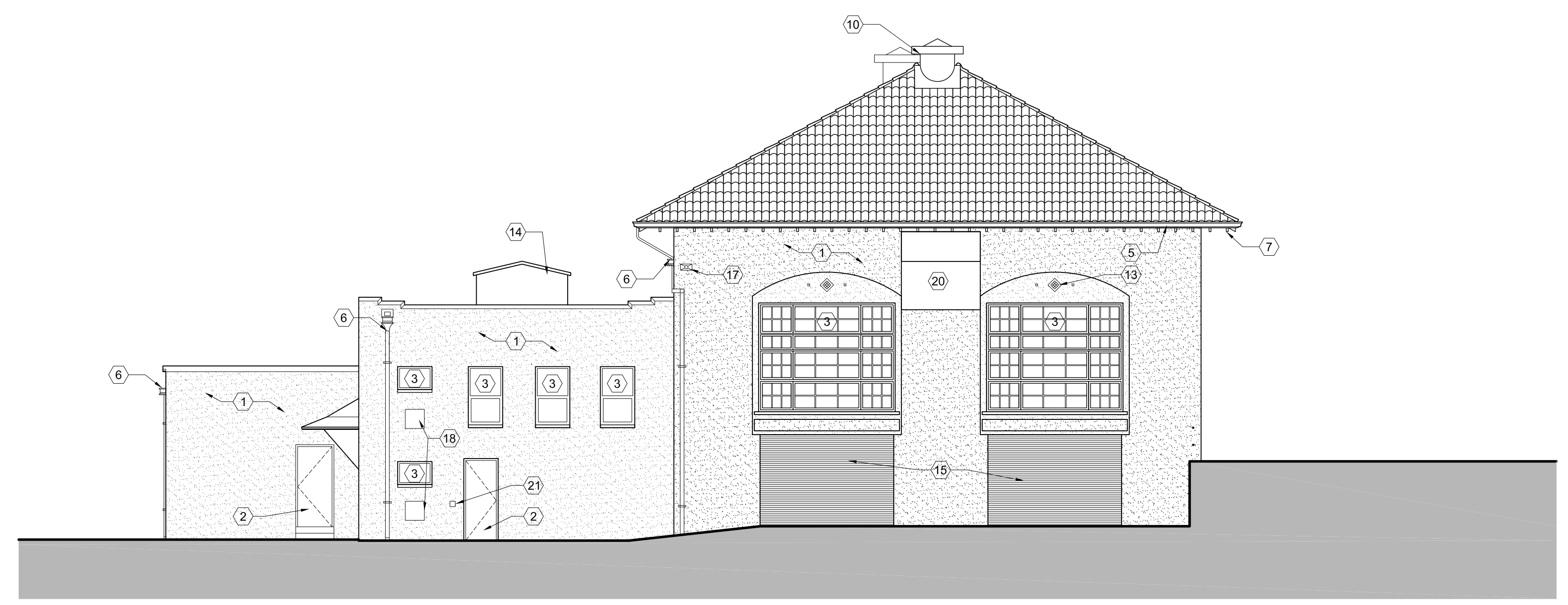


NORTH ELEVATION
1/8" = 1'-0" F3

BUILDING EXTERIOR SCOPE F1

SPECIFIC NOTES

1. CEMENT PLASTER WALL FINISH, TYPICAL.
2. DOOR AND FRAME, METAL.
3. WINDOW, ALUMINUM FRAME.
4. WINDOW, STEEL FRAME.
5. GUTTER.
6. DOWNSPOUT, TYPICAL.
7. WOOD RAFTER TAILS, TYPICAL.
8. EXTERIOR LIGHT FIXTURE, TYPICAL.
9. CLAY TILE ROOF, TYPICAL.
10. ROOF VENT, TYPICAL.
11. BUILDING SIGN.
12. GUARD RAIL, TYPICAL.
13. CERAMIC TILE DETAIL, TYPICAL.
14. SKYLIGHT STRUCTURE WITH CLERESTORY WINDOWS.
15. OVERHEAD COILING DOOR.
16. SECURITY CAMERA.
17. LOUD SPEAKER / HORN.
18. TOILET ROOM EXHAUST VENT.
19. ELECTRICAL EQUIPMENT / CONDUIT.
20. EXHAUST VENT.
21. KEY PAD.
22. ELECTRICAL EQUIPMENT (DASHED FOR DRAWING LEGIBILITY)



