

ORDINANCE NO. 2011- 45

AN ORDINANCE OF THE CITY OF TAMPA, FLORIDA, **RELATING TO THE GREATER SEMINOLE HEIGHTS DISTRICT**, MAKING COMPREHENSIVE REVISIONS TO CITY OF TAMPA CODE OF ORDINANCES, CHAPTER 27 (ZONING); CREATING ARTICLE XXV. GREATER SEMINOLE HEIGHTS DISTRICT; AMENDING SECTION 27-544, DEFINITIONS OF GROUPINGS OF VARIOUS DISTRICTS; AMENDING SECTION 27-545, DEFINITIONS; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT THEREWITH; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Tampa directed the Land Development Coordination office to complete the following amendment to Chapter 27, Code of Ordinances; and,

WHEREAS, the Hillsborough County City-County Planning Commission conducted a public hearing on this ordinance and made a finding that it is consistent with the Tampa Comprehensive Plan; and

WHEREAS, the City Council of the City of Tampa has determined that the following amendments promote and protect the general health, safety and welfare of the residents of the City of Tampa; and,

WHEREAS, duly noticed public hearings as required by law were held by the City Council of the City of Tampa, at which public hearings all residents and interested persons were given an opportunity to be heard.

NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TAMPA, FLORIDA:

Section 1. That **“Article XXV. Greater Seminole Heights District.”** is hereby created and attached as “Exhibit A” (Known on the attachment as Exhibit “B”).

Section 2. That **“Sec. 27-544. Definitions of groupings of various districts.”** is hereby amended by adding the underlined language as follows:

“Sec. 27-544. Definitions of groupings of various districts.

- (a) Residential districts. Where the phrases “all residential districts,” “residential districts,” “zoned residence or residentially,” “residentially zoned” or phraseology of similar intent are used in this chapter, the phrases shall be construed to include the following districts: RS-150, RS-100, RS-75, RS-60, RS-50, RM-12, RM-16,

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1 RM-18, RM-24, RM-35, RM-50, RM-75, YC-2 ,YC-4, YC-8, and YC-9, SH-RS,
2 SH-RS-A, SH-RM, SH-PD and planned development districts (PD and PD-A)
3 approved primarily for residential uses.

4
5 (b) Office districts. Where the phrases “all office districts,” “office districts,” “zoned
6 office,” “office zoned” or phraseology of similar intent are used in this chapter,
7 the phrases shall be construed to include the following districts: RO, RO-1, OP,
8 OP-1, and YC-3, SH-RO, SH-O, SH-PD and planned development districts (PD
9 and PD-A) approved primarily for office uses.

10
11 (c) Commercial districts. Where the phrases “commercial districts,” “zoned
12 commercial or commercially,” “commercially zoned” or phraseology of similar
13 intent are used in this chapter, the phrases shall be construed to include the
14 following districts: CN, CG, CI, YC-1, YC-5, YC-6, and YC-7, SH-CG, SH-CI,
15 SH-PD and planned development districts (PD and PD-A) approved primarily for
16 commercial uses.”

17
18 **Section 3.** That “**Sec. 27-545. Definitions.**” is hereby amended by adding
19 the underlined language as follows:

20
21 **“Sec. 27-545. Definitions.**

22
23 Private cultural facility: The use of land, buildings or structures by an incorporated not-
24 for profit entity to provide cultural services directly to the general public, including
25 libraries and museums.

26
27 Usable floor area: The sum of all spaces, whether fully enclosed in building or open air,
28 that may be occupied by persons. For the purposes of calculating floor area ratio, the
29 usable floor area shall exclude open air terraces, patios, balconies, and breezeways, as
30 well as atriums and parking.”

31
32 **Section 4.** That should a court of competent jurisdiction declare any part of
33 this Ordinance invalid the remaining parts hereof shall not, in any way, be affected by
34 such determination as to the invalid part.

35
36 **Section 5.** That all ordinances or parts of ordinances in conflict herewith are
37 hereby repealed to the extent of any conflict.

38
39 **Section 6.** That this ordinance shall take effect shall take effect on April 1,
40 2011.

1 PASSED AND ORDAINED BY THE CITY COUNCIL OF THE CITY OF
2 TAMPA, FLORIDA, ON MAR 24 2011.

3
4 ATTEST:

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8 CHAIRMAN/CHAIRMAN PRO-TEM
9 CITY COUNCIL

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12 
13 CITY CLERK/DEPUTY CITY CLERK
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15
16
17 APPROVED BY ME ON MAR 25 2011

18
19
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21 
22
23 PAM IORIO, MAYOR

24
25
26 APPROVED AS TO LEGAL
27 SUFFICIENCY BY:

28
29
30 E/S
31 JULIA MANDELL COLE
32 SENIOR ASSISTANT CITY ATTORNEY

33
34 K:/Debbie/Ordinances/Chapter27/July 2010 Cycle_Ord.8_Sem-Hgts_3.8.11

Sec. 27-546. The Greater Seminole Heights Vision; establishment of district boundaries.

- (a) *Description of area.* The established boundaries of the district are as follows:

From the centerline of the Hillsborough River, beginning at Dr. Martin Luther King, Jr. Blvd, running north and east to the centerline of 22nd Street; thence running south to the centerline of Hillsborough Avenue; thence running west to the centerline of 15th Street; thence running south to the centerline of Dr. Martin Luther King, Jr. Blvd; thence running west to the centerline of the Hillsborough River, to the point of beginning.

- (b) *Purpose.* The purpose and intent of this article is to ensure that all development is compatible in form, building and structural orientation, general site layout, height, lot dimensional requirements and other site spatial relationships to the precedent within the established block and generally, the surrounding area.

Furthermore, it is the purpose and intent of the Tampa Comprehensive Plan, and of this article, which aids in implementing it, to promote the public health, safety, comfort, amenities, prosperity, and general welfare of the city; and to provide, among other matters, a wholesome, serviceable, and attractive community; to help foster a more favorable environment in which to live, work, and play; to ensure that there is a seamless integration between private property and the public realm; to regulate the use, construction and maintenance of the public realm (including but not limited to streets, alleys, sidewalks, street lights); to regulate the use and development of land; to provide regulations, which allow and encourage creativity, effectiveness, and flexibility in the design and use of land while promoting traffic safety and avoiding an environment that encourages visual blight; to protect trees, wetlands, and natural resources by regulating the trimming or removing of trees, site clearing, landscaping, tree planting, and irrigation in the district.

- (c) *Compliance.* All requests for zoning changes, new development, new construction, major renovation, change of use, and increase in intensity of use shall be required to comply with the applicable development standards set forth in this article. In cases of conflict, the standards set forth in this article shall apply. For those development issues not addressed in this article,

the underlying requirements of Chapter 27 Zoning (such as Article V, VI, and X) and other applicable land development regulations of the Tampa City Code shall apply.

- (d) *Vision Map.* The future land use pattern and growth of the district is guided by the Vision Map and the Future Land Use Map, as set forth and described in the Greater Seminole Heights Vision Plan and the Tampa Comprehensive Plan respectively.
- (e) *Nodes.* The district contains two (2) types of nodes: Neighborhood Scale (1/4 mile) and Community Scale (1/2 mile). Each node represents an area of potential redevelopment density and/or intensity increase, as set forth in the Tampa Comprehensive Plan and Greater Seminole Heights Vision Plan. The potential increase in density/intensity is subject to the bonus methodology and calculation set forth in sec. 27-329. The list of bonus amenities is set forth in sec. 27-557.
- (f) *Connectivity Map.* The Connectivity Map, known as "Map SH-25.3," hereby establishes the priority pedestrian and bicycle corridors for the district. Any funds, including capital expenditures and in-lieu fees that are slated for corridor improvements related to pedestrian and bicycle enhancements, shall be targeted to the corridors identified on this map. Once all identified corridors are enhanced, other corridors may receive funding for similar enhancements. This map may be amended from time to time to address changing needs of the district.
- (g) *Public realm.* Integration of the public and private realm is imperative in creating and sustaining a livable place. The street cross sections contained in this Overlay District set forth the basic, minimum standard for widths and locations of sidewalks, bicycle lanes, on street parking, travel lanes, and tree plantings within the public realm.

Sec. 27-547. General administrative procedures.

- (a) Determination of uses not listed shall be reviewed according to the provisions of sec. 27-371.
- (b) For those development issues not addressed in this article, the underlying requirements of Chapter 27 Zoning (such as Article V, VI, and X) and other applicable land development regulations of the Tampa City Code shall apply.
- (c) Alternative design exceptions to the standards set forth in the article may be considered by the zoning administrator, subject to sec. 27-372.
- (d) Any person aggrieved by any order, requirement, decision, or determination of the zoning administrator with regard to these design standards may request review of that order, requirement, decision, or determination in accordance with sec. 27-373.
- (e) Plan review shall be performed consistent with the applicable plan review procedure, construction plan review, alternative design exception, and/or concurrency.

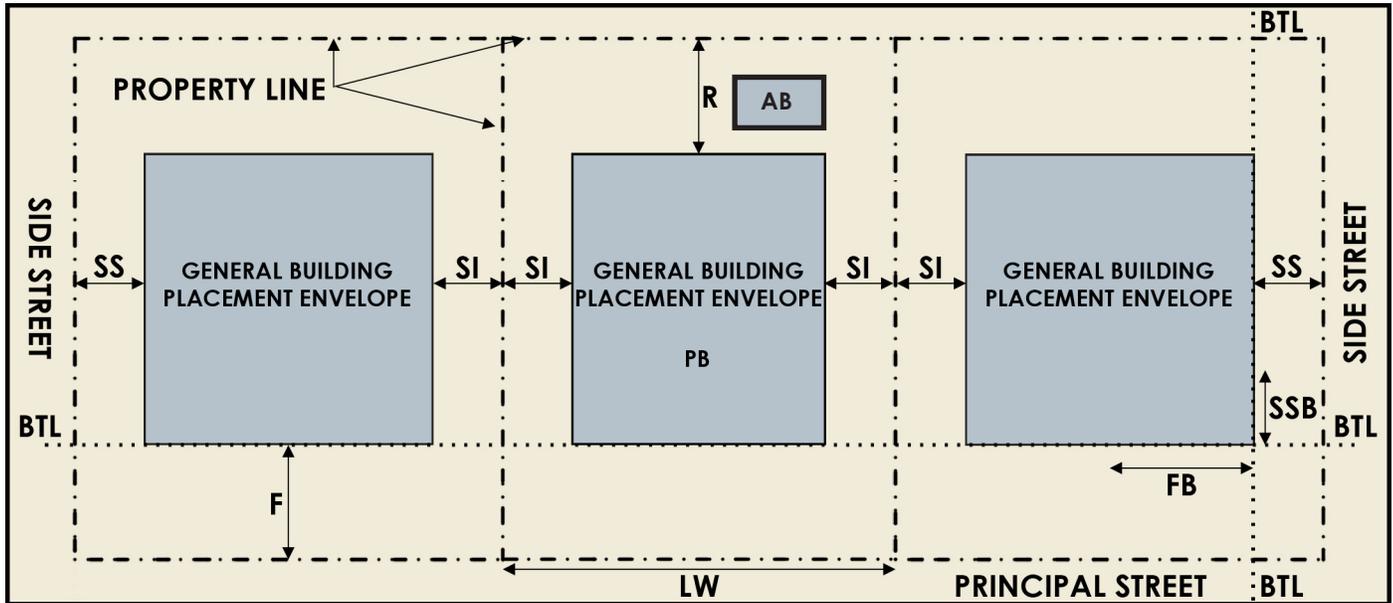
Sec. 27-548. Establishment of the Regulating Map; establishment of sub-districts and associated general land development regulations by sub-district and development form.

- (a) The Regulating Map derives its zoning and development authority through Sec. 27-47. The base layer of the Regulating Map is the Zoning Atlas. Each additional layer represents a regulatory mechanism that directly relates to development layout, building form and/or design character, geographical location, and relationships of these development characteristics to the public realm. The Regulating Map shall be kept on file with the zoning administrator. The layers of the Regulating Map are as follows:
 - (1) Map SH-25.1: Residential Building Form
 - (2) Map SH-25.2: Frontage Types
 - (3) Map SH-25.3: Public Realm/Connectivity Map
- (b) *Sub-districts.* The following SH (Seminole Heights) sub-districts shall be the only zoning districts permitted within the Greater Seminole Heights District (refer to sec. 27-77 for detailed descriptions):

- (1) SH-RS: single-family detached residential (refer to sec. 27-548.1)
 - (2) SH-RS-A: single-family attached residential (refer to sec. 27-548.2)
 - (3) SH-RM: multi-family residential (refer to sec. 27-548.3)
 - (4) SH-RO: residential office (refer to sec. 27-548.4)
 - (5) SH-O: office (refer to sec. 27-548.5)
 - (6) SH-CG: mixed use, commercial general (refer to sec. 27-548.6)
 - (7) SH-CI: mixed use, commercial intensive (refer to sec. 27-548.6)
 - (8) SH-PD: planned development (refer to Article XIII for site plan zoning district requirements and procedures)
- (c) Permitted uses are organized and listed by zoning district in Table SH-25.1.

Sec. 27-548.1. General District Development Standards for Seminole Heights – Residential Single-family detached (SH-RS) district.

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below: **Graphic 548.1a**



KEY (SH-RS): Table 548.1a

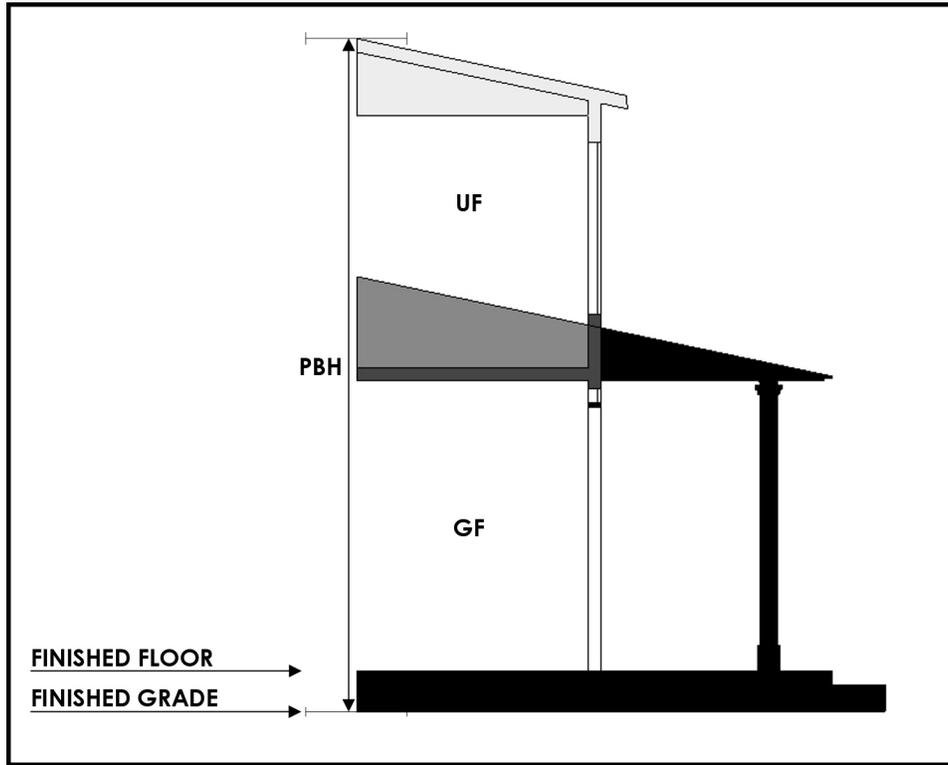
See also Sec. 27-545 Definitions	PB: Principal building	F: Front	FB: Front Building Form	LW: Lot Width
	AB: Accessory building	SS: Side (street)	SI: Side (interior)	SSB: Side (street) Building Form
	BTL: Build-to-line	R: Rear		SF: Square Feet
				min: minimum

Building Placement (PB) [8]		Building Placement (AB) [7,8]	
BTL [1]		Setback [3]	
F	[5]	F	60'
SS	[2, 5]	SS	3'
Setback [2, 3]		Setback [3]	
SI	7' [6]	SI	3'
R	20'	R	3'
Building Form		Building Form	
FB	Refer to Map SH-25.1 Refer to Sec. 27-549	FB	Adhere to Principal Building Form
SSB		SSB	Adhere to Principal Building Form
Lot Configuration [4]			
Lot Width		50' min	
Lot Area		5000 SF min	

Notes:

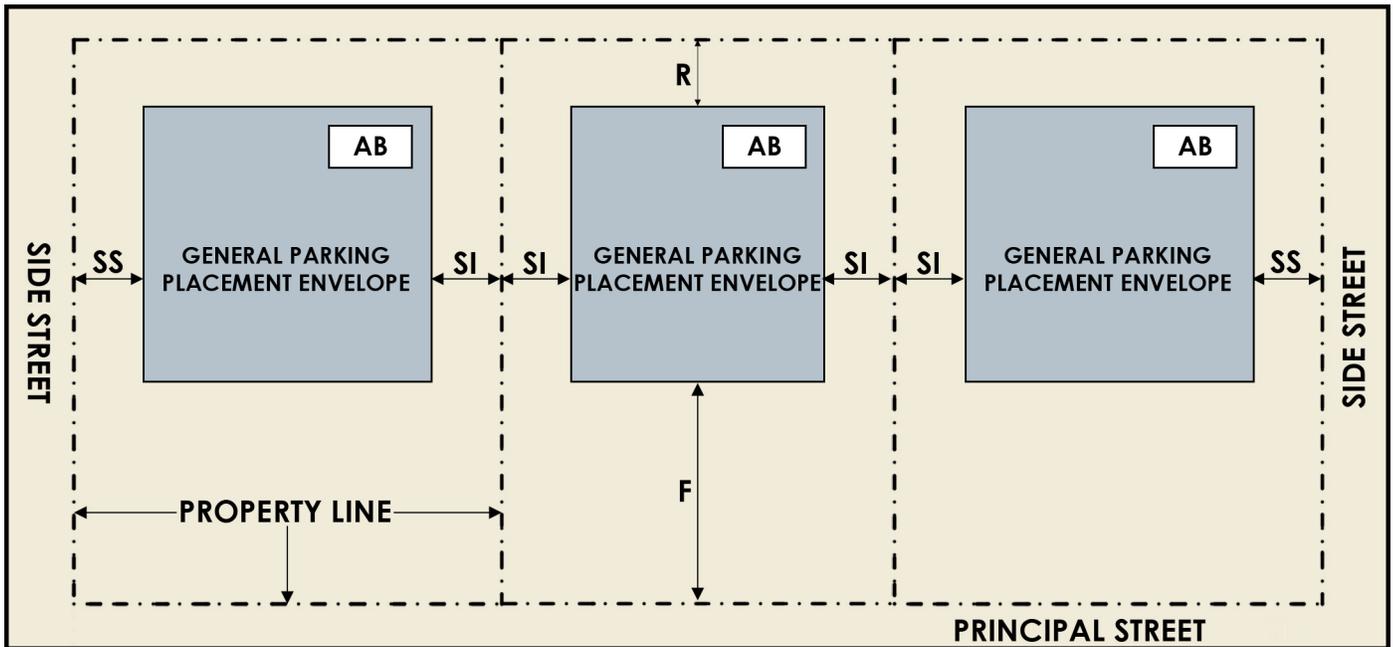
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback.
- [3] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [4] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [5] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
- [6] Reduction to 3' minimum permitted for porte cochere. For substandard (less than 50' width) lots of record, SI setback shall be 5' minimum.
- [7] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-368.1, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
- [8] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.1b** Depicts an example 1-story and 2-story residential single-family detached cross section.



