

PROPOSED TEXT AMENDMENTS TO THE WEST TAMPA OVERLAY

WEST TAMPA CRA – INFRASTRUCTURE SUBCOMMITTEE

TEXT AMENDMENT SUMMARY - COMMERCIAL

- **Sec. 27-241. - West Tampa Overlay District Development Design Standards.**
 - (d) Review Procedure
 - (e) General Building Standards
 - (1) Commercial properties
 - b. Submission requirements
 - 3. Exterior Elevations
 - c. Site and Building standards
 - 3. Principle façade
 - 7. Exterior Garbage receptacles and dumpsters
 - Added 13. Design

TEXT AMENDMENT SUMMARY - COMMERCIAL

- **Sec. 27-241. - West Tampa Overlay District Development Design Standards.**
 - (e) General Building Standards
 - (I) Commercial properties
 - d. Parking
 - 4. Business Core District boundary
 - i. zoning districts
 - Added iii-v.
 - e. General Sign Standards
 - 3. removed
 - Added 4-8

TEXT AMENDMENT SUMMARY - COMMERCIAL

- **Sec. 27-241. - West Tampa Overlay District Development Design Standards.**
 - (g) Fencing
 - Added (h) Commercial Addendum for non-Historic Cigar Factories

TEXT AMENDMENT SUMMARY - RESIDENTIAL

- **Sec. 27-241. - West Tampa Overlay District Development Design Standards.**
 - (e) General Building Standards
 - (2) Residential properties
 - (c) Site and building standards
 - 3. Carports
 - 4. Fencing
 - 5. Alley access
 - Removed 6-7 and replaced with form based code
 - Added 9. Accessory residential structure

(d) REVIEW PROCEDURE

Added:

An “ombudsman” position should be created to expedite and resolve conflicting issues within the review process.

“Ombudsman - an official appointed to investigate individuals' complaints against maladministration, especially that of public authorities.”

(e) General Building Standards

(1) Commercial properties

b. Submission requirements

3. Exterior Elevations

3. *Exterior elevations.* The exterior elevation of each side of the project fronting or visible from the public right(s)-of-way. Include existing structures abutting the proposed project which are also visible from the public right(s)-of-way.

Accessory structures that are visible from the ROW should be architecturally consistent with the design style of the main building.

(e) General Building Standards

(1) Commercial properties

c. Site and Building standards

3. Principle façade

3. The principal façade ~~and entry~~ **shall remain as the principle entry** to the building and shall front the public right(s)-of-way (or may be located off the courtyard if applicable) and must be accessible from the sidewalk. The relationship of the street frontage to business shall assure pedestrian safety and retail visibility. At least fifty (50) percent of the ground level of the principal building front façade and corner façade, if there is a main entry to a principal use of the building, shall be constructed of transparent materials or fenestrated. The required fifty (50) percent transparency must be equally distributed on the wall plane.

(e) General Building Standards

(1) Commercial properties

c. Site and Building standards

7. Exterior Garbage receptacles and dumpsters

- 7. Any exterior garbage receptacles, dumpsters, or mechanical equipment must be placed on a suitable slab and screened from view of any public right(s)-of-way ~~or residential use with one hundred (100) percent opaque material which is compatible with the front façade of the principal structure. However, the entry doors to the receptacle area must be no more than fifty (50) percent opaque.~~ In addition, garbage receptacles and dumpsters must be located on private property and be accessible for service by the solid waste department.

(e) General Building Standards

(1) Commercial properties

c. Site and Building standards

7. Exterior Garbage receptacles and dumpsters

Dumpsters can be used where appropriate, away from the historic area.

Garbage receptacles will be screened with transparent materials to comply with TPD preference for transparency for security reasons.

On Main St. only, add general dumpsters for all businesses to use. The use of carts should be used when narrow alleys and limited space due to sidewalks and front entries to buildings are limited. The dumpsters are unsightly and are not practical in older historical areas.