EAST ELEVATION
1/8" = 1'-0" A3

NOTES A1

PROJECT #:	1501-00
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PUMP BUILDING
EXTERIOR
ELEVATIONS

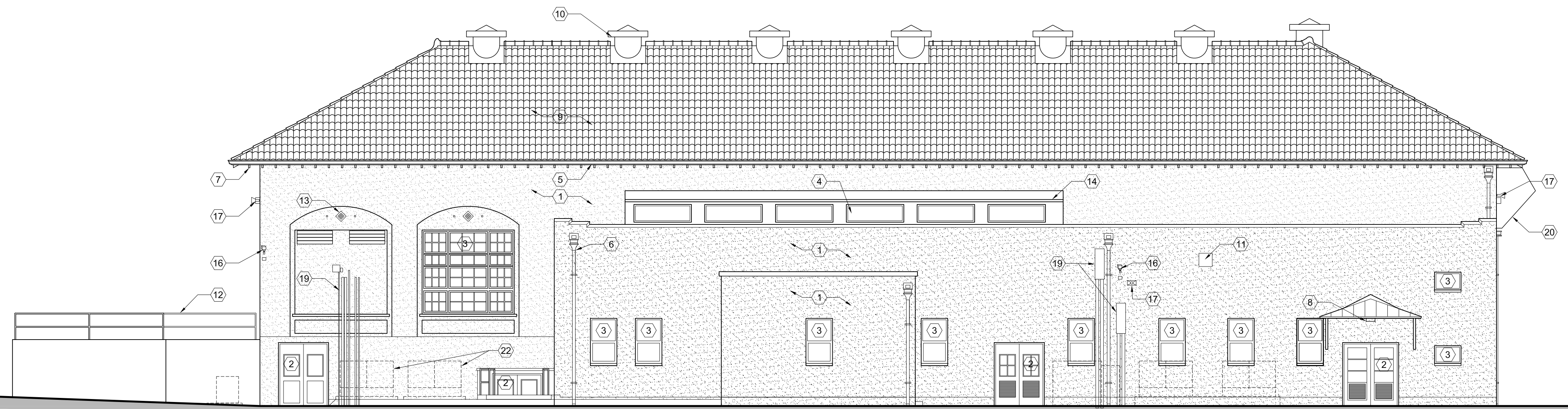
A102.6

SCOPE SUMMARY
THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - EXTERIOR

- ARCHITECTURAL**
- ALL EXTERIOR SURFACES, EXCLUDING THE ROOF, ARE TO BE CLEANED.
 - THE CEMENT PLASTER FINISH WILL BE REPAIRED WHERE DAMAGED OR CRACKED, PREPPED, AND PAINTED.
 - WOOD MEMBERS (TRIM ELEMENTS, RAFTER TAILS, ETC.) ARE TO BE REPAIRED / REPLACED WHERE DAMAGED OR ROTTED, WITH MATCHING SPECIES, PREPPED AND PAINTED.
 - EXISTING EXTERIOR DOORS AND FRAMES WILL BE PREPPED AND PAINTED. EXTERIOR DOORS IN POOR CONDITION WILL BE REPLACED.
 - EXISTING ALUMINUM WINDOWS WILL BE CLEANED.
 - EXTERIOR GUARD RAILS AND HAND RAILS AT STAIRS AND RETAINING WALLS ARE TO BE REPAIRED WHERE DAMAGED, PREPPED, AND PAINTED.
 - GUTTERS AND DOWNSPOUTS ARE TO BE REPAIRED WHERE DAMAGED, PREPPED, AND PAINTED.
 - EXISTING SEALANT (AT PERIMETER WINDOWS, DOORS, WALL PENETRATIONS, ETC.) JOINTS TO BE REPLACED.
 - DEMOUNTABLE DEVICES ARE TO BE TEMPORARILY REMOVED AND REINSTALLED TO FACILITATE WORK.
 - EXISTING TOILET ROOM WALL EXHAUST PENETRATIONS ARE TO BE FILLED IN.
 - EXISTING WALL MOUNTED ELECTRICAL CONDUIT ARE TO BE PREPPED AND PAINTED.
 - NO WORK TO THE EXISTING ROOF SYSTEMS IS ANTICIPATED AS PART OF THE PROJECT SCOPE.

- ELECTRICAL**
- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.