KEY (SH-RS): Table 548.1b	
See also Sec. 27-545 Definitions	<p>GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height</p> <p>SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum</p>
Use Placement	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
Maximum Height [1]	
PBH	2-stories (35 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-549 for Residential Building Form Standards.	
Notes:	
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).	
[2] ABH shall be reduced to 1-story (15 feet maximum height) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).	
[3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.	

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.1c**



KEY (SH-RS): Table 548.1c

See also Sec. 27-545 Definitions	F: Front	SF: Square feet	<: Less than
	SS: Side (street)	UFA: Usable floor area	>: Greater than
	SI: Side (Interior)	CP: Carport	=: Equal to
	R: Rear	GAR: Garage	

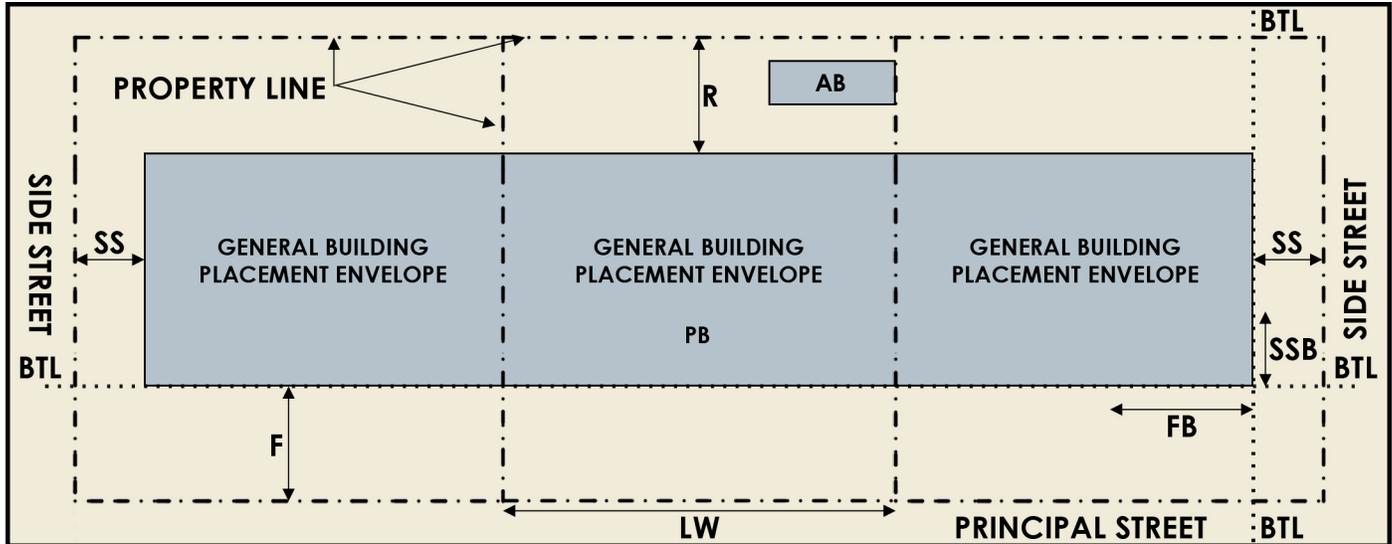
Parking Placement (location of parking space(s)) [2, 3]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	18'	18'	18'
SS	18'	18'	10'
SI	1' [1]	CP: 3' [1] GAR: 7' [1]	CP: 3' [1] GAR: 7' [1]
R	1' 3' [1]	Refer to 548.1a (AB)	Refer to 548.1a (AB)
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2 / detached unit When applicable: 1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	

Notes:

- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas. Any structure (e.g., garage/carport) used for parking shall meet minimum setback specified above.
- [2] *Ribbon driveways:* Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
- [3] *Parking:* No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
- [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.

Sec. 27-548.2. General District Development Standards for Seminole Heights – Residential Single-family attached (SH-RS-A) development.

(a) Building placement, form, and layout standards: all development, including semi-detached and two-family, shall comply with development standards set forth below: **Graphic 548.2a**



KEY (SH-RS-A): Table 548.2a

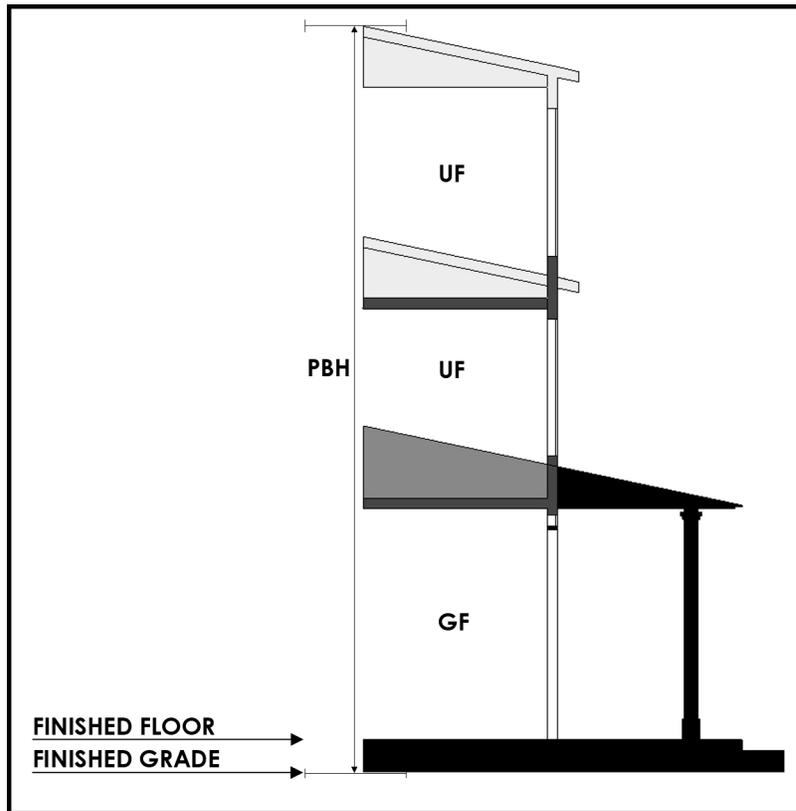
See also Sec. 27-545 Definitions	PB: Principal building	F: Front	FB: Front Building Form	LW: Lot Width
	AB: Accessory building	SS: Side (street)	SI: Side (Interior)	LA: Lot Area
	BTL: Build-to-line	R: Rear	SSB: Side (street) Building Form	SF: Square Feet
				min: minimum

Building Placement (PB) [9]		Building Placement (AB) [8,9]	
BTL [1,3]		Setback [4]	
F	[6]	F	60'
SS	[2, 6, 7]	SS	3'
Setback [2, 4]		Setback [4]	
SI	0'	SI	0'
R	20'	R	3'
Building Form		Building Form	
FB	Refer to Map SH-25.1 & Refer to Sec. 27-549	FB	N/A
SSB		SSB	N/A
Lot Configuration [5]			
Lot Width		50' min	
Lot Area (density factor)		Per Future Land Use Category	

Notes:

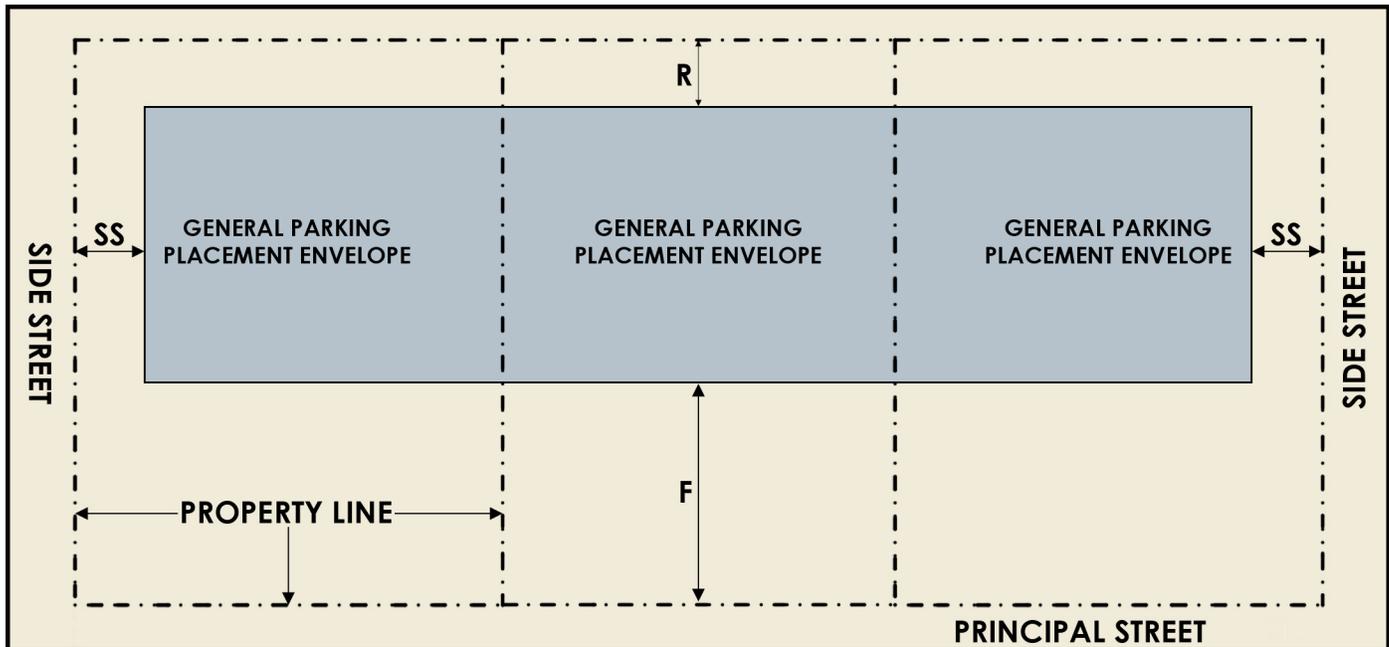
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
- [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
- [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [5] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [6] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
- [7] Reduction to 3' minimum permitted for porte cochere.
- [8] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-368.1, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
- [9] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.2b**: Depicts an example 1-story, 2-story, and 3-story residential single-family attached cross section.



KEY (SH-RS-A): Table 548.2b	
See also Sec. 27-545 Definitions	<p>GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height</p> <p>SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum</p>
Use Placement	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
Maximum Height [1]	
PBH	2-stories (35 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-549 for Residential Building Form Standards.	
Notes:	
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).	
[2] ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).	
[3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.	

(3) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.2c:**



KEY (SH-RS-A): Table 548.2c

See also Sec. 27-545 Definitions	F: Front	SF: Square feet	<: Less than
	SS: Side (street)	UFA: Usable floor area	>: Greater than
	SI: Side (Interior)	CP: Carport	=: Equal to
	R: Rear	GAR: Garage	

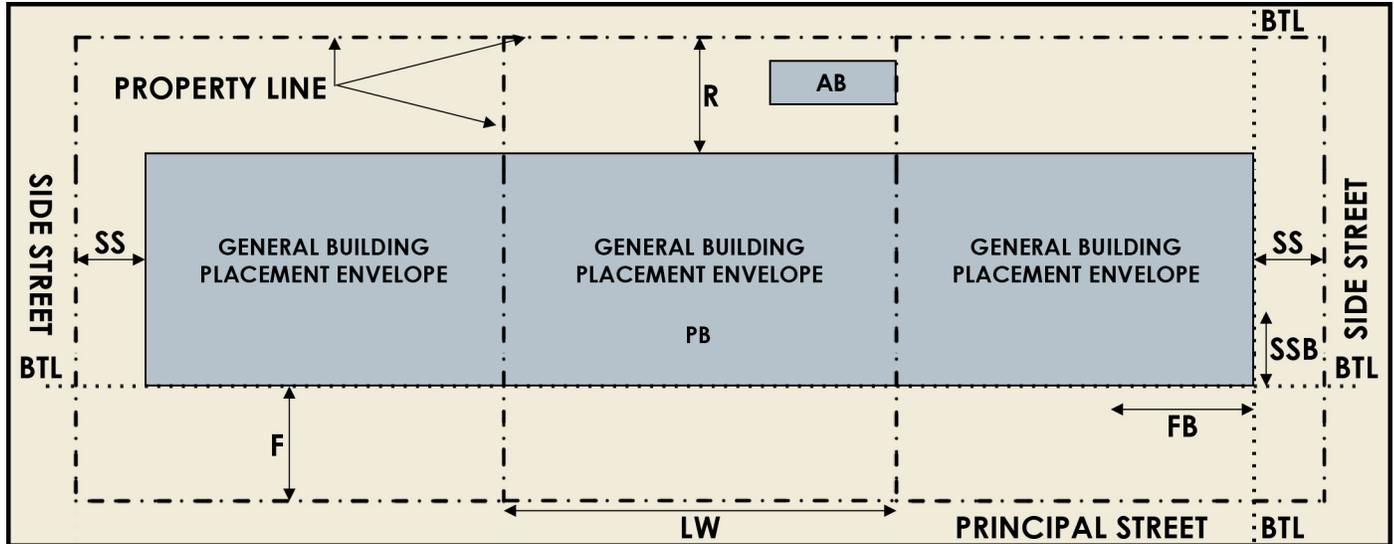
Parking Placement (location of parking space(s)) [2, 3, 5]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	0'	0'
R	1' - Adjacent to/separated by alley from any use 3' [1] - Adjacent to any other use (no alley)	Refer to 548.2a (AB)	Refer to 548.2a (AB)
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2 / detached unit When applicable: 1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	

Notes:

- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas.
- [2] Ribbon driveways: Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
- [3] Parking: No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
- [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.
- [5] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

Sec. 27-548.3. General District Development Standards for Seminole Heights – Residential Multi-family (SH-RM) development.