(e) General Building Standards

(1) Commercial properties

c. Site and Building standards

13. Design

Added:

I3. Within the West Tampa Business District, the repair of existing buildings and construction of new buildings should reflect the design of the majority of the existing buildings on that block.

- (e) General Building Standards
 - (1) Commercial properties
 - d. Parking

4. Business Core District boundary

4. The Business Core District of West Tampa (East of Tampania Avenue, South of Columbus Drive, West of **Rome Ave -Albany Avenue**, and North of Cypress Street) is characteristic of historic downtown districts like the Ybor City Core along 7th Avenue. Historic structures occupy much of the land area, leaving little space for off-street parking. Therefore, within the Business Core District of West Tampa, the following provision of parking shall be allowed:

- i. No off-street parking spaces shall be required for neighborhood serving uses occupying existing structures. Neighborhood serving uses shall include all uses allowed in the CN, **CI, CG** zoning district (refer to section 27-156, Table 4-1), with the following limitation: this exception does not apply to restaurant uses with greater than a one hundred-person occupant load, as determined by the Life Safety Code, or to medical uses with greater than three thousand (3,000) square feet of gross floor area.

- iii. **Provide for ingress/egress from parking lots through improved alleys.**
- iv. **Alleys are prohibited from being vacated.**
- v. **Parking structures need to meet the same design standards as other buildings within the West Tampa Business District.**

(e) General Building Standards

(1) Commercial properties

e. General Sign Standards

Remove

~~3. Freestanding signs shall be a maximum of fifteen (15) square feet in area, six (6) feet in height, and may be placed at the property line subject to section 27-283.5, Visibility at intersections.~~

(e) General Building Standards

(1) Commercial properties

e. General Sign Standards

Add

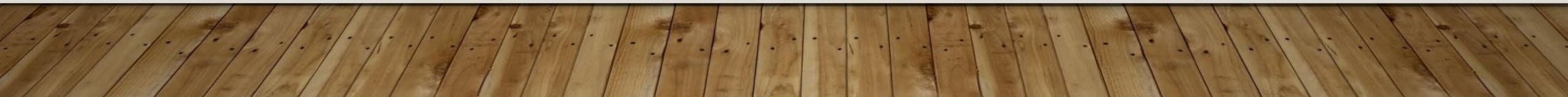
4. Signage within the historic business district shall be more restrictive than other areas within the Overlay.

5. Box signs will not be allowed.

6. "Blade" signs attached to a building or hanging perpendicular to a building, canopy or overhang and corner signs should be allowed with guidelines related to size and shape.

7. Storefront and window graphic decals and perforated decals covering full fenestration should not be allowed. Approval by City staff should be required for the amount of black out or fake fenestration.

8. Murals should be subject to approval and consistent with the character of the neighborhood. Any business-related wording would count toward the sign allowance.



- (e) General Building Standards
 - (1) Commercial properties
 - g. Fencing
-

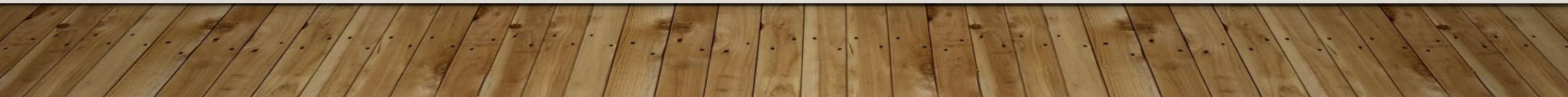
g. *Fencing*. Chain link fences may not front or be visible from the public right(s)-of-way except during construction. Such construction fencing shall be removed prior to obtaining any certificate of occupancy. **Fencing colors should be compatible with the structure.** Decorative fencing for the purposes of implementing CPTED principles is required.

(e) General Building Standards
(1) Commercial properties

h.

Added

h. Commercial Addendum for Cigar Factories that are NOT designated as “Historic”. A form-based code with very specific standards should be considered for cigar factories and other historic buildings.