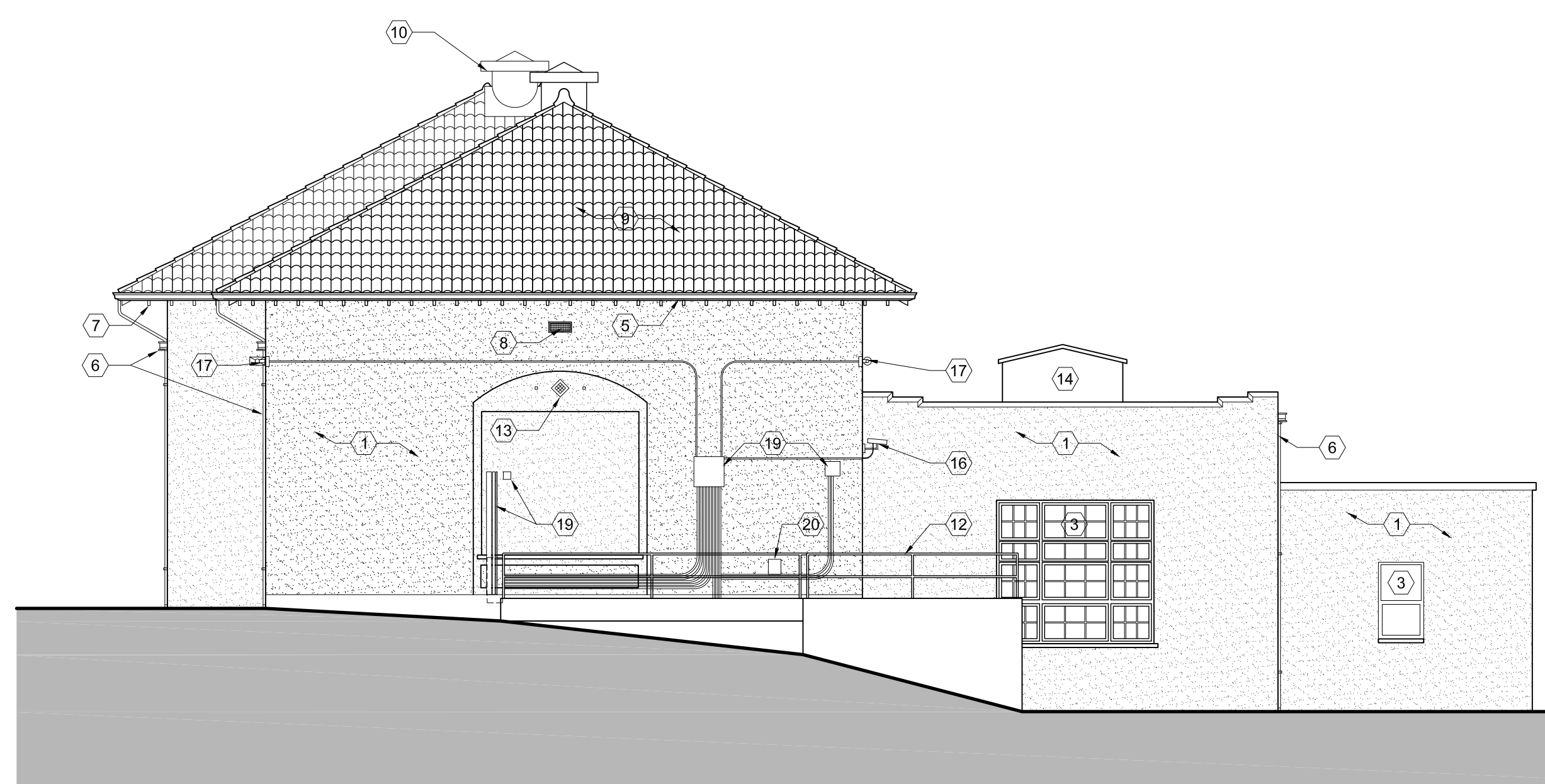


SOUTH ELEVATION
1/8" = 1'-0" F3

BUILDING EXTERIOR SCOPE F1

SPECIFIC NOTES

1. CEMENT PLASTER WALL FINISH, TYPICAL.
2. DOOR AND FRAME, METAL.
3. WINDOW, ALUMINUM FRAME.
4. WINDOW, STEEL FRAME, TYPICAL.
5. GUTTER.
6. DOWNSPOUT, TYPICAL.
7. WOOD RAFTER TAILS, TYPICAL.
8. EXTERIOR LIGHT FIXTURE, TYPICAL.
9. CLAY TILE ROOF, TYPICAL.
10. ROOF VENT, TYPICAL.
11. BUILDING SIGN.
12. GUARD RAIL, TYPICAL.
13. CERAMIC TILE DETAIL, TYPICAL.
14. SKYLIGHT STRUCTURE WITH CLERESTORY WINDOWS.
15. OVERHEAD COILING DOOR.
16. SECURITY CAMERA.
17. LOUD SPEAKER / HORN.
18. TOILET ROOM EXHAUST VENT.
19. ELECTRICAL EQUIPMENT / CONDUIT.
20. EXHAUST VENT.
21. KEY PAD.
22. ELECTRICAL EQUIPMENT (DASHED FOR DRAWING LEGIBILITY), TYPICAL.