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Two-family, attached, and semi-detached residential shall adhere to the SH-RS-A development standards: **Graphic 548.3a:**



KEY (SH-RM): Table 548.3a

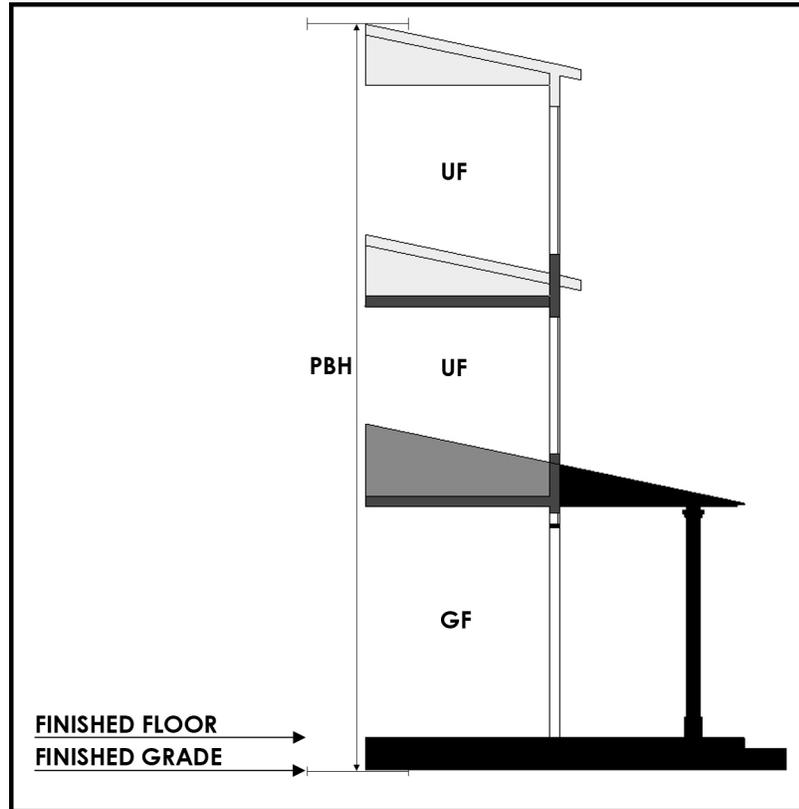
See also Sec. 27-545 <i>Definitions</i>	PB: Principal building	F: Front	FB: Front Building Form	SF: Square Feet
	AB: Accessory building	SS: Side (street)	SSB: Side (street) Building Form	min: minimum
	BTL: Build-to-line	SI: Side (Interior)	R: Rear	

Building Placement (PB) [10]		Building Placement (AB) [9, 10]	
BTL [1,3]		Setback [4]	
F	[7]	F	60'
SS	[2, 7, 8]	SS	3'
Setback [2, 4]		Setback [4]	
SI	0'	SI	0'
R	20'	R	3'
Building Form		Building Form	
FB	25% min [5]	FB	N/A
SSB	10% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width		50' min	
Lot Area (density factor)		Per Future Land Use Category [11]	

Notes:

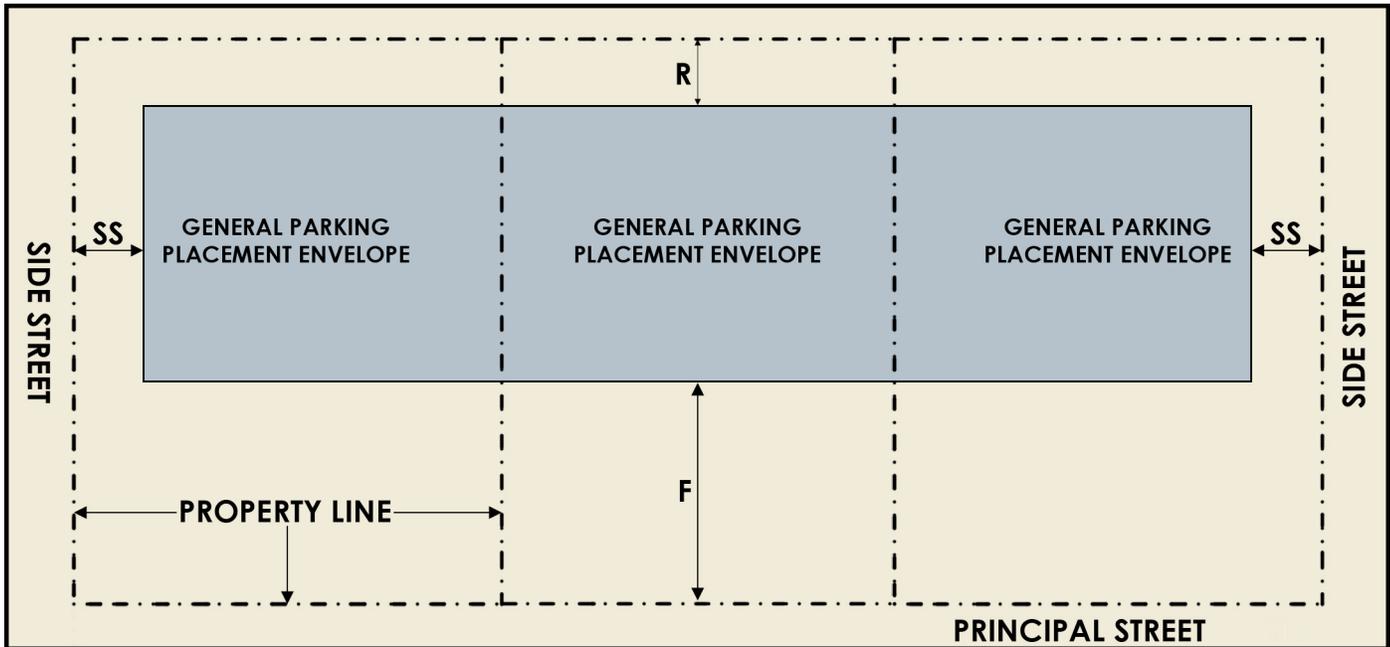
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at 3 feet minimum setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
- [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
- [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [5] Minimum % of building façade (ground floor) shall be built at required BTL.
- [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [7] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
- [8] Reduction to 3' minimum permitted for porte cochere.
- [9] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-368.1, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
- [10] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.
- [11] For those properties within designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan, refer to Sec. 27-557.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.3b:** Depicts an example 1-story, 2-story, and 3-story residential multi-family cross section.



KEY (SH-RM): Table 548.3b	
See also Sec. 27-545 Definitions	<p>GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height</p> <p>SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum</p>
Use Placement	
GF	Residential (when permitted: non-residential)
UF	Residential (when permitted: non-residential)
Maximum Height [1]	
PBH	3-stories (38 feet) [4]
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-549 for Residential Building Form Standards.	
Notes:	
[1]	Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).
[2]	ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).
[3]	PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.
[4]	For those lands with the R-35 (or more dense) future land use category, the maximum building height shall be 5 stories (60 feet).

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.3c:**



KEY (SH-RM): Table 548.3c

See also Sec. 27-545 Definitions	F: Front	SF: Square feet	<: Less than
	SS: Side (street)	UFA: Usable floor area	>: Greater than
	SI: Side (Interior)	CP: Carport	=: Equal to
	R: Rear	GAR: Garage	

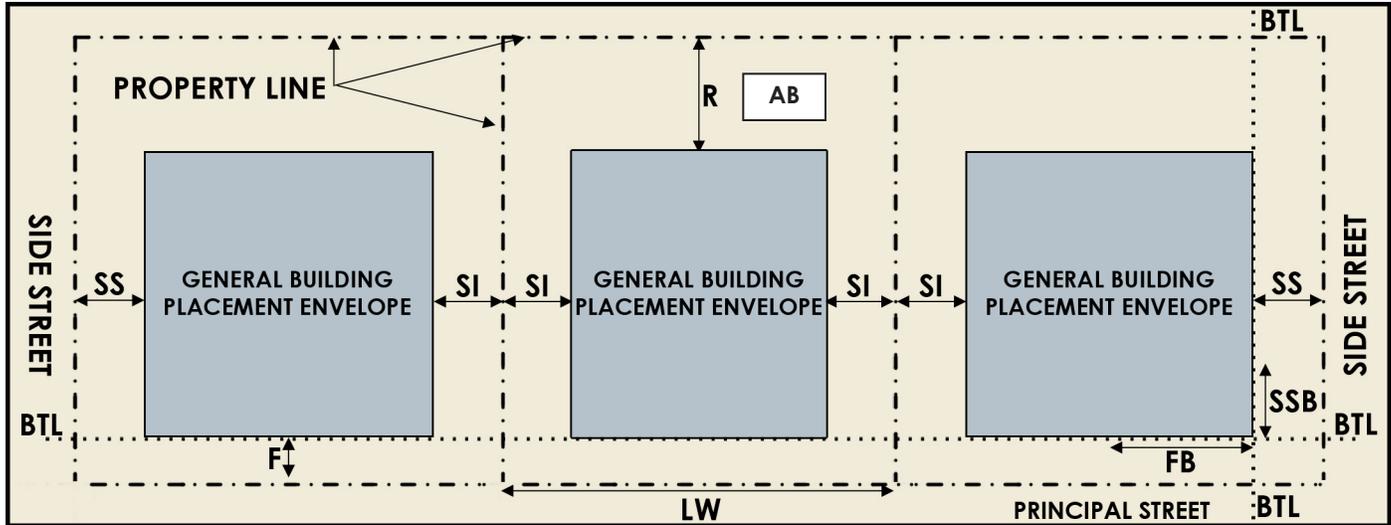
Parking Placement (location of parking space(s)) [2, 3, 5]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	0'	0'
R	1' - Adjacent to/separated by alley from any use 3' [1] - Adjacent to any other use (no alley)	Refer to 548.3a (AB)	Refer to 548.3a (AB)
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	

Notes:

- [1] Parking pad (pavement) setback may be reduced to 0' for shared access and parking areas.
- [2] Ribbon driveways: Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
- [3] Parking: No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
- [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.
- [5] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.

Sec. 27-548.4. General District Development Standards for Seminole Heights – Residential-Office (SH-RO) development.

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Single-family, detached residential shall adhere to the SH-RS development standards. Semi-detached, two-family, and attached residential shall adhere to the SH-RS-A development standards: **Graphic 548.4a:**



KEY (SH-RO): Table 548.4a

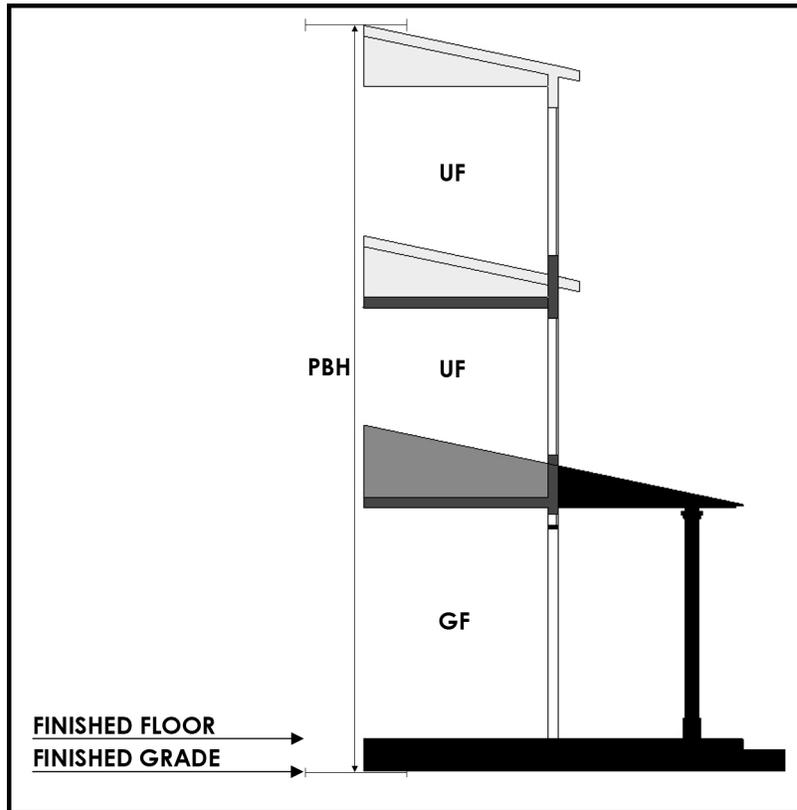
See also Sec. 27-545 Definitions	PB: Principal building	F: Front	FB: Front Building Form	LW: Lot Width
	AB: Accessory building	SS: Side (street)	SI: Side (Interior)	SF: Square Feet
	BTL: Build-to-line	R: Rear	SSB: Side (street) Building Form	min: minimum

Building Placement (PB)		Building Placement (AB) [9,10]	
BTL [1,3]		Setback [4]	
F	[7]	F	60'
SS	[2, 7]	SS	3'
Setback [2, 4]		Setback [4]	
SI	7' [8]	SI	3'
R	20'	R	3'
Building Form		Building Form	
FB	Refer to Map SH-25.1	FB	Adhere to Principal Building Form
SSB	Refer to Sec. 27.549	SSB	Adhere to Principal Building Form
Lot Configuration [6]			
Lot Width		50' min	
Lot Area		5000 SF min	

Notes:

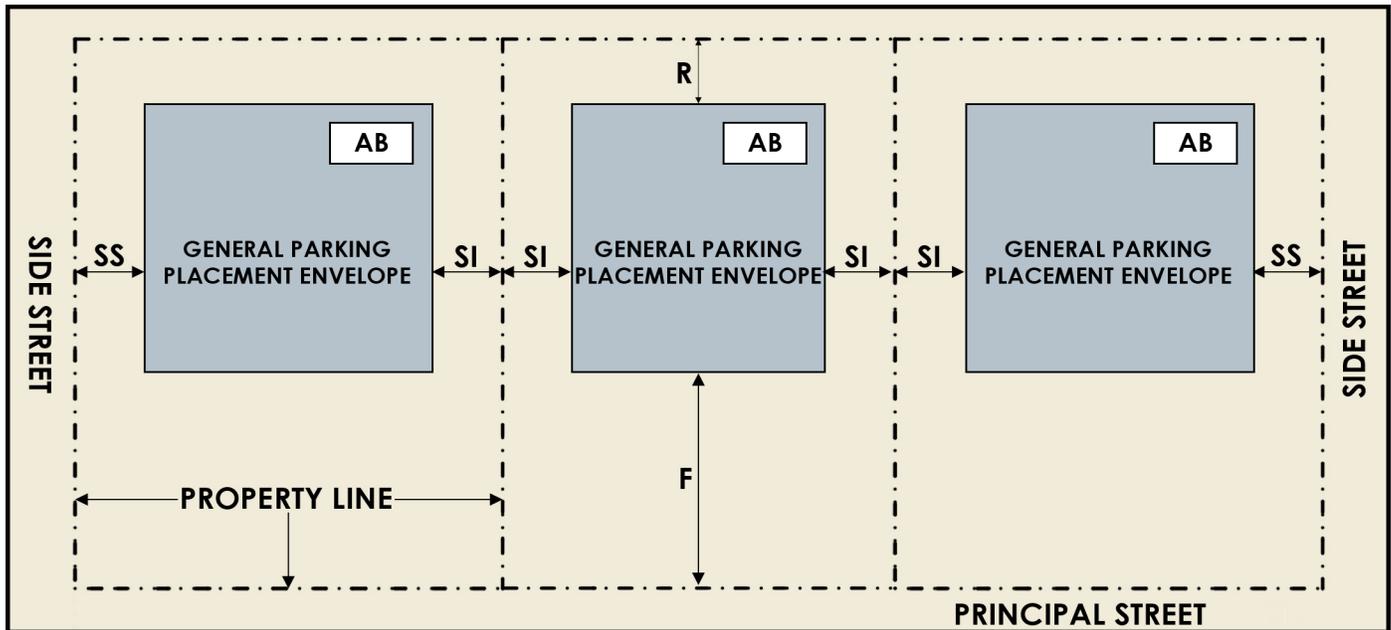
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at three (3) feet setback.
- [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
- [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [5] Minimum % of building façade (ground floor) shall be built at required BTL.
- [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [7] F or SS BTL determined by average of BTL of adjacent structures on either side of the lot with same street front orientation.
- [8] Reduction to 3' minimum permitted for porte cochere. For substandard (less than 50' width) lots of record, SI setback shall be 5'.
- [9] Accessory buildings that are demolished, destroyed, or removed for any reason that do not meet the current standards, but that had been legally established and were considered nonconforming as determined by the zoning administrator pursuant to Sec. 27-368.1, may be rebuilt and/or replaced in the same footprint as had been legally established, so long as the building does not encroach on adjacent properties of different ownership, any public or private rights-of-way, or any easements.
- [10] PB and AB building separation shall be a minimum of 5' as measured from eave to eave.
- [11] For those properties within the designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan refer to Sec.27-557.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.4b**: Depicts an example of 1-story, 2-story, and 3-story residential-office cross-section.



KEY (SH-RO): Table 548.4b	
See also Sec. 27-545 Definitions	<p>GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height</p> <p>SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum</p>
Use Placement	
GF	Office (Residential may also occupy GF)
UF	Residential (Office may extend to UF)
Maximum Height [1]	
PBH	2-3 stories (38 feet)
ABH	2-stories (22.5 feet) [2]
PW	5' above PBH and ABH [3]
Elevator/mechanical housing, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Building form to be consistent with adjacent residential properties on block face. For parcel specific form and character requirements, refer to designation on Map SH-25.1 and Sec. 27-549 for Residential Building Form Standards.	
Notes:	
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).	
[2] ABH shall be reduced to 1-story (15 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on the subject parcel).	
[3] PW maximum of 5' above maximum height for PBH and ABH for decorative or screening purposes.	