- 1. Explore creation of a special board to oversee changes to cigar factories and other historic buildings with a fast track process.**
 - 2. All exterior appearances of the original Cigar Factory must remain in place.**
 - 3. Windows must remain the same shape and size and be replaced with the same glass as when original. Clear or stained. Changes must follow existing facade style. Distinction must be made between an existing window or an empty space where there was previously a window.**
 - 4. Exterior Doors must reflect the design of the original doors.**
 - 5. Exterior materials must remain, any repairs must represent the original pattern. Original Brick should be preserved to the extent possible. Brick paint or stain must be approved. The original trim color must be used.**
 - 6. If the windows had shutters, Shutters shall be replaced in the same style as the original shutters.**
- 

(e) General Building Standards
(1) Commercial properties
h. Addendum

Added

h. Commercial Addendum for Cigar Factories that are NOT designated as “Historic”. A form-based code with very specific standards should be considered for cigar factories and other historic buildings. **Continued**

- 7. No external Murals, (Design exception)**
- 8. All walls and knee fences must remain and reinforced if necessary. Original perimeters if identified should remain.**
- 9. Existing electricity and plumbing will be upgraded to meet current standards if necessary. (Code)**
- 10. Exterior lighting and fixtures must compliment the era of the building.**
- 11. Existing green space should remain from property line to front facade of building.**
- 12. Parking should not interfere with the front facade of the building. No upfront parking.**
- 13. Any building modifications ex. elevator shaft, exterior stairway, shall complement the original building architecture.**

(e) General Building Standards

(2) Residential properties

(c) Site and building standards

3. Carports

3. *Carports*: One-story, unenclosed carports constructed as part of the principal structure may be placed within three feet of side yard property line, if in compliance with all life safety codes. **For independent free standing structures of the principal structure shall have the same consistent design and make-up of the principal structure and cannot extend pass the front of the principal structure.**

(e) General Building Standards

(2) Residential properties

(c) Site and building standards

4. Fencing

4. *Fencing*: The erection of chain link fencing ~~within the front yards~~ is prohibited. New construction and replacement of chain link fencing shall be prohibited. However where there is an existing chain link fence it shall be permitted and any repairs to that existing chain link fence may also be permitted as long as it is in good standard **for existing homes. The fencing material can be PVC, pressure treated wood or rod iron .The color of the fence shall be complementary to the principal structure. Murals on the exterior of the fence is prohibited.**

Any existing decorative retaining wall shall not be removed and any remaining sections shall be properly maintained and/or restored to a satisfactory condition and structurally sound.

(e) General Building Standards

(2) Residential properties

(c) Site and building standards

5. Alley access

5. *Alley access:* If an existing lot is adjacent to an open and used public alley, vehicular access to the site ~~may~~ shall be ~~provided~~ from the alley as the primary, vehicular access point provided it meets minimum standards referenced in 27-283.12, Off-street parking space standards. For subdivided, condominiums or multi-family development, where units are designed with principal entrance orientation toward the alley, there must be provided pedestrian access to the street right(s)-of-way, to and from each unit on the zoning lot.

(e) General Building Standards

(2) Residential properties

(c) Site and building standards

6. Roof Pitch and 7. Floor height

Sections 6 and 7 to be removed and replaced with form based code.

- **6. The following home styles, including their standards, shall be permitted in the designated residential zones:**
- **Historic (area within the historic boundary)**
- **West Riverfront***
 - **only single-family homes allow for this zone**
- **Armory Garden***
- **Old West Tampa***
- **Macfarlane Park***
- **Bowman Heights***
- **North Hyde Park***

(e) General Building Standards

(2) Residential properties

(c) Site and building standards

9. Accessory Structure

9. *Accessory structure*: The maximum height and separation from single family residential structures and detached garages or other accessory structures shall be governed by the underlying zoning district.

iii. Any accessory residential structure shall meet the architectural and building style of the principal structure

PROPOSED TEXT AMENDMENTS TO THE WEST TAMPA OVERLAY

WEST TAMPA CRA – INFRASTRUCTURE SUBCOMMITTEE