WEST ELEVATION
1/8" = 1'-0" A3

NOTES A1

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PUMP BUILDING SECTIONS

A102.7

SCOPE SUMMARY
THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - INTERIOR

ARCHITECTURAL

- CLEAN ALL INTERIOR SURFACES.
- PREPARE AND PAINT THE FOLLOWING PUMP FUNCTION SYSTEMS: PUMPING MACHINERY, ASSOCIATED PIPING, ELECTRICAL SYSTEM COMPONENTS (CONDUITS AND ANY DEVICES ALLOWED BY CODE), ANCILLARY EQUIPMENT. PAINTING TO BE COLOR CODED BY FUNCTION.
- PREPARE AND PAINT / REFINISH THE FOLLOWING BUILDING SYSTEMS: CONCRETE FLOORS AND STAIRS (INCLUDING SAFETY STRIPING), WALLS, PARTITIONS, CONCRETE EQUIPMENT PADS, CONCRETE COLUMNS, BEAMS, SLABS (BOTH SIDES), CONCRETE STAIRS, STEEL STAIRS, HAND AND GUARD RAILS, STRUCTURAL STEEL (COLUMNS, BEAMS, TRUSSES, BRIDGING, ETC.), CRANE RAILS, CRANES, WOOD ROOF DECKING, HARD CEILINGS, DOORS, FRAMES, NON-ALUMINUM WINDOW FRAMES. PAINTING TO BE COLOR CODED BY SYSTEM.
- TOILET AND LOCKER ROOMS ARE TO BE RENOVATED. ALL SURFACES TO REMAIN ARE TO BE CLEANED. GLAZED MASONRY UNITS TO BE REPAIRED AND REPLACED WHERE DAMAGED (IF POSSIBLE).
- I & C HUB ROOM: FLOOR AND CEILING FINISHES ARE TO BE REPLACED. EXISTING PARTITIONS TO BE PAINTED.
- I & C DEVELOPMENT ROOM: FLOOR AND CEILING FINISHES ARE TO BE REPLACED. EXISTING PARTITIONS TO BE PAINTED. EXISTING CABINETS AND ASSOCIATED METAL DOORS AND FRAMES, AT TOP STAIR LANDING TO BE REMOVED. A NEW PARTITION IS TO BE CONSTRUCTED WHERE DOORS AND FRAMES ARE TO BE REMOVED.
- NEW FIRE EXTINGUISHERS ARE TO BE PROVIDED.

PLUMBING

- TOILET ROOMS: RESTORATION INCLUDES REPLACEMENT OF FLUSH VALVE WATER CLOSETS, WALL MOUNTED SINKS, AND BUILT-IN SHOWER. EXISTING SANITARY, HOT AND COLD WATER PIPING WILL BE REUSED AS MUCH AS POSSIBLE.

MECHANICAL

- TOILET ROOMS: WALL MOUNTED EXHAUST FANS ARE UNSAFE AND TO BE REPLACED BY CEILING MOUNTED EXHAUST FANS. THE FANS TO BE CONTROLLED VIA LIGHT SWITCH.
- I & C HUB ROOM: THE DIRECT EXPANSION SPLIT SYSTEM EQUIPMENT TO BE REUSED AND THE DUCT WORK AND GRILLES TO BE REWORKED.
- I & C DEVELOPMENT ROOM: THE DIRECT EXPANSION SPLIT SYSTEM EQUIPMENT TO BE REUSED AND THE DUCT WORK AND GRILLES TO BE REWORKED.