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.4c:**



KEY (SH-RO): Table 548.4c

See also Sec. 27-545 Definitions	F: Front	SF: Square feet	<: Less than
	SS: Side (street)	UFA: Usable floor area	>: Greater than
	SI: Side (Interior)	CP: Carport	=: Equal to
	R: Rear	GAR: Garage	

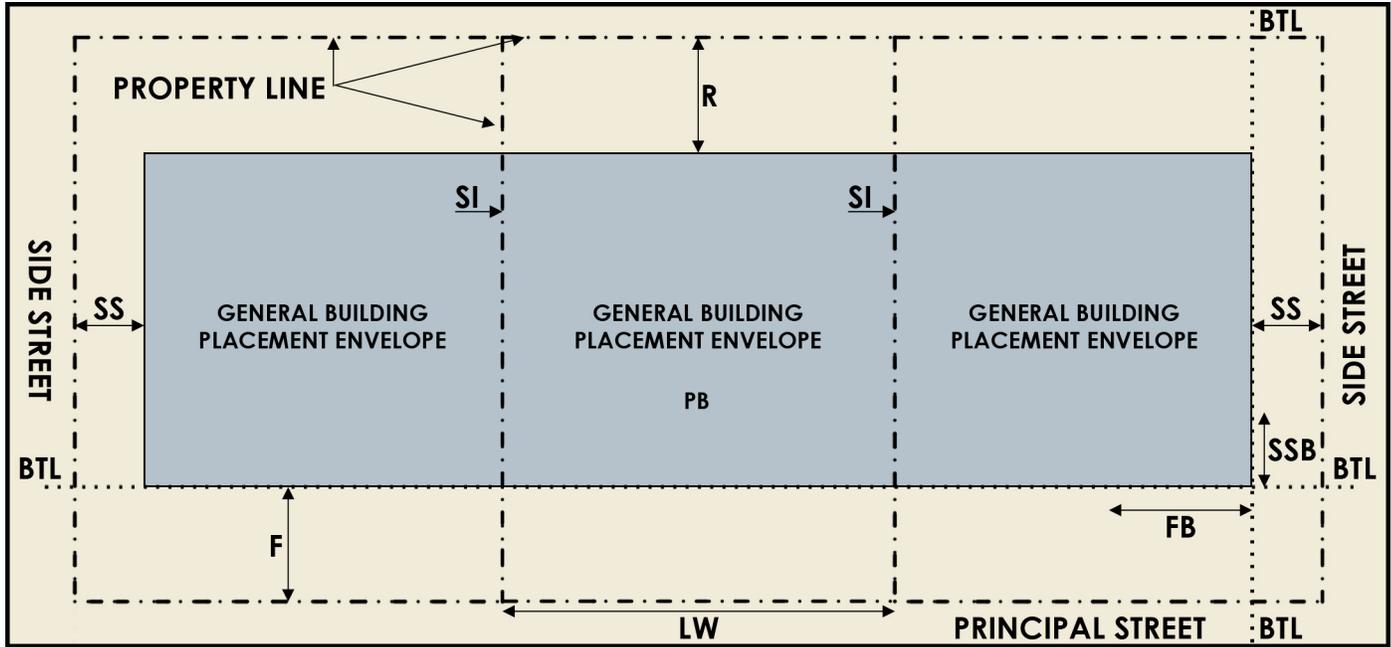
Parking Placement (location of parking space(s)) [2, 3]			
Setback	No GAR/CP	1-car GAR/CP [4]	>=2-car GAR/CP [4]
F	No closer to property line than F build-to line	18'	18'
SS	18'	18'	10'
SI	1' [1]	CP: 3' GAR: 7'	CP: 3' GAR: 7'
R	1' 3' [1]	Refer to 548.4a (AB)	Refer to 548.4a (AB)
Required Spaces (see Table SH-25.1 for other permitted uses)		Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)	
Residential		2 / detached unit When applicable: 1 / studio & 1-bedroom unit 1.5 / 2-bedroom unit 2 / 3-bedroom (or more) unit	
Business/professional office		3 / 1000 SF (stand alone office); 1.5 / 1000 SF (mixed office-residential); residential parking to be provided per ratio above)	

Notes:

- [1] Parking pad (pavement) setbacks may be reduced to 0' for shared access and parking areas.
- [2] Ribbon driveways: Single car "ribbon driveways" may be constructed at a minimum overall width of nine (9) feet with six (6) feet wide apron flares on the right-of-way. For properties located along local roads, which have a posted speed limit of twenty-five (25) miles per hour or less, the driveway may be constructed with an overall width of seven (7) feet with three (3) feet wide apron flares.
- [3] Parking: No driveway shall be constructed from the road to the front façade of the principal structure, unless providing vehicular access to an attached garage or carport in accordance with the other sections of this ordinance.
- [4] Setbacks listed for parking stalls that are oriented perpendicular to the right-of-way. Reduced setbacks may be considered by the zoning administrator for other maneuvering patterns.

Sec. 27-548.5. Development Standards for Seminole Heights – Office (SH-O) development.

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Single-family detached residential shall adhere to the development standards of SH-RS. Semi-detached, attached, and two-family residential shall adhere to the development standards of SH-RS-A. Multi-family residential shall adhere to the development standards of SH-RM: **Graphic 548.5a**



KEY (SH-O): Table 548.5a

See also Sec. 27-545 Definitions

PB: Principal building
AB: Accessory building
BTL: Build-to-line

F: Front
SS: Side (street)
SI: Side (Interior)
R: Rear

FB: Front Building Form
SSB: Side (street) Building Form

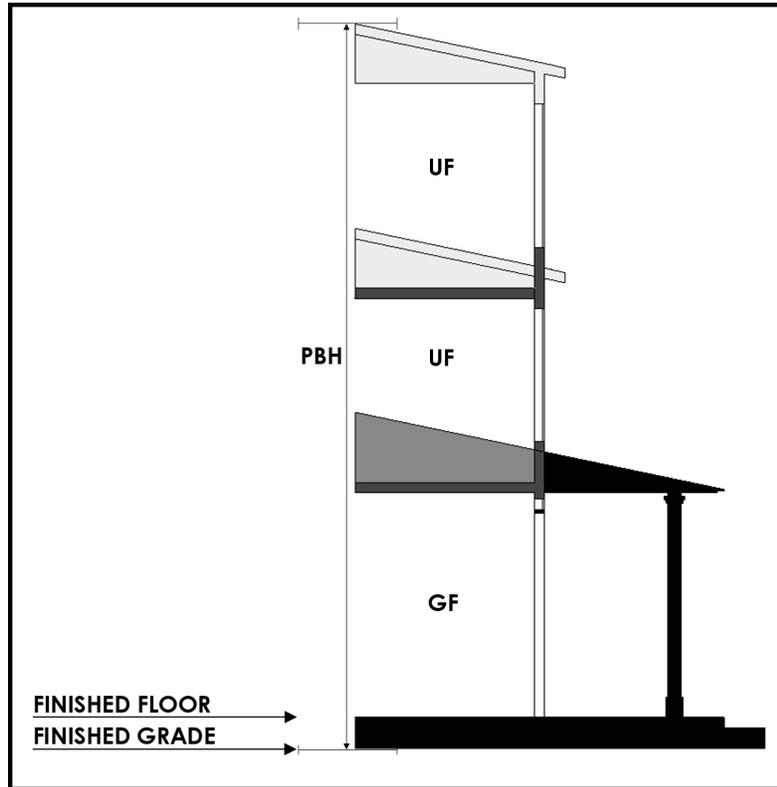
SF: Square Feet
min: minimum

Building Placement (PB)		Building Placement (AB)	
BTL [1,3]		Setback [4]	
F	10'	F	10'
SS	10'	SS	10'
Setback [2, 4]		Setback [4]	
SI	0'	SI	0'
R	15'	R	15'
Building Form		Building Form	
FB	35% min [5]	FB	N/A
SSB	15% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width		60' min	
Lot Area		6000 SF min [7]	

Notes:

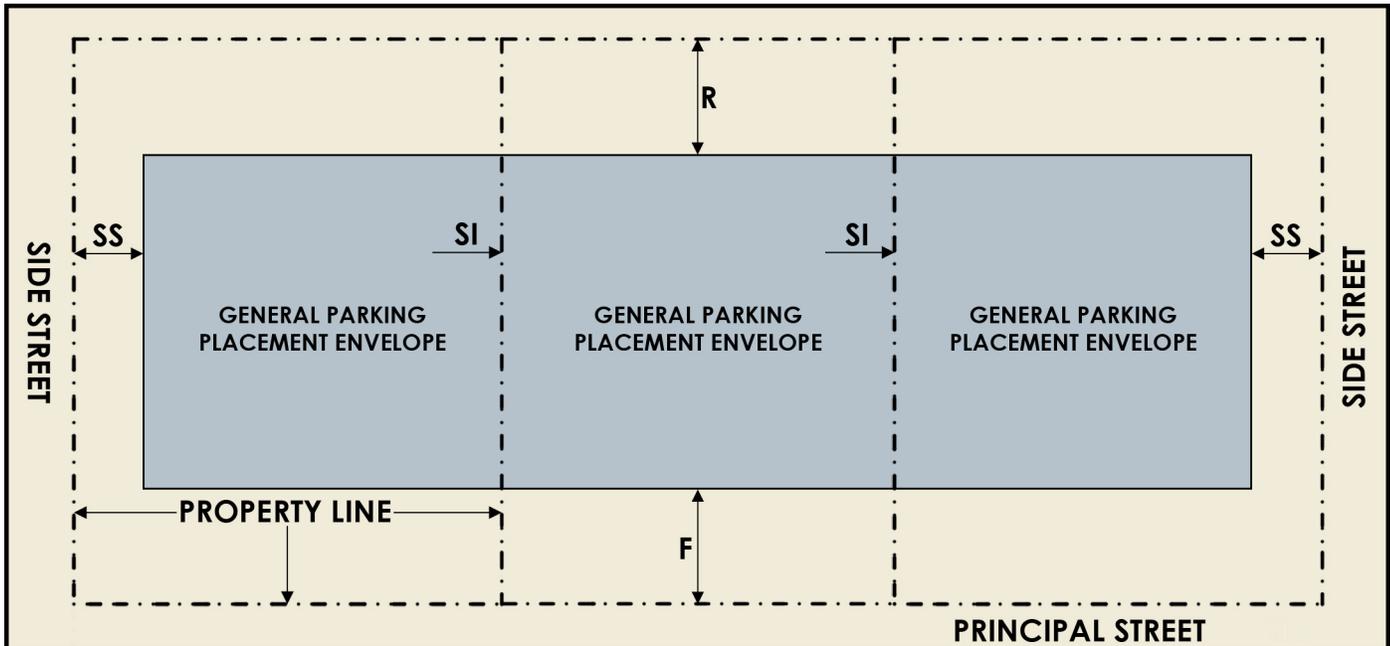
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, fireplaces, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at three (3) feet setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
- [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
- [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [5] Minimum % of building façade (ground floor) shall be built at required BTL.
- [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [7] For those properties within designated nodes per the Greater Seminole Heights Vision Plan & the Tampa Comprehensive Plan, refer to 27-557.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.5b** Depicts an example of a 1-story, 2-story, and 3-story office cross-section.



KEY (SH-O): Table 548.5b	
See also Sec. 27-545 Definitions	<p>GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height</p> <p>SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum</p>
Use Placement	
GF	Office/private institutional, governmental/public institutional
UF	Office/private institutional, governmental/public institutional, residential
Maximum Height [1]	
PBH	3 stories (45 feet)
ABH	2-stories (25 feet) [2]
PW	7' above PBH and ABH [4]
Elevator/mechanical housing, steeples, flag poles, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Minimum transparency, such as architectural features or elements as defined in Sec. 27-545, window boxes, doors and windows, for non-residential façades along FB and SSB, measured within first 15' (from grade) of the façade.	30 percent for all non-residential uses
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade [3]	25 percent
Notes:	
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).	
[2] ABH shall be reduced to 2-story (22.5 feet maximum) when located within 20 feet of a 1-story residential principal building (not located on subject parcel).	
[3] Aluminum, other metal siding, or plastic/PVC materials shall only be used as accent or ancillary materials.	
[4] PW maximum of 7' above maximum height for PBH and ABH for decorative and screening purposes.	

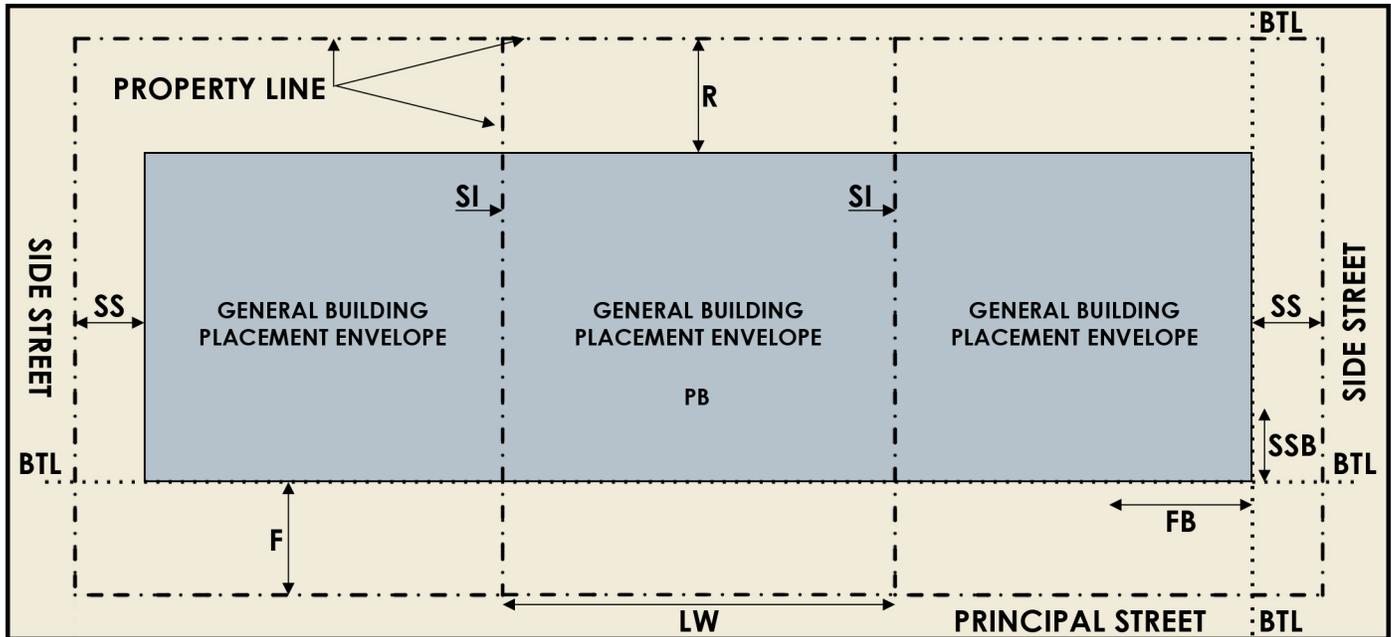
(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.5c**



KEY (SH-O): Table 548.5c	
See also Sec. 27-545 Definitions	<p>F: Front SS: Side (street) SI: Side (Interior) R: Rear</p> <p>SF: Square Feet UFA: Usable Floor Area</p>
Parking Placement (location of parking space(s)) [2, 3]	
Setback	
F	15'
SS	15'
SI	3' [1]
R	8'
- Adjacent to/separated by alley from detached or attached residential use	3' [1]
- Adjacent to any other use (no alley)	5'
- Adjacent to any other use (separated by alley)	
Required Spaces (see Table SH-25.1 for other permitted uses)	Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)
Office, business-professional	3 / 1000 SF (UFA)
Office, medical	5 / 1000 SF (UFA)
Notes:	
[1] Parking (pavement) setback may be reduced to 0' for shared access and parking areas.	
[2] 80% of onsite parking shall be located to the side or rear of the principal building.	
[3] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.	

Sec. 27-548.6. Development Standards for Commercial, Mixed-Use, or other Non-Residential (SH-CG and SH-CI) development.

(a) Building placement, form, and layout standards: all development shall comply with development standards set forth below. Single-family detached residential shall adhere to the development standards of SH-RS. Semi-detached, attached, and two-family residential shall adhere to the development standards of SH-RS-A. Multi-family residential shall adhere to the development standards of SH-RM. **Graphic 548.6a**



KEY (SH-CG and SH-CI, as specified below): Table 548.6a

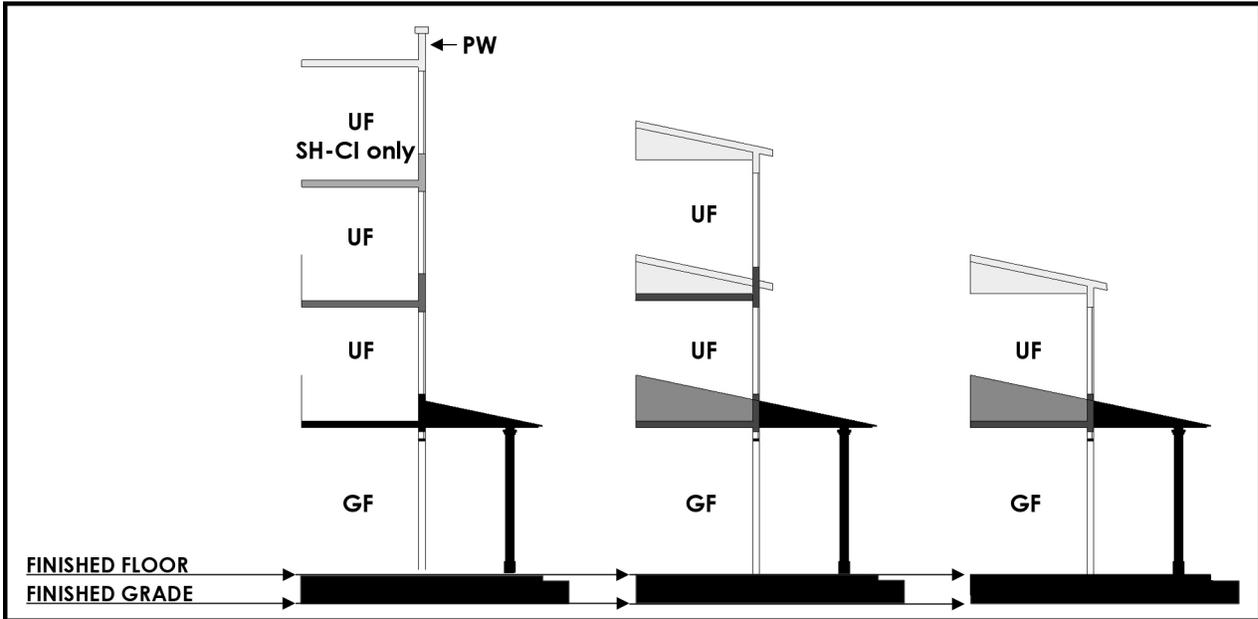
See also Sec. 27-545 Definitions	PB: Principal building	F: Front	FB: Front Building Form	LW: Lot Width
	AB: Accessory building	SS: Side (street)	SSB: Side (street) Building Form	LA: Lot Area
	BTL: Build-to-line	SI: Side (Interior)		SF: Square Feet
		R: Rear		min: minimum