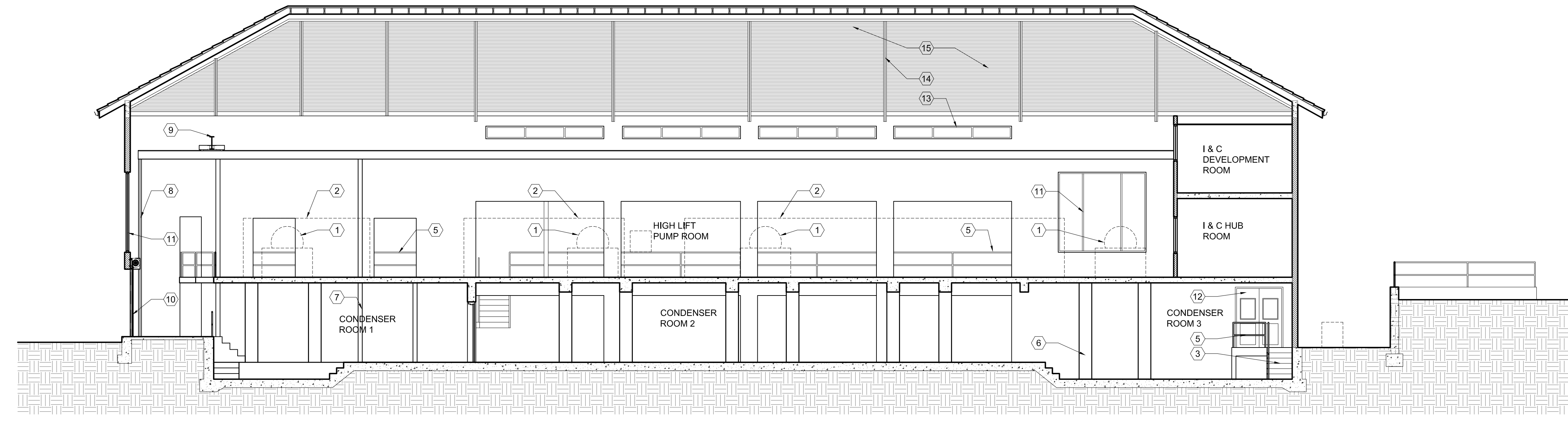
ELECTRICAL

- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS TO BE PROVIDED USING INTEGRAL BATTERY BACK-UP.
- NEW OCCUPANCY SENSORS WILL BE REQUIRED TO MEET CODE.
- I&C HUB ROOM: NEW POWER RECEPTACLES AND BRANCH CIRCUITS FROM EXISTING PANELS ARE TO BE ADDED. NEW 2' X 4' LED TYPE LUMINAIRES ARE TO BE INSTALLED. NEW VOICE AND DATA CABLING AND OUTLETS TO BE INSTALLED.
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- ELECTRICAL EQUIPMENT RESTRICTING ACCESS TO STAIR TO LOW LIFT PUMP ROOM AND TO TOILET ROOMS TO BE ADJUSTED TO ALLOW CLEAR ACCESS.

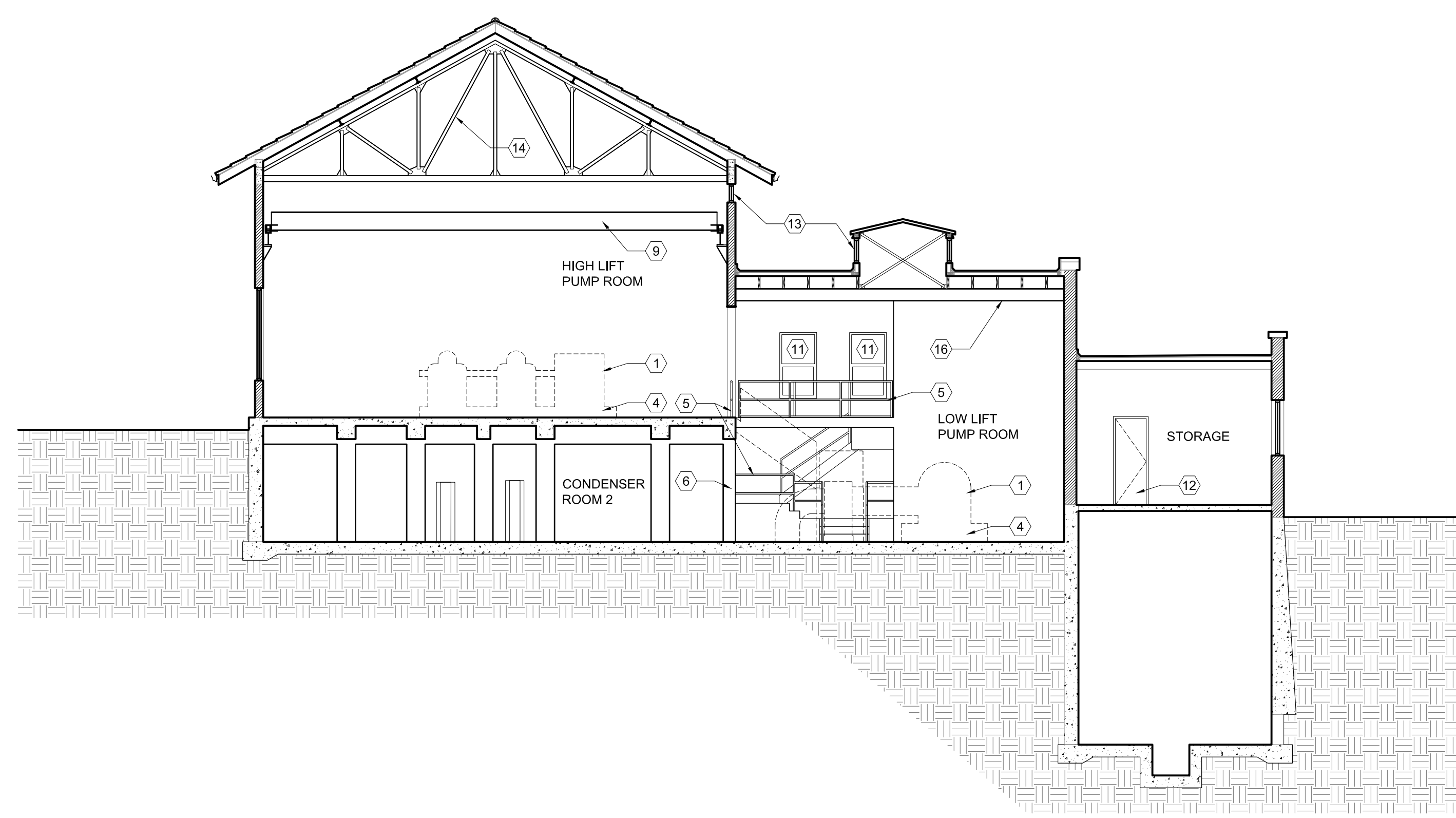
BUILDING INTERIOR SCOPE

SPECIFIC NOTES

1. PUMPING MACHINERY. DASHED FOR DRAWING LEGIBILITY.
2. ELECTRICAL EQUIPMENT. DASHED FOR DRAWING LEGIBILITY.
3. STEEL STAIR (ALL OTHERS ARE CONCRETE)
4. CONCRETE EQUIPMENT PAD.
5. GUARD RAIL, TYPICAL.
6. CONCRETE COLUMN, TYPICAL.
7. STEEL COLUMN, TYPICAL.
8. CRANE RAIL END SUPPORT.
9. CRANE BEAM.
10. OVERHEAD COLLING DOOR.
11. ALUMINUM WINDOW, TYPICAL.
12. METAL DOOR AND FRAME.
13. CLERESTORY WINDOW, TYPICAL.
14. STEEL TRUSS.
15. WOOD ROOF DECKING.
16. STRUCTURAL STEEL FRAMING.



PUMP BUILDING SECTION F3
1/8" = 1'-0"



PUMP BUILDING SECTION A3
1/8" = 1'-0"

NOTES A1

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DAVID L. TIPPIN WATER TREATMENT FACILITY BUILDING IMPROVEMENTS

PROJECT #:	1501-00
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30% CON. DESIGN SUB.	03.02.16

PUMP BUILDING SECTIONS

A102.8

SCOPE SUMMARY

THE SCOPE OF WORK FOR THE MAIN PUMP BUILDING CONSISTS OF A COMPREHENSIVE CLEANING THROUGHOUT BOTH THE INTERIOR AND EXTERIOR.

SCOPE ITEMS - INTERIOR

ARCHITECTURAL

- CLEAN ALL INTERIOR SURFACES.
- PREPARE AND PAINT THE FOLLOWING PUMP FUNCTION SYSTEMS: PUMPING MACHINERY, ASSOCIATED PIPING, ELECTRICAL SYSTEM COMPONENTS (CONDUITS AND ANY DEVICES ALLOWED BY CODE), ANCILLARY EQUIPMENT. PAINTING TO BE COLOR CODED BY FUNCTION.
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- NEW FIRE EXTINGUISHERS ARE TO BE PROVIDED.

PLUMBING

- TOILET ROOMS: RESTORATION INCLUDES REPLACEMENT OF FLUSH VALVE WATER CLOSETS, WALL MOUNTED SINKS, AND BUILT-IN SHOWER. EXISTING SANITARY, HOT AND COLD WATER PIPING WILL BE REUSED AS MUCH AS POSSIBLE.