Building Placement (PB)		Building Placement (AB)	
BTL [1,3]		Setback [4]	
F	10'	F	10'
SS	10'	SS	10'
Setback [2, 4]		Setback [4]	
SI	0'	SI	0'
R	15'	R	15'
Building Form [7]		Building Form	
FB	50% min [5]	FB	N/A
SSB	25% min [5]	SSB	N/A
Lot Configuration [6]			
Lot Width		75' min	
Lot Area		7500 SF min [8]	

Notes:

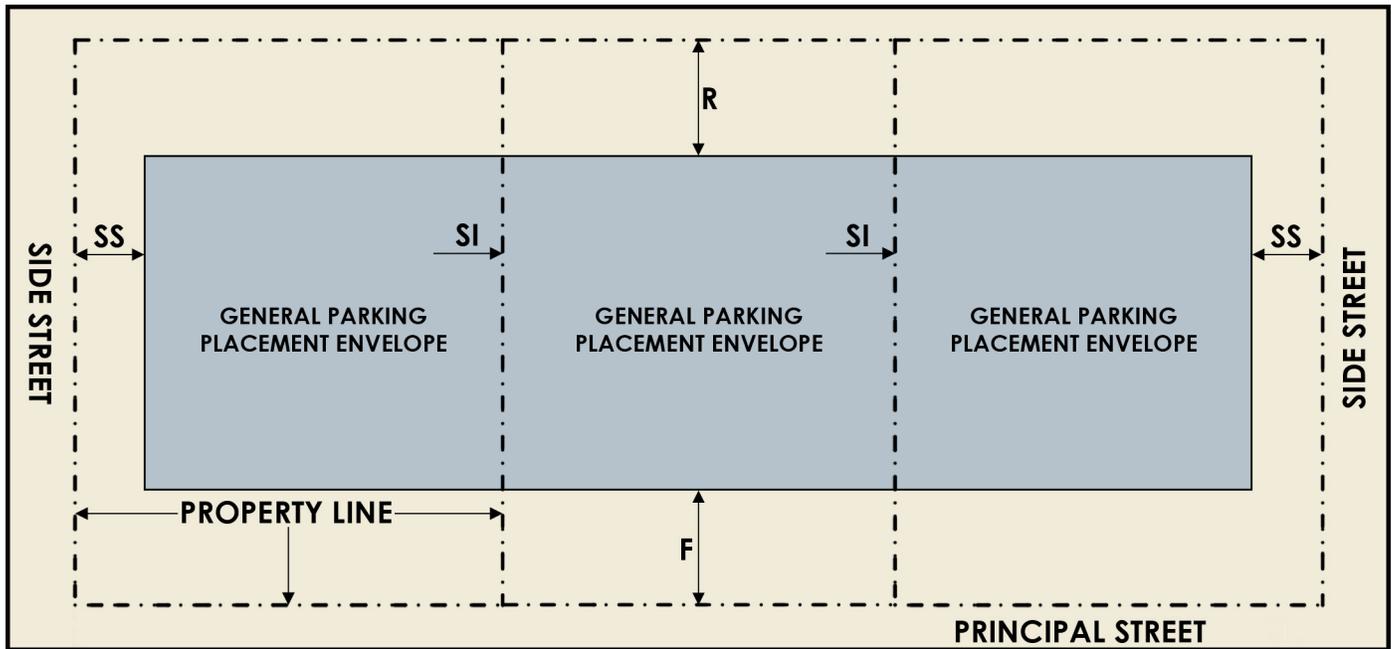
- [1] Build-to-line: required line/location at which the building wall shall be placed.
- [2] Canopies, awnings, arcades, trellises, pergolas, and other architecturally integrated façade features may be placed at zero (0) feet setback. See Map SH-25.2 for additional encroachment allowances, when applicable.
- [3] Building façades along front BTL must have functioning ground floor entrance. Rear-only facing buildings are prohibited.
- [4] Setback: the line/location that sets the minimum distance at which the building wall may be placed.
- [5] Minimum % of building façade (ground floor) shall be built at required BTL.
- [6] A lot of record established prior to July 1, 2010, shall be allowed to develop, subject to the regulations set forth in this article.
- [7] Drive-in windows and any associated overhangs/canopies shall be setback a minimum of 50 feet from the principal street (Front).
- [8] For those properties within designated nodes per the Greater Seminole Heights Vision Plan and the Tampa Comprehensive Plan, refer to Sec. 27-557.

(b) Use and general building standards: all development shall comply with development standards set forth below: **Graphic 548.6b** Depicts an example of a 1-story, 2-story, 3-story, and 4-story commercial/mixed use cross-section.



KEY (SH-CG and SH-CI): Table 548.6b	
See also Sec. 27-545 Definitions	GF: Ground Floor UF: Upper Floor PBH: Principal building height ABH: Accessory building height SF: Square feet PW: Parapet wall UFA: Usable floor area min: minimum
Use Placement	
GF	Commercial, office/private institutional, governmental/public institutional, recreation/assembly, residential (as permitted in Table SH-25.1)
UF	Office/private institutional, governmental/public institutional, recreation/assembly, residential (as permitted in Table SH-25.1)
Maximum Height [1]	
PBH	SH-CG: 3-stories (45 feet); SH-CI: 4-stories (55 stories)
ABH	2-stories (25 feet) [2]
PW	7' above PBH and ABH [4]
Elevator/mechanical housing, steeples, widow's walk, cupolas, other architecturally integrated design features.	Exempt, except shall occupy no more than 20 percent of roof area.
Miscellaneous Standards	
Minimum transparency, such as architectural features or elements as defined in Sec. 27-545, window boxes, doors and windows, for non-residential façades along FB and SSB, measured within first 15 feet (from grade) of the façade.	40 percent for all non-residential uses
Maximum allowable aluminum, other metal siding, or plastic/PVC that can be used on any Front or Side Street façade [3]	25 percent
Notes:	
[1] Height is measured from finished grade to highest point of structure (see Sec. 27-545 Definitions).	
[2] ABH shall be reduced to 2-story (22.5 feet) when located within 20 feet of a 1-story residential principal building (not located on subject parcel).	
[3] Aluminum, other metal siding, or plastic/PVC materials shall only be used as accent or ancillary materials.	
[4] PW maximum of 7' above maximum height for PBH and ABH for decorative and screening purposes.	

(c) Parking placement, layout, and general ratio standards: all development shall comply with development standards set forth below: **Graphic 548.6c**



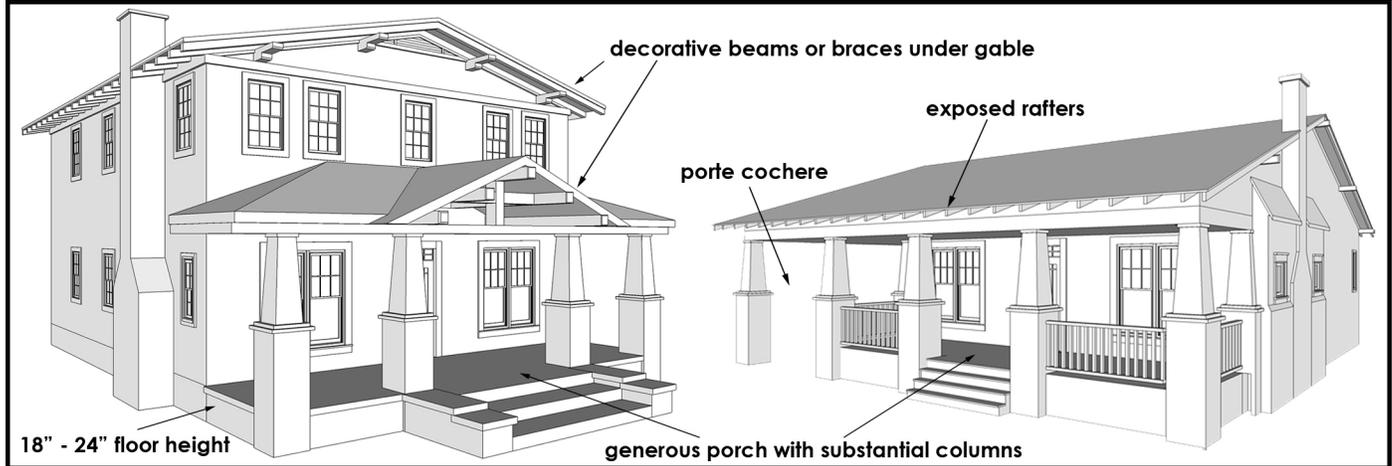
KEY (SH-O): Table 548.5c	
See also Sec. 27-545 Definitions	F: Front SS: Side (street) SI: Side (Interior) R: Rear SF: Square Feet UFA: Usable Floor Area <: Less than >: Greater than =: Equal to
Parking Placement (location of parking space(s)) [2, 3]	
Setback	
F	15'
SS	15'
SI	3' [1]
R	8'
- Adjacent to/separated by alley from detached or attached residential use	3' [1]
- Adjacent to any other use (no alley)	5'
- Adjacent to any other use (separated by alley)	
Required Spaces (see Table SH-25.1 for other permitted uses)	Minimum Ratio (spaces per unit) (see Table 554.1 for other ratios by use)
General Retail	4 / 1000 SF (UFA)
Restaurant <100 occupants	6 / 1000 SF (UFA)
Restaurant ≥100 occupants	0.25 per person
Office, business-professional	3 / 1000 SF (UFA)
Office, medical	5 / 1000 SF (UFA)
Notes:	
[1] Parking pad (pavement) set back may be reduced to 0' for shared access and parking areas.	
[2] 80% of onsite parking shall be located to the side or rear of the principal building.	
[3] Structured parking (when applicable): Façades of garages must be architecturally embellished and integrated with the overall design of the development on all sides visible to right-of-way.	

Sec. 27-549. Residential Building Forms.

- (a) All residential development within the Seminole Heights district shall refer to Map SH-25.1 for residential building form type, and shall adhere to the applicable form standards set forth below. Requirements of this section do not apply to residential properties that lie within the Seminole Heights Local Historic District. Resources: McAlester, Virginia and Lee. A Field Guide to American House; Paradis, Thomas W. "ARCHITECTURAL STYLES of AMERICA." Web. 22 Nov. 2010
- (b) For those properties identified on Map SH-25.1 as "Craftsman/Southern Vernacular", the applicant may choose one (1) form-type from the following residential building forms:
- (1) Craftsman (CT) [549.1]
 - (2) National Folk (NF) [549.2]
 - (3) American Four Square (AFS) [549.3]
 - (4) Folk Victorian (FV) [549.4]
 - (5) Queen Anne (QA) [549.5]
 - (6) Prairie (P) [549.6]
- (c) For those properties identified on Map SH-25.1 as "Ranch/Transitional Ranch", the applicant may choose one (1) form-type from the following residential building forms:
- (1) Ranch (RH) [549.7]
 - (2) Minimal Traditional (MT) [549.8]
 - (3) Contemporary Modern (CM) [549.9]
 - (4) Split Ranch (SR) [549.10]
- (d) For those properties identified on Map SH-25.1 as "Eclectic", the applicant may choose one (1) form-type from the following residential building forms:
- (1) Spanish Eclectic (SE) [549.11]
 - (2) Any other residential building form set forth in subsection (b) above.

Form Description and Graphics 549.1: (CT) Craftsman (Arts & Crafts)

Characterized by square plans with low-pitched gables (occasionally gables are clipped) or hipped roofs, with wide, unenclosed eave overhang. Roof rafters are usually exposed; shed dormers and decorative (false) beams or braces are common. Windows are double hung-sash with three or more vertical lights in the top sash. Craftsman bungalows have large broad porches which usually extend across the front façade (may wrap around one side) and are supported by substantial columns resting on stone, frame or brick piers.



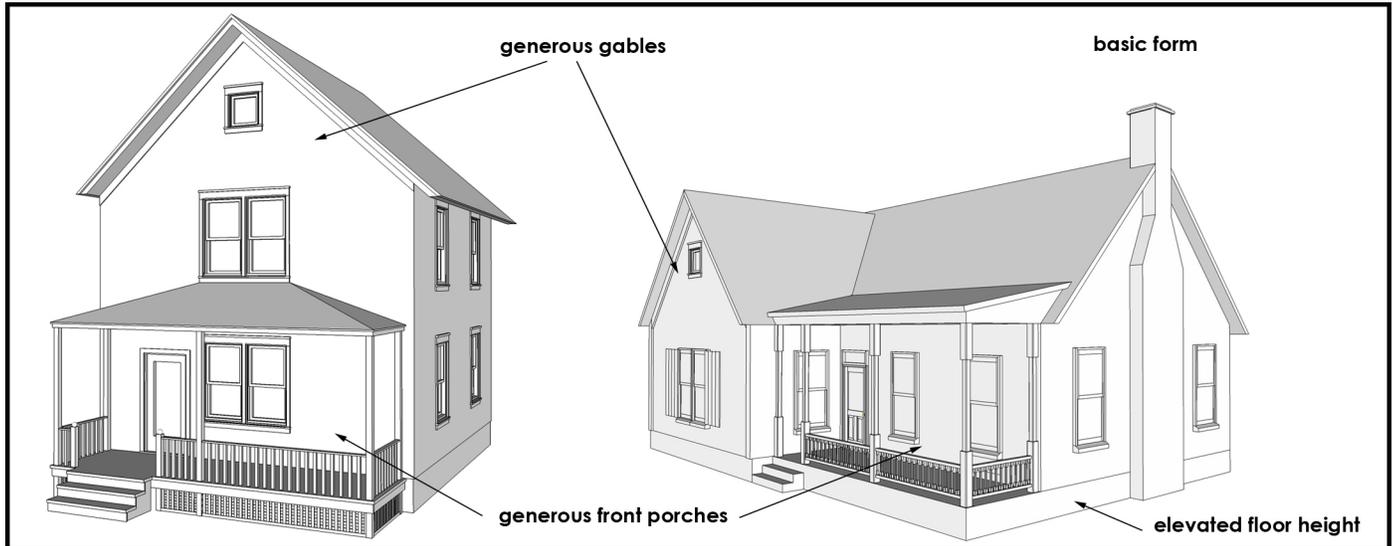
(CT) Craftsman (Arts & Crafts): Table 549.1	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum to maximum)	8' to 12'
Roof Pitch	5/12 - 6/12 rise to run (less than 30°) for primary; as low as 3/12 for ancillary (porch)
Details	Exposed rafters/knee braces; substantial columns on piers
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade; flat or up to 4/12 rise to run; single car width



Examples of Craftsman in Seminole Heights

Form Description and Graphics 549.2: (NF) National Folk (Southern Vernacular)

Characterized by simple lines, materials and form. The basic forms are described as gable-front, gable-front and wing, hall-and-parlor, I-house, side-gabled, and pyramidal family. (In Seminole Heights, it is common to find a national folk form with a craftsman porch attached.)



(NF) National Folk: Table 549.2

Required minimum standards for construction or any addition over 5% of usable floor area.

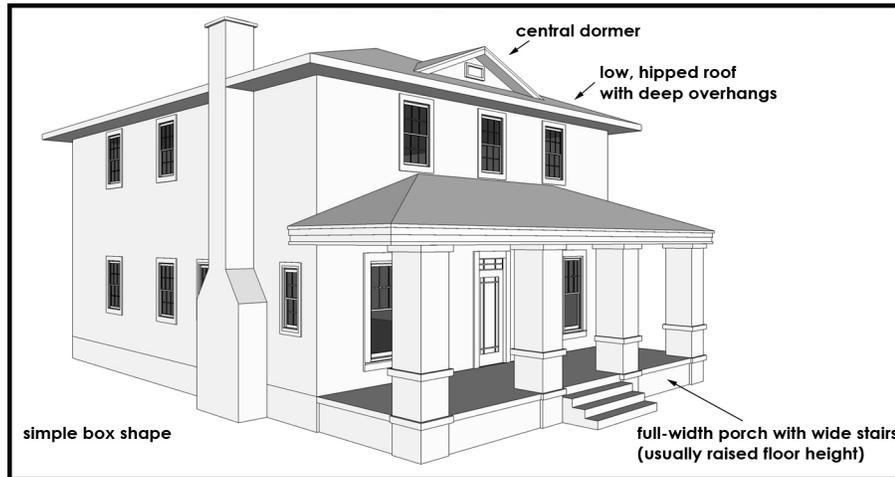
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum to maximum)	8' to 12'
Roof Pitch	At least 12/12 rise to run (more than 45°); porch roofs and additions may be a lower slope (no less than 4/12) than principal roof (gable or shed are common)
Details	Front porch columns, usually plain/non-ornamental, at least 6' between columns (may be less at entry)
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade (or rear for corner lots); shed roof is common; single-car width



Examples of National Folk in Seminole Heights

Form Description and Graphics 549.3: (AFS) American Four Square

Characterized by a simple, four-square folk plan with a low-pitched hipped or pyramidal roof and symmetrical façade. A central dormer is common.