MECHANICAL

- TOILET ROOMS: WALL MOUNTED EXHAUST FANS ARE UNSAFE AND TO BE REPLACED BY CEILING MOUNTED EXHAUST FANS. THE FANS TO BE CONTROLLED VIA LIGHT SWITCH.
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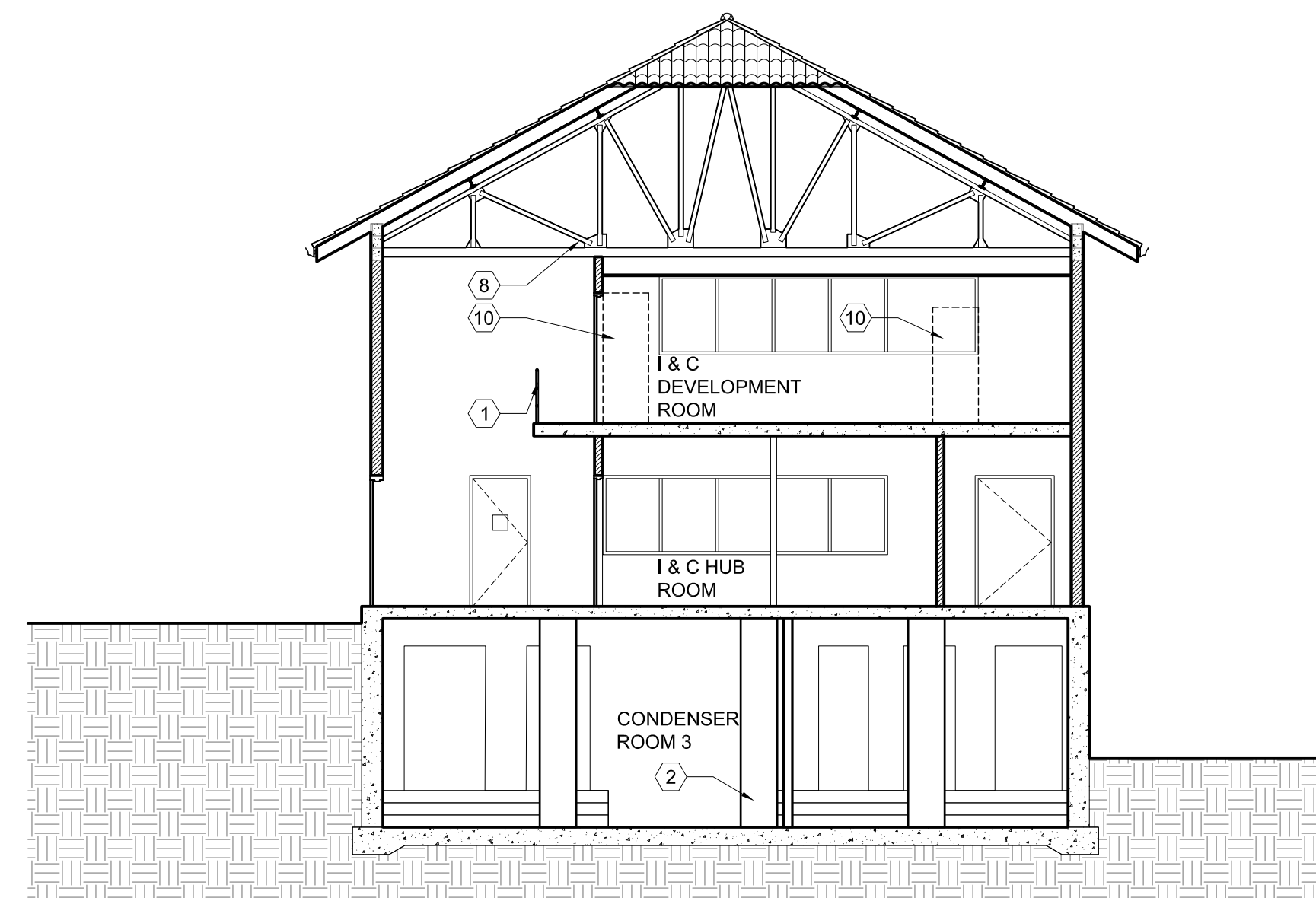
ELECTRICAL

- GENERALLY, EXISTING LIGHT FIXTURES TO BE REPLACED WITH NEW LED TYPE LUMINAIRES.
- NEW EXIT SIGNS AND EMERGENCY EGRESS LIGHTING IS TO BE PROVIDED USING INTEGRAL BATTERY BACK-UP.
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- I&C DEVELOPMENT ROOM: NEW POWER RECEPTACLES AND BRANCH CIRCUITS FROM EXISTING PANELS ARE TO BE ADDED. NEW 2' X 4' LED TYPE LUMINAIRES ARE TO BE INSTALLED. NEW VOICE AND DATA CABLING AND OUTLETS TO BE INSTALLED.
- ELECTRICAL EQUIPMENT RESTRICTING ACCESS TO STAIR TO LOW LIFT PUMP ROOM AND TO TOILET ROOMS TO BE ADJUSTED TO ALLOW CLEAR ACCESS.