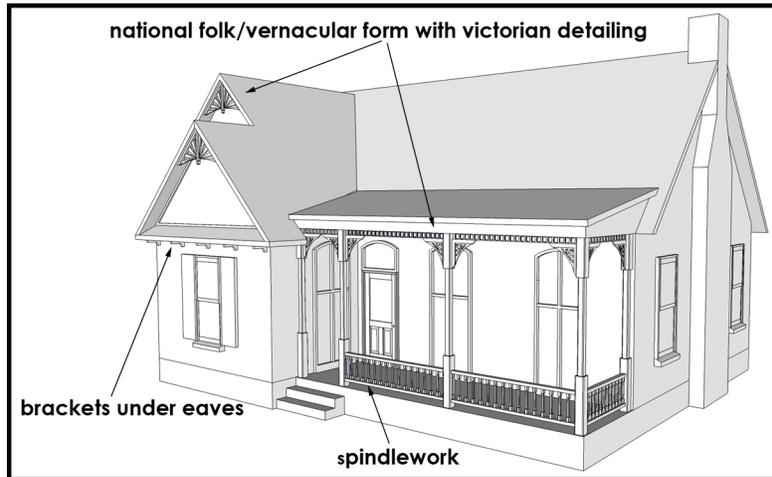
(AFS) American Four Square: Table 549.3	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front Only
Porch Width	Minimum of 50% of front façade width (typically width of entire front façade)
Porch Depth (minimum and maximum)	8' to 15'
Roof Pitch	3/12 - 6/12 rise to run (less than 30°)
Details	Simple box shape; two-and-a-half stories (typically), four-room floor plan; low-hipped roof with deep overhang (at least 18"); large central dormer; front porch with wide stairs; brick, stone, stucco, or wood siding only.
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of front porch)); detached garage preferred with front or rear orientation.
Carport (porte cochere)	Side façade (or rear for corner lots); flat or similar roof pitch to primary roof; single car or double-car width



Examples of American Four Square in Seminole Heights

Form Description and Graphics 549.4: (FV) Folk Victorian

Characterized by the presence of Victorian decorative detailing on simple folk house forms (vernacular), which are generally much less elaborate than the Victorian styles.



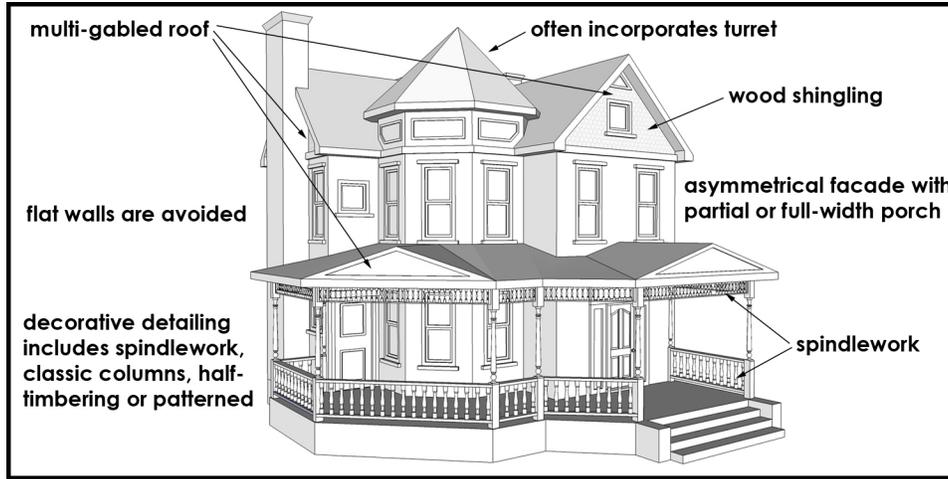
(FV) Folk Victorian: Table 549.4	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width
Porch Depth (minimum and maximum)	8' to 12'
Roof Pitch	At least 12/12 rise to run (more than 45°); porch roofs and additions may be a lower slope (no less than 4/12 pitch) than primary roof (gable or shed are common)
Details	Porches with spindle-work detailing. L-shaped or gable-front plan, cornice brackets
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from the front edge of porch)
Carport	Not allowed



Examples of Folk Victorian in Seminole Heights

Form Description and Graphics 549.5: (QA) Queen Anne

Characterized by steeply pitched roofs of irregular shapes, usually with a dominant front-facing gable. Queen Annes will often exhibit bay windows and other devices used to avoid continuous straight walls. Some Queen Annes are lavished with gingerbread, while some are made of brick or stone and exhibit much simpler details; many have turrets. The overall façade of the house is asymmetrical.



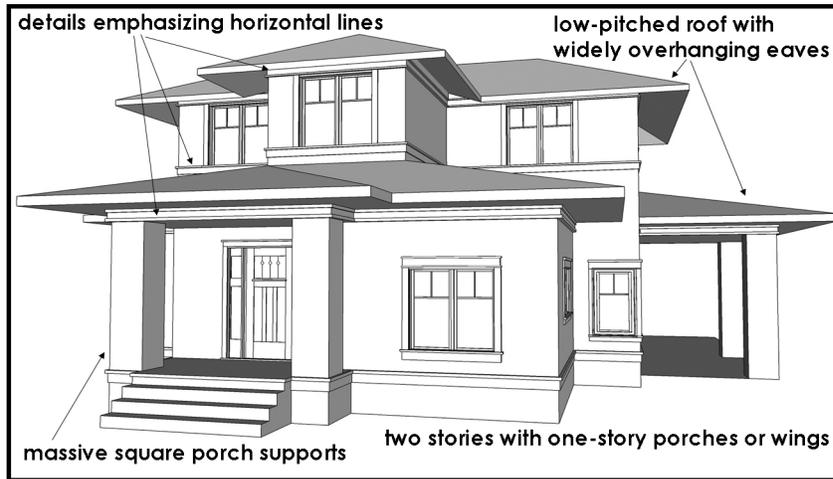
(QA) Queen Anne: Table 549.5	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front (side-wrap allowed)
Porch Width	Minimum of 50% of front façade width
Porch Depth (minimum and maximum)	8' to 15'
Roof Pitch	Primary roof at least 12/12 (greater than 45°); ancillary roofs at least 4/12 pitch
Details	Bay windows, balconies, turrets, porches, brackets, and decorative detailing; continuous flat walls not permitted
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side façade (or rear for corner lots); flat or low pitched at least 4/12 pitch); single- or double-car width



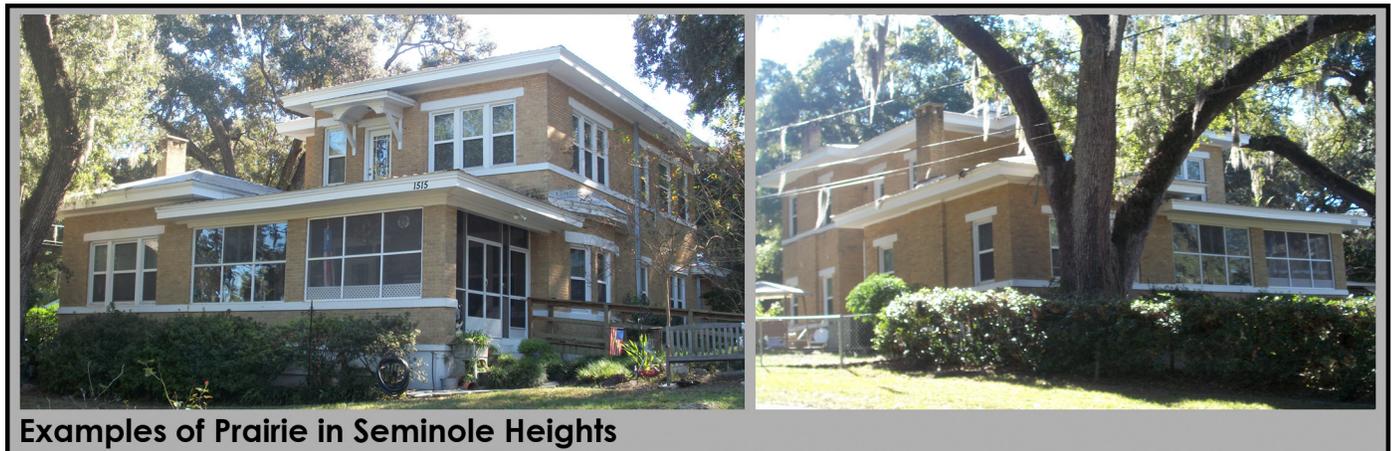
Example of Queen Anne in Seminole Heights

Form Description and Graphics 549.6: (P) Prairie

Characterized by low-pitched roof, usually hipped, with widely overhanging eaves; typically two-stories, with one-story wings or porches. Eaves, cornices, and façade detailing is quite simple and emphasizes horizontal lines; often with substantial, square porch supports.



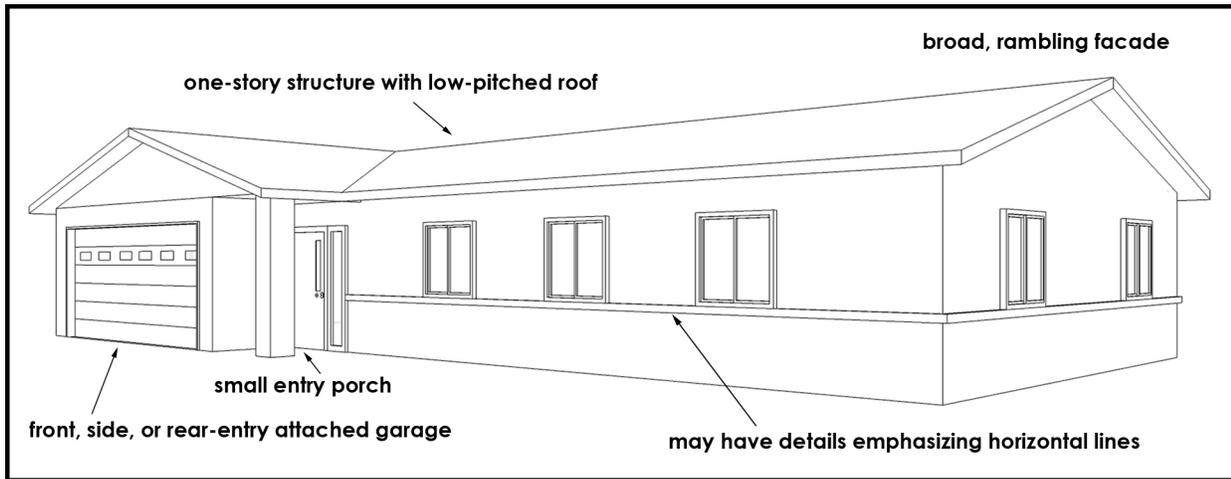
(P) Prairie: Table 549.6	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	18" to 24"
Porch Location	Front and/or side allowed
Porch Width	Minimum 5'; may or may not be covered
Porch Depth	At least 6'
Roof Pitch	3/12 - 6/12 rise to run (less than 30°)
Details	Substantial square or rectangular columns typical; emphasis on horizontal lines across façades; contrasting caps on porch and balcony railings; contrasting trim emphasizing upper story
Garage	Not typically attached to principal building (if attached, vehicle entrance must be recessed at least 10' from principal façade, not measured from front edge of porch)
Carport (porte cochere)	Side or rear orientation; flat or similar roof pitch to primary roof; single- or double- car wide



Examples of Prairie in Seminole Heights

Form Description and Graphics 549.7: (RH) Ranch

Characterized by its long, close-to-the-ground profile, and minimal use of decoration, garages are an integral part of the house. Asymmetrical one-story shapes with low-pitched roofs dominate. Three common roof forms are used: hipped, cross-gables, and side-gabled. Usually a moderate or wide eave overhang.



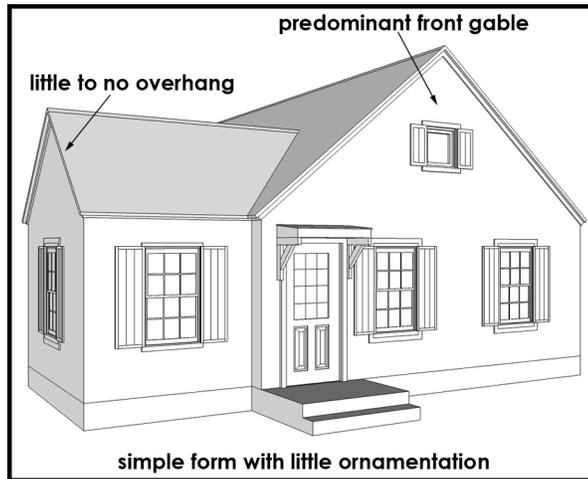
(RH) Ranch: Table 549.7	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	0" typically
Porch Location	Front only
Porch Width	Minimum 5'
Porch Depth	3' to 8'
Roof Pitch	3/12 - 6/12
Details	Varied; borrows from many styles of precedent architecture
Garage	Within front or side façade; front, side or back entry; if garage entrance is on front façade, must not project farther from principal façade than required front porch depth
Carport	Side or rear orientation; flat or similar roof pitch to primary roof



Examples of Ranch in Seminole Heights

Form Description and Graphics 549.8: (MT) Minimal Traditional

Characterized by a simplified form loosely based on the Tudor style of the 1920s and '30s, the steep Tudor roof pitch may be lower and the façade is simplified by omitting most of the traditional detailing. Generally has a dominant front gable.

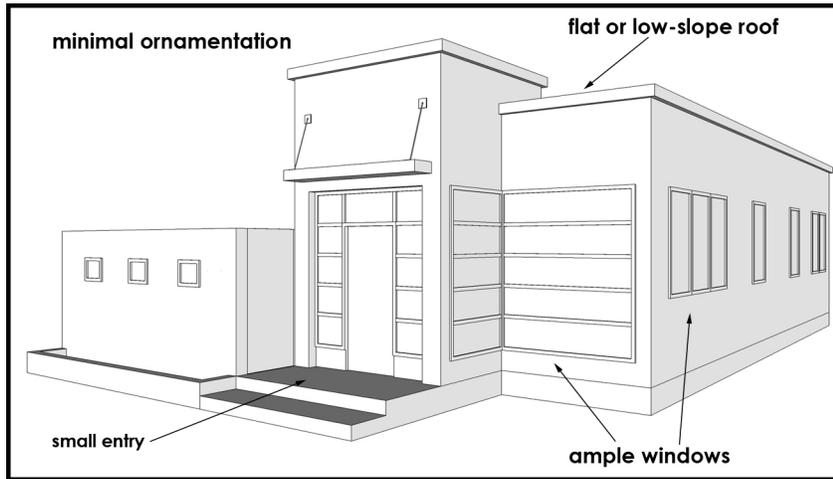


(MT) Minimal Traditional: Table 549.8	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	6" to 18"
Porch Location	Front or side allowed
Porch Width	Minimum 5'
Porch Depth (minimum to maximum)	6' to 8'
Roof Pitch	3/12 rise to run minimum
Details	May or may not have a front porch, minimal ornamentation, minimal eave overhang
Garage	Not typically attached to principal building (if attached, vehicle entrance must not project farther from principal façade than front porch depth)
Carport	Side façade (of rear for corner lot); flat or shed roof; single car width

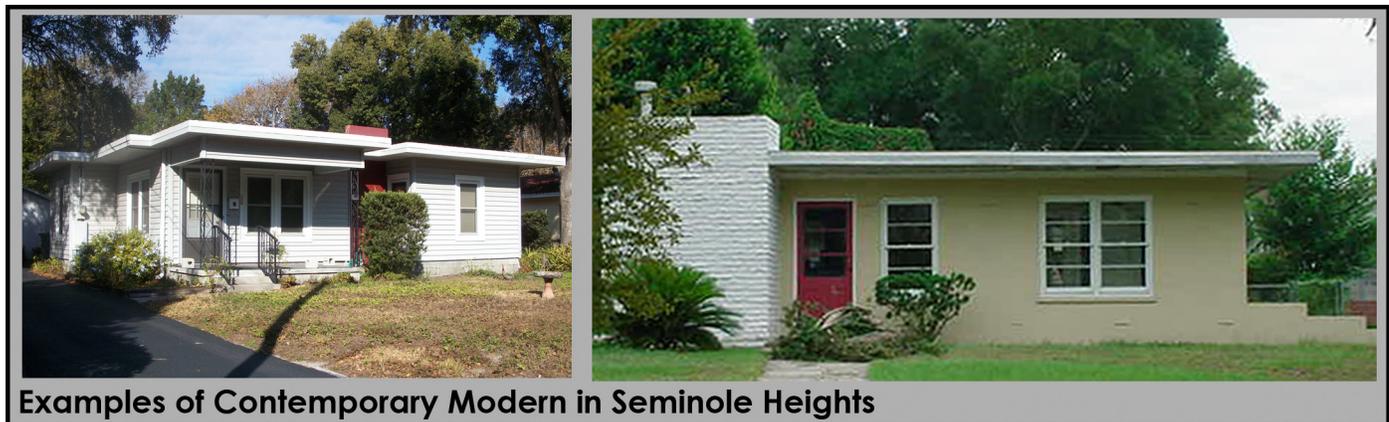


Form Description and Graphics 549.9: (CM) Contemporary Modern

Characterized by ample windows and flat or low-sloped roofs (or a combination of the two). Entry porches are usually small and may or may not be covered.



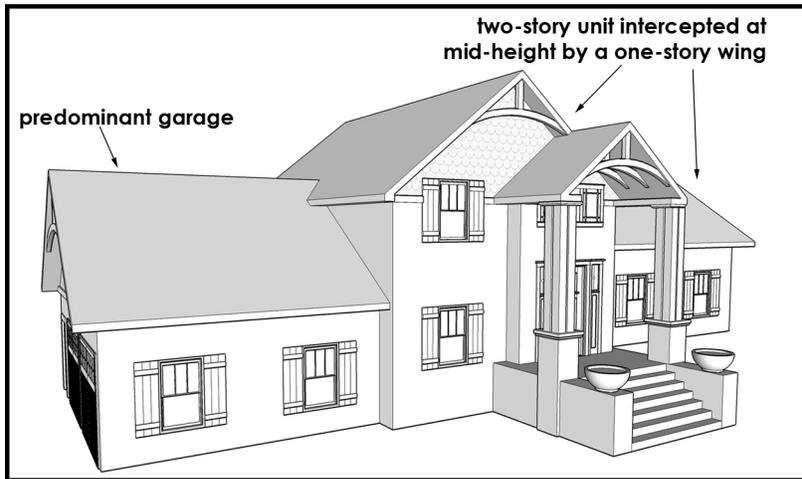
(CM) Contemporary Modern: Table 549.9	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	0" typically
Porch Location	Front, generally
Porch Width	Generally similar width to front entry (minimum of 5'); can be wider
Porch Depth (minimum to maximum)	3' to 8'
Roof Pitch	flat or low-slope up to 5/12 rise to run
Details	Clean modern lines, little ornamentation, ample windows (at least 60% of front façade)
Garage	Side or front orientation; garage roof may be incorporated under same roof as principal structure; must not project farther from principal façade than front porch depth
Carport	Side or front orientation; carport roof may be incorporated under same roof as principal structure; must not project farther from principal façade than front porch depth



Examples of Contemporary Modern in Seminole Heights

Form Description and Graphics 549.10: (SR) Split Ranch

Characterized by a multi-story modification of the one-story Ranch style. A two-story unit is intercepted at mid-height by a one-story wing to make three floor levels of interior space. Architectural detailing is based on a variety of architectural styles.



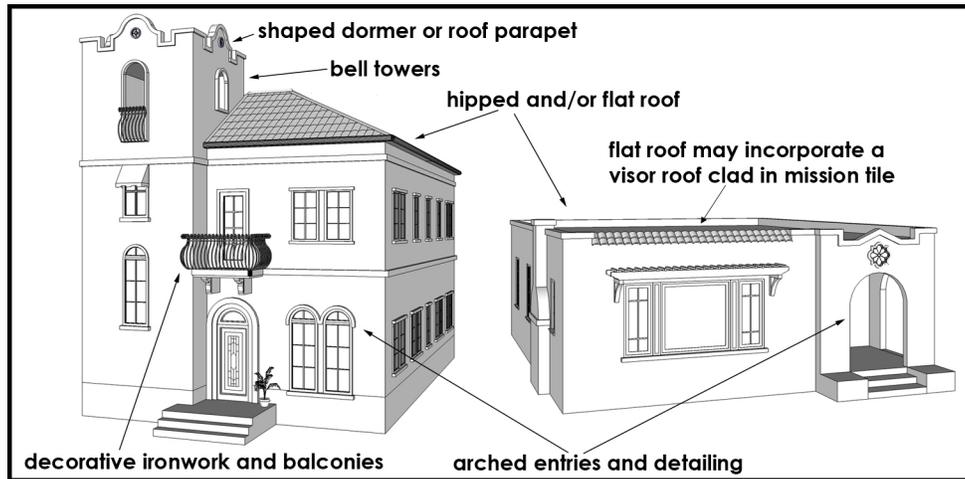
(SR) Split Ranch: Table 549.10	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	0" to 18"
Porch Location	Front only
Porch Width	Minimum 5'
Porch Depth (minimum to maximum)	6' to 8'
Roof Pitch	3/12 rise to run or more
Details	May or may not have a front porch, minimal ornamentation, minimal eave overhang; see RH for details
Garage	Not typically attached to principal building (if attached, vehicle entrance must not project farther from principal façade than required front porch depth)
Carport	Side façade (or rear for corner lots); flat or shed roof; single- or double-car width



Examples of Split Ranch in Seminole Heights

Form Description and Graphics 549.11: (SE) Spanish Eclectic (Mediterranean Revival, Mission, Pueblo)

Characterized by tile roofs, stucco walls and round-arched windows and doorways. House forms vary; however they are based on a rectangular floor plans. Ornamentation can range from simple to dramatic, and may draw from a number of Mediterranean references.



(SE) Spanish Eclectic: Table 549.11	
Required minimum standards for construction or any addition over 5% of usable floor area.	
Finished floor elevation (in addition to FEMA requirements)	At least 18"
Porch Location	Front
Porch Width (minimum to maximum)	3' to 8'
Porch Depth	At least 5'
Roof Pitch	flat or pitched (varies)
Details	Stucco wall surfaces, flat or low-pitched terra cotta and tile roofs, arches, scrolled or tile-capped parapet walls and articulated door surrounds; balcony and window grilles are common
Garage	Not typically attached; if attached, vehicle entrance must recessed at least 5' from principal façade).
Carport (porte cochere)	Flat or low-slope roof; single-car width



Examples of Spanish Eclectic in Seminole Heights

Sec. 27-550. Schedule of permitted uses by district.

Table 25-1 sets forth the permitted, special, and accessory uses by zoning district. All lands within the Greater Seminole Heights area shall adhere to this table. Any uses not listed shall be subject to zoning administrator review, pursuant to sec. 27-371.

Table SH-25.1: Table of Uses; Permit Requirements								
Use (listed by subcategory)	District	SH-RS	SH-RS-A	SH-RM	SH-RO	SH-O	SH-CG	SH-CI
<i>Residential</i>								
Accessory dwelling		S1	S1	S1	S1		S1	S1
Bed & Breakfast				S1	X	X	X	X
Congregate living facility, 6 or few residents [1]		X	X	X	X	X	X	X
Congregate living facility, large				S1 [3]	S1 [3]	X [3]	X	
Congregate living facility, small		S1	S1	S1	S1	S1	X	
Home daycare (# of pupils per F.S.)		X	X	X	X	X	X	X
Home occupation		X	X	X	X	X	X	X
Multi-family				X	S1	S1	S1	S1
Professional residential facility								
- Recovery Home A				S2		S2	S2	S2
- Recovery Home B				S2		S2	S2	S2
- Residential treatment				S2		S2	S2	S2
- Life care treatment				S2		S2		
Single-family detached		X	X	X	X		S1	S1
Single-family attached, semi-detached, two-family			X	X	X	S1	S1	S1
<i>Office/Private Institutional</i>								
Business/professional office					X	X	X	X
Clinic						X	X	X
Daycare facility		S2	S2	S1	S1	X	X	X
Hospital						X	X	X
Private cultural facility						X	X	X
Medical office					X	X	X	X
Private school								
- Elementary, Middle (junior high), Secondary (senior high)		S2	S2	X	X	X	X	X
- Technical/vocational						X	X	X
- University						X	X	X
Veterinary office							X	X
<i>Governmental Public Institutional</i>								
Public service facility		S2	S2	S2	S2	S2	X	X
Public use facility		X	X	X	X	X	X	X
Public cultural facility						X	X	X
Public School								
- Elementary, Middle (junior high), Secondary (senior high)		S2	S2	X	X	X	X	X
- Technical/vocational						X	X	X
- Community college/college						X	X	X
- University						X	X	X
<i>Recreation</i>								
Community Garden		S1	S1	S1	X	X	X	X
Recreational Facility, private		S1	S1	S1	S1	X	X	X
Recreational facility, commercial							X	X
<i>Assembly</i>								
Place of assembly [2]							X	X
Places of religious assembly		S2	S2	S2	S2	X	X	X

Table SH-25.1 Continued on Next Page

Table SH-25.1: Table of Uses; Permit Requirements (Continued from previous page)								
Use (listed by subcategory)	District	SH-RS	SH-RS-A	SH-RM	SH-RO	SH-O	SH-CG	SH-CI
<i>Commercial</i>								
Alcoholic beverage sales								
- Bar, lounge, nightclub							S2	S2
- Bowling alley with 12+ lanes (on premises only)							S1/S2 [5]	S1/S2/[5]
- Convenience retail (package only)							S1/S2 [5]	S1/S2 [5]
- Gasoline retail (package only)							S1/S2 [5]	S1/S2 [5]
- Hotel with 100+ rooms (on premises only)							S1/S2 [5]	S1/S2 [5]
- Large venue (on premises/package)							S2	S2
- Restaurant (on premises only)							S1/S2 [5]	S1/S2 [5]
- Shopper's goods retail (package only)							S1/S2 [5]	S1/S2 [5]
- Small venue (on premises/package)							S2	S2
- Sidewalk café (on premises only)							S1	S1
- Special restaurant (on premises only)							S1/S2 [5]	S1/S2 [5]
- Specialty retail (package only)							S1/S2 [5]	S1/S2 [5]
- Temporary (on premises only)		S1	S1	S1	S1	S1	S1	S1
Appliance and equipment repair							X	X
Bank						X	X	X
Catering shop							X	X
Drive-in window						S1	S1	S1
Dry cleaning, large								X
Dry cleaning, small							X	X
Funeral parlor						X	X	X
Hotel/motel						X	X	X
Kennel								X
Light manufacturing								X
Medical/dental laboratory						X	X	X
Microbrewery								X
Mini-warehouse								X
Open storage as an accessory use								X
Personal Services					X	X	X	X
Pharmacy					S1	X	X	X
Printing, light							X	X
Restaurant						X	X	X
Retail							X	X
Utility transmission site		S2	S2	S2	S2	S2	S2	S2
Vehicle repair, major								X
Vehicle repair, minor							X	X
Vehicle sales and leasing								X
Vendors, all types						S1	S1	S1
Warehouse								X
Wholesale trade								X
<i>Mixed Use [4]</i>								
Storefront, residential-office/private institutional					X	X	X	X
Storefront, residential-office/public institutional					X	X	X	X
Storefront, residential-commercial							X	X
Storefront, residential-assembly					S1	X	X	X
Storefront, residential-recreation		S1	S1	S1	S1	X	X	X

Table SH-25.1 Continued on Next Page

Table SH-25.1: Table of Uses; Permit Requirements (Continued from previous page)	
Notes:	
[1]	In the RS, RS-A, and RM districts congregate living facilities of 6 or fewer residents shall maintain 1000' distance separation from each other.
[2]	For purposes of this section, 'Place of assembly' includes 'club', as defined in Sec. 27-545.
[3]	Use only permitted in future land use category R-35 and those more dense/intense.
[4]	Specific allowed storefront uses are listed by subcategory in this table.
[5]	Refer to Article XI Special Use Permits and XXII Alcoholic Beverages for applicable provisions. Requests may process as an administrative special use permit (S-1) only when sales meet the specific use standards in section 27-272 (a). If any waivers are needed, the request shall process as an (S-2), per applicable requirements of section 27-272(a) and (b).

Sec. 27-551. Historic Preservation.

In addition to adherence to the overlay standards for the Greater Seminole Heights Area, all development within the Seminole Heights Historic District shall adhere to the provisions of Article IX.

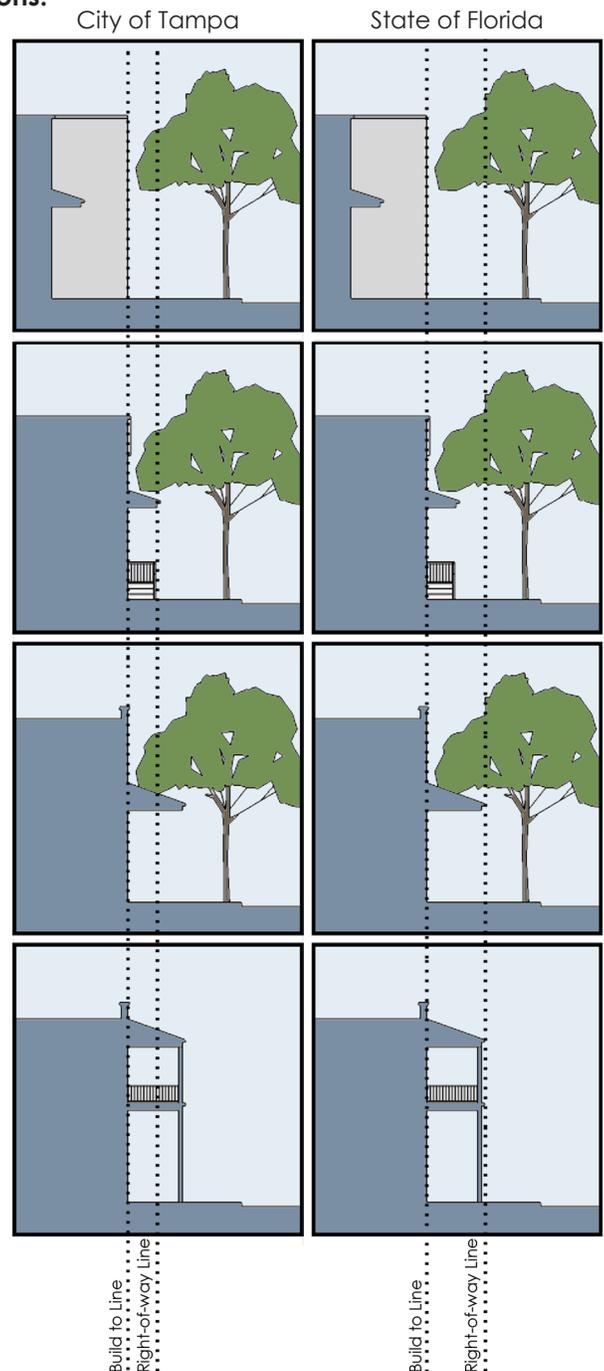
Sec. 27-552. Frontage types and other supplemental regulations.

Courtyard: The main façade of the building is placed at the build-to line and a percentage of it is set back (no more than 50%), creating a small court space. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage type should be used sparingly and should not be repeated within a block. A short wall (no taller than 3' above grade, hedge, or fence shall be placed along the undefined edge.

Stoop: The main façade of the building is placed at the build-to line and the elevated stoop engages/interfaces with the sidewalk. If stairs are used to elevate stoop, the stoop may lead directly to the sidewalk or may be side loaded. The minimum width and depth of the stoop shall be 5 feet. This type is appropriate for residential, non-residential and/or mixed use, subject to appropriate ADA requirements.

Awning, canopy: A frontage wherein the façade is placed at the build-to line with the building entrance at sidewalk grade. This type is conventional for retail/commercial use. It has a substantial glazing/transparency on the sidewalk/pedestrian level and an awning or canopy that may overlap the sidewalk to the maximum extent possible.

Arcade: A frontage wherein the façade is a colonnade that overlaps the sidewalk, while the façade at sidewalk level remains at the build-to line. This type is conventional for retail/commercial uses. The arcade shall be no less than 8 feet in depth and may overlap the whole width of the sidewalk to within 2 feet of the curb, as permitted by law.



(a) All development shall be required to comply with the applicable development standards set forth in this article and articles V, VI, and X for standards affecting (but not limited to) parking, solid waste enclosure, fences and walls, screen enclosures, air conditioner/mechanical equipment location, tents, etc.

(b) As of August 30, 2001, pursuant to Ord. No. 2001-192, chain link fences for residential development are prohibited in the district. As of the date of this ordinance, any new chain link fence for non-residential development shall be black, vinyl-coated, and limited to 4' in height along all public rights-of-way (excluding alleys).

Sec. 27-553. Signs

All signs shall comply with Chapter 20.5 Signs.

Sec. 27-554. Parking design and access management.

(a) Applicable parking ratios by use:

Table 554.1	Ratio (spaces per unit of measurement; these rates equate to maximum parking spaces permitted on site) [1,7]
Use (listed by subcategory)	
Residential	
Single-family detached	2 / unit
Single-family attached	2 / unit
Multi-family	1 / unit studio & 1-bedroom 1.5 / unit 2-bedroom 2 / unit 3-bedroom
Office, Private Institutional	
Bank	3 / 1000 SF (UFA)
Museum	2 / 1000 SF (UFA)
Office, business-professional	3 / 1000 SF (UFA)
Office, medical	5 / 1000 SF (UFA)
Storefront, residential-office/private institutional	Ratio per non-residential use +1 / unit
Governmental/Public Institutional	
Public use facility	3 / 1000 SF (UFA)
Public cultural facility	2 / 1000 SF (UFA)
Recreation/Assembly	
Private/commercial recreational facility	4 / 1000 SF (UFA)
Place of assembly	0.3 / fixed seat or 10 / 1000 SF (UFA)
Commercial	
Shopper's/gasoline/convenience retail	4 / 1000 SF (UFA)
Specialty retail	1 / 1000 SF (UFA)
Restaurant, stand along (>=120 occupants)	0.25 / person (life safety code)
Restaurant, stand along (< 120 occupants)	6 / 1000 SF (UFA)
Storefront, residential-commercial	Ratio per non-residential use +1 / unit

Notes: ([3,4] & [6,7] are cumulative and may be combined (60% maximum reduction); or, [5] may be combined with [6,7] (45% maximum reduction)

- [1] UFA means 'usable floor area'.
- [2] Reuse of existing structures, with no increase in intensity (including restaurants with less than 100 occupant load, medical office with less than 3000 square feet), and no increase in UFA, shall not be required to provide additional parking to meet the standards set forth in this table above. Uses specifically excluded from this method of parking reduction are bars, places of assembly, and vehicle sales and/or repair.
- [3] Reuse of existing structures up to 10,000 square feet including additions thereto, shall be eligible for a reduction in required parking, for all uses, up to a maximum of 25% of the required amount.
- [4] Developments that mix 3 or more uses (establishments) within a common building, shall be eligible for a 15% reduction in total required parking. Uses specifically excluded from this method of parking reduction are bars, places of assembly, and vehicle sales and/or repair.
- [5] Construct on-street parking (non-dedicated & within the public right-of-way) immediately adjacent to subject property for up to 25% of required spaces.
- [6] Up to 10% of required parking may be off-set with the installation of bicycle racks at a rate of 1 vehicle stall = 5 bicycle slots.
- [7] Up to 10% of required parking may be off-set with the installation of motorcycle parking measuring 4' x 8'.

(b) Parking Layout.