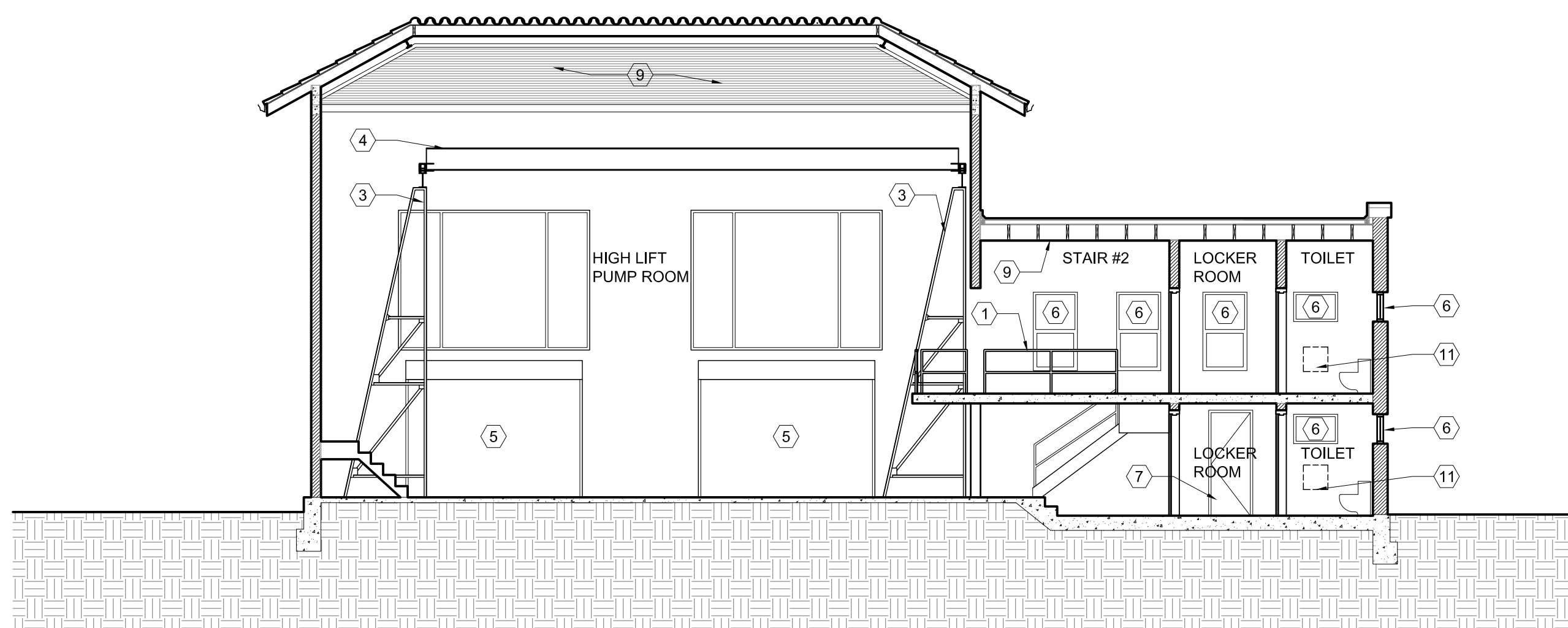
BUILDING INTERIOR SCOPE D1

SPECIFIC NOTES

1. GUARD RAIL.
2. CONCRETE COLUMN, TYPICAL.
3. CRANE RAIL END SUPPORT, CRANE BEAM.
4. OVERHEAD COILING DOOR.
5. ALUMINUM WINDOW, TYPICAL.
6. METAL DOOR AND FRAME.
7. STEEL TRUSS.
8. WOOD ROOF DECKING.
9. EXISTING CABINETS TO BE REMOVED.
10. TOILET ROOM EXHAUST VENT.



PUMP BUILDING SECTION F3
1/8" = 1'-0"



PUMP BUILDING SECTION A3
1/8" = 1'-0"

NOTES A1