- (1) Perpendicular spaces (90 degrees)
Standard parking space dimension:
8' x 18'

Drive aisle dimension:
24' (two-way: cars stacked on either side)
10-12' (one-way)

- (2) Angled spaces (45 degrees)
Standard parking space dimension:
Adhere to compact space dimensions
set forth in Article X

Drive aisle dimension:
24' (two-way: cars stacked on either side)
10-12' (one-way)

- (3) Parallel spaces (0 degrees)
Parking space dimension:
8' x 22' (interior spaces)
8' x 20' (end spaces)

(c) Materials. Alternative materials may be considered pursuant to the procedure set forth on sec. 27-372.

(d) Access. Access to non-residential parking areas may be located on local streets within and placed no further than 100' of the intersection with an arterial or collector roadway.

(e) Loading. Required loading shall adhere to sec. 27-248.

Sec. 27-555. Landscaping.

(a) General purpose. Preservation of the urban canopy within the Greater Seminole Heights area is not only an invaluable asset to the area residents and businesses' it is a vital part of the City's natural resources. This section provides a diverse and well-suited list of trees for new plantings, while defining appropriately-sized planting areas within parking areas and along property perimeters.

(b) Applicability. All development shall adhere to the requirements set forth below, and with the remainder of Chapter 13, as applicable. The standards set forth below supersede the tree planting requirements of sec. 13-161 and buffering requirements of sec. 27-130.

(c) Technical Manual. All development shall adhere to the tree preservation and construction

methods of the Tree and Landscape Technical Manual.

(d) Tree preservation & removal. All development shall preserve, relocate, and/or remove protected and grand trees in accordance with Chapter 13.

(e) Required plantings (all landscape materials). In cases of conflict between the General and Parking Area Landscaping, the most restrictive standard applies.

- (1) General site landscaping standards:
all development (not including single-family detached, -attached, -semi-detached, or two-family) shall comply with development standards set forth below (next page):

KEY: Table 555.1	
See also Sec. 27-545 Definitions	<p>F: Front SS: Side (Street) SI: Side (Interior)</p> <p>R: Rear LI: Landscaped Island OC: On center UFA: Usable floor area</p>
General Site Landscaping	
Required Plantings [1, 3]	
F	- (1) tree at 40' OC - Low-water ground cover (no sod) [2]
SS	- (1) tree at 30' OC - Low-water ground cover (no sod) [2]
SI - Adjacent to/separated by alley from single-family, two-family residential use	- (1) hedge at 3' OC - Low-water ground cover (no sod) - 6' fence or wall (material & height governed by Sec. 27-133)
R - Adjacent to/separated by alley from single-family, two-family residential use - Adjacent to any other use (no alley) - Adjacent to any other use (separated by alley)	- (1) tree at 20' OC - Low-water ground cover (no sod) - 6' wall (material and height governed by Sec. 27-133) - (1) hedge at 3' OC - Low-water ground cover (no sod) - (1) hedge at 3' OC - Low-water ground cover (no sod)
Notes:	
[1] See Sec. 27-555(3) below for allowable species, required planting sizes, required planting methods, and general landscaping regulations.	
[2] To be used in locations where no pavement or walkways are located.	
[3] Required compliance for new construction; required compliance if expansion of UFA is a minimum of 25% of existing UFA.	
[4] If expanding VUA, required compliance for newly expanded area.	

(2) Parking area landscaping (vehicular use area as defined in Chapter 13) standards: all development shall comply with development standards set forth below:

KEY: Table 555.2	
See also Sec. 27-545 Definitions	F: Front SS: Side (Street) SI: Side (Interior) R: Rear LI: Landscaped Island OC: On center UFA: Usable floor area
Parking Area Landscaping	
Required Plantings [1, 3, 4]	
F	- (1) tree at 30' OC - (1) hedge at 3' OC - Low-water ground cover (no sod) [2]
SS	- (1) tree at 30' OC - (1) hedge at 3' OC - Low-water ground cover (no sod) [2]
SI - Adjacent to/separated by alley from single-family, two-family residential use	- (1) hedge at 3' OC - Low-water ground cover (no sod) - 6' fence or wall (material & height governed by Sec. 27-133)
R - Adjacent to/separated by alley from single-family, two-family residential use - Adjacent to any other use (no alley) - Adjacent to any other use (separated by alley)	- (1) tree at 20' OC - Low-water ground cover (no sod) - 6' wall (material and height governed by Sec. 27-133) - (1) hedge at 3' OC - Low-water ground cover (no sod) - (1) hedge at 3' OC - Low-water ground cover (no sod)
LI	- 9' x 18' typical to match parking layout - (1) every 10 parking spaces on average - (1) tree per LI - low-water ground cover (no sod) [2]
Notes: [1] See Sec. 27-555(3) below for allowable species, required planting sizes, required planting methods, and general landscaping regulations. [2] To be used in locations where no pavement or walkways are located. [3] Required compliance for new construction; required compliance if expansion of UFA is a minimum of 25% of existing UFA. [4] If expanding VUA, required compliance for newly expanded area.	

(3) Acceptable planting materials.

- a. Accepted Tree List – All Florida Grade #1 (genera from the Florida Friendly Plant List marked with [*F]; genera containing some species native to central Florida marked with [+N])

1. Shade – to be used when no overhead lines; also no underground lines within 20'; minimum 4" caliper at time of planting.

American Hornbeam
(*carpinus caroliniana*)(*F) (+N)
 American Snowbell
(*Styrax americanus*)
 Ash
(*Fraxinus spp.*) (*F) (+N)
 Avacado
(*Persea Americana*) (*F)
 Bay Tree
(*Persea spp.*) (*F) (+N)
 Bottlebrush
(*Callistemon spp.*) (*F)
 Bronze Loquat
(*eriobotrya deflexa*) (*F)
 Buttonwood, Silver
(*Conocarpus erectus*) (*F) (+N)
 Camphor
(*Cinnamomum camphora*)
 Chinese Fan Palm
(*Livistona chinensis*) (*F)
 Chinkapin Oak
(*quercus muehlenbergii*) (*F) (+N)
 Chickasaw Plum
(*Prunus angustifolia*) (*F) (+N)
 Common Hackberry
(*celtis occidentalis*) (*F) (+N)
 Crape Myrtle
(*Lagerstroemia indica*) (*F)
 Cypress
(*Taxodium spp.*) (*F) (+N)
 Date Palm
(*Phoenix spp.*)
 Dogwood
(*Cornus spp.*) (*F) (+N)
 Elm
(*Ulmus spp.*) (*F) (+N)
 European fan palm
(*Chamoerops humilis*)
 Florida Privet
(*forestiera segregate*) (*F) (+N)
 Florida Torreya
(*torreya taxifolia*) (+N)
 Florida Yew
(*taxus floridana*) (+N)
 Fringetree
(*chionanthus spp*) (*F) (+N)
 Geiger-Tree
(*cordia sebestena*) (*F)

Guava
(*feijoa sellowiana*)
 Hawthorn
(*crataegus spp.*) (+N)
 Holly
(*Ilex spp.*) (*F) (+N)
 Hornbeam
(*Carpinus spp.*) (*F) (+N)
 Hickories
(*Carya spp.*) (*F) (+N)
 Jacaranda
(*jacaranda mimosifolia*) (*F)
 Kwanzan Cherry
(*prunum serrulata* "Kwanzan") (not evergreen – persistent leaf)
 Lychee
(*Litchi chinensis*) (*F)
 Ligustrum
(*Ligustrum spp.*) (*F)
 Loblolly Bay
(*Gordonia lasianthus*) (+N)
 Loquat
(*eriobotrya spp.*) (*F)
 Magnolia
(*Magnolia spp.*) (*F) (+N)
 Maple
(*Acer spp.*) (*F) (+N)
 Myrtle Oak
(*Quercus mytifolia*) (*F) (+N)
 Oak
(*Quercus spp.*) (*F) (+N)
 Olive
(*olea europaea*) (*F)
 Pecan/Hickory
(*Carya spp.*) (*F) (+N)
 Pignut Hickory
(*Carya glabra*) (*F) (+N)
 Pine
(*Pinus spp.*) (*F) (+N)
 Pink Trumpet Tree
(*tabebuia heptaphylla*) (*F)
 Podocarpus
(*Podocarpus spp.*) (*F)
 Redbud, Eastern
(*Cercis canadensis*) (*F) (+N)
 Red Buckeye, Florida Buckeye
(*Aesculus pavia*) (F*) (+N)
 Red Cedar
(*Juniperus spp.*) (*F) (+N)
 River Birch
(*Betula nigra*) (*F) (+N)
 Sabal/Cabbage Palm
(*Sabal palmetto*) (*F) (+N)
 Silver Trumpet
(*Tabebuia caraiba*) (*F)
 Silver Buttonwood
(*conocarpus silver*) (*F)
 Simpson's Stopper
(*myrcianthes fragrans*) (*F) (+N)
 Sweetbay Magnolia

- (magnolia virginiana and cvs.) (*F) (+N)
- Sweet Gum
(Liquidambar styraciflua) (*F) (+N)
- "Thundercloud" Cherry Plum
(prunus cerasifera 'Thundercloud')
- Tupelo, Black Gum
(Nyssa sylvatica) (*F) (+N)
- Washington Palm
(Washingtonia robusta) (*F)
- Wax Myrtle
(Myrica cerifera) (*F) (+N)
- Willow
(Salix spp.)

2. Understory – to be used when overhead lines present; no underground lines within 10'; minimum 3" caliper at time of planting.

- (Deciduous)
- American Snowbell
(Styrax americanus)
- Bottlebrush
(Callistemon spp.) (*F)
- Crape Myrtle
(Lagerstroemia indica) (*F)
- Chickasaw Plum
(Prunus angustifolia) (*F) (+N)
- Kwanzan Cherry
(prunum serrulata "Kwanzan") (not evergreen – persistent leaf)
- Fringetree
(chionanthus spp) (*F) (+N)
- May Hawthorn
(crataegus aestivalis) (+N)
- Redbud
(Cercis canadensis) (*F) (+N)
- Red Buckeye, Florida Buckeye (Aesculus pavia) (*F) (+N)
- Silver Buttonwood
(Conocarpus silver) (*F)
- "Thundercloud" Cherry Plum
(prunus cerasifera 'Thundercloud')
- Yaupon Holly
(Ilex vomitoria) (*F) (+N)
- Wax Myrtle
(Myrica cerifera) (*F)
- Winged Elm
(Ulmus allota) (*F) (+N)

- (Evergreen)
- Bronze Loquat
(eriobotrya deflexa) (*F)
- Florida Privet
(forestiera segregate) (*F) (+N)
- Florida Torreya
(torreya taxifolia) (+N)
- Florida Yew
(taxus floridana) (+N)
- Geiger-Tree
(cordia sebestena) (*F)

- Guava
(feijoa sellowiana)
- "Little Gem" Southern Magnolia (magnolia grandiflora 'little gem') (*F) (+N)
- Olive
(olea europaea) (*F)
- Seagrape
(coccoloba uvifera) (*F) (+N)
- Simpson's Stopper
(myrcianthes fragrans) (*F) (+N)

Per Section 13-162 (a) (1) (d); any person may request and the department may approve a tree as a replacement tree that is not included on the recommended tree list if the tree is similar in character and function to a tree on the recommended tree list. Please note that sixty (60) percent are to be native trees.

- b. Accepted Shrub List – All Florida Grade #1 (genera from the Florida Friendly Plant List marked with [*F]; genera containing some species native to central Florida marked with [+N])

Needle Palm (Rhapidophyllum hystrix) (*F) (+N)

Others as accepted by Chapter 13.

- c. Accepted Ground Cover List – All Florida Grade #1 (genera from the Florida Friendly Plant List marked with [*F]; genera containing some species native to central Florida marked with [+N])

Ground Cover

As accepted pursuant to Chapter 13.

Sec. 27-556. Public Realm.

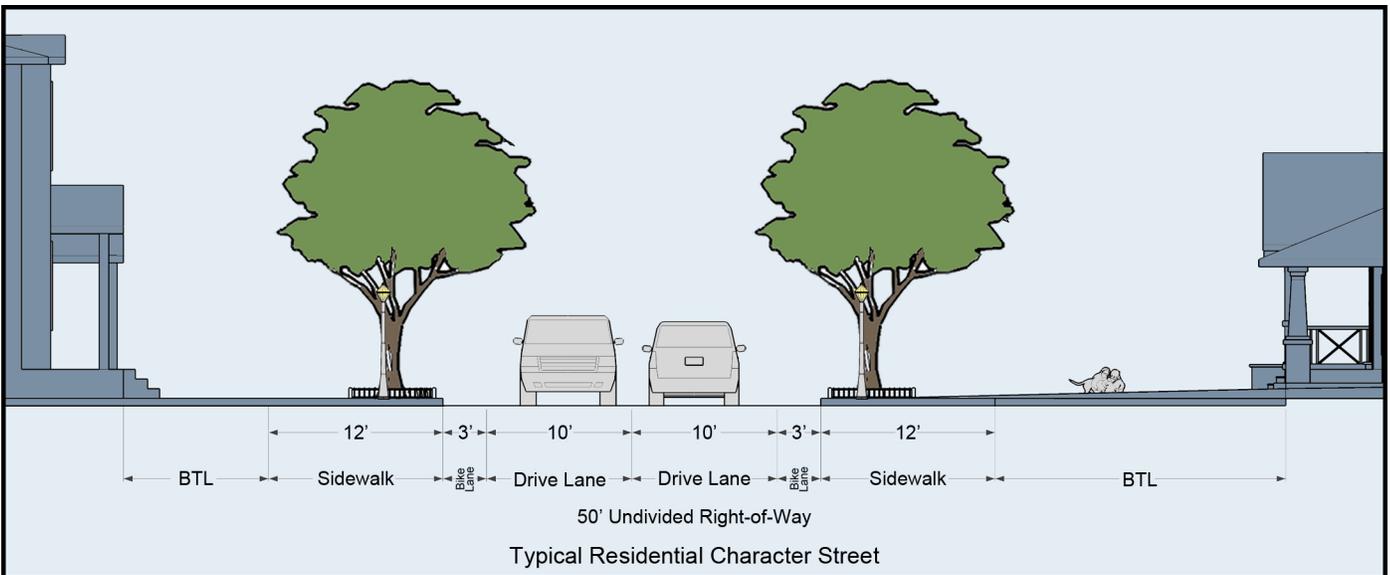
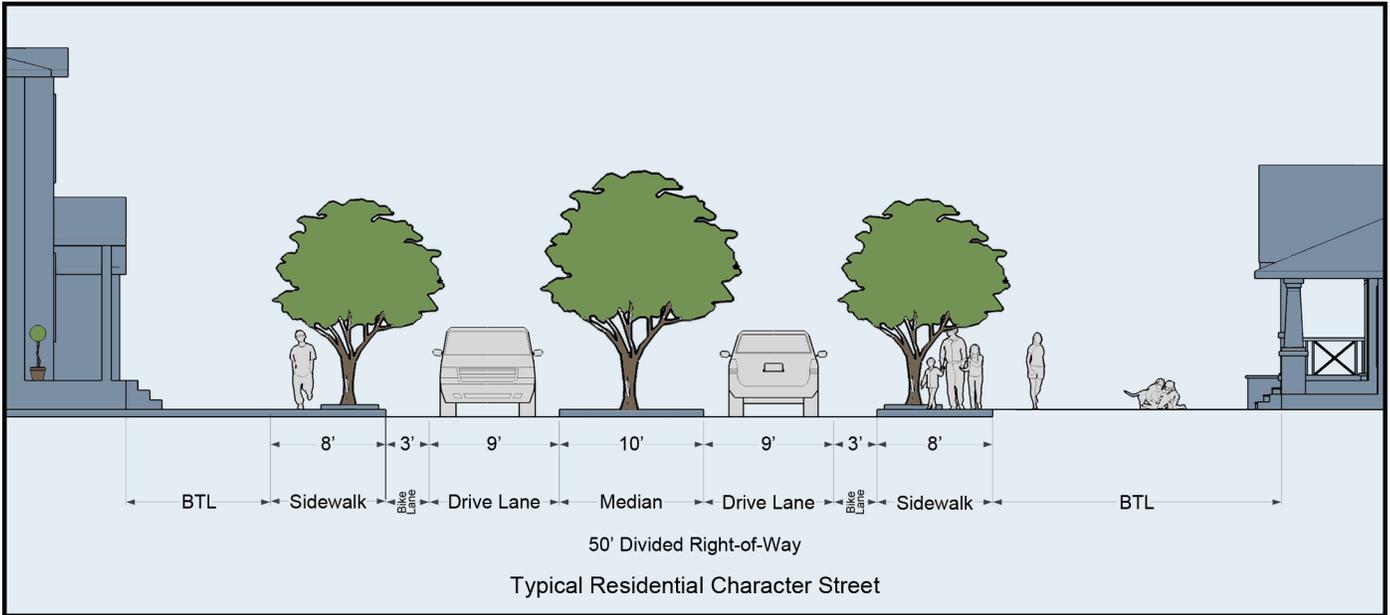
- (a) General purpose and compliance. The requirements of this section apply to all new streets and to those that may be modified, reconstructed, or retro-fitted. Inclusion of wider sidewalks, bicycle lanes, tree plantings, and narrowed travel lanes shall be a priority and shall be incorporated into all phases of design for improvement of the area.
- (b) ROW Permitting. (refer to Chapter 22)
- (c) Typical street sections. The Greater Seminole Heights area contains a defined and open street grid of varying right-of-way widths with both local and state roads. The following are typical street cross sections that shall apply to new streets and to any future improvements (either public or private as noted in (a) above):

Graphic 25-556.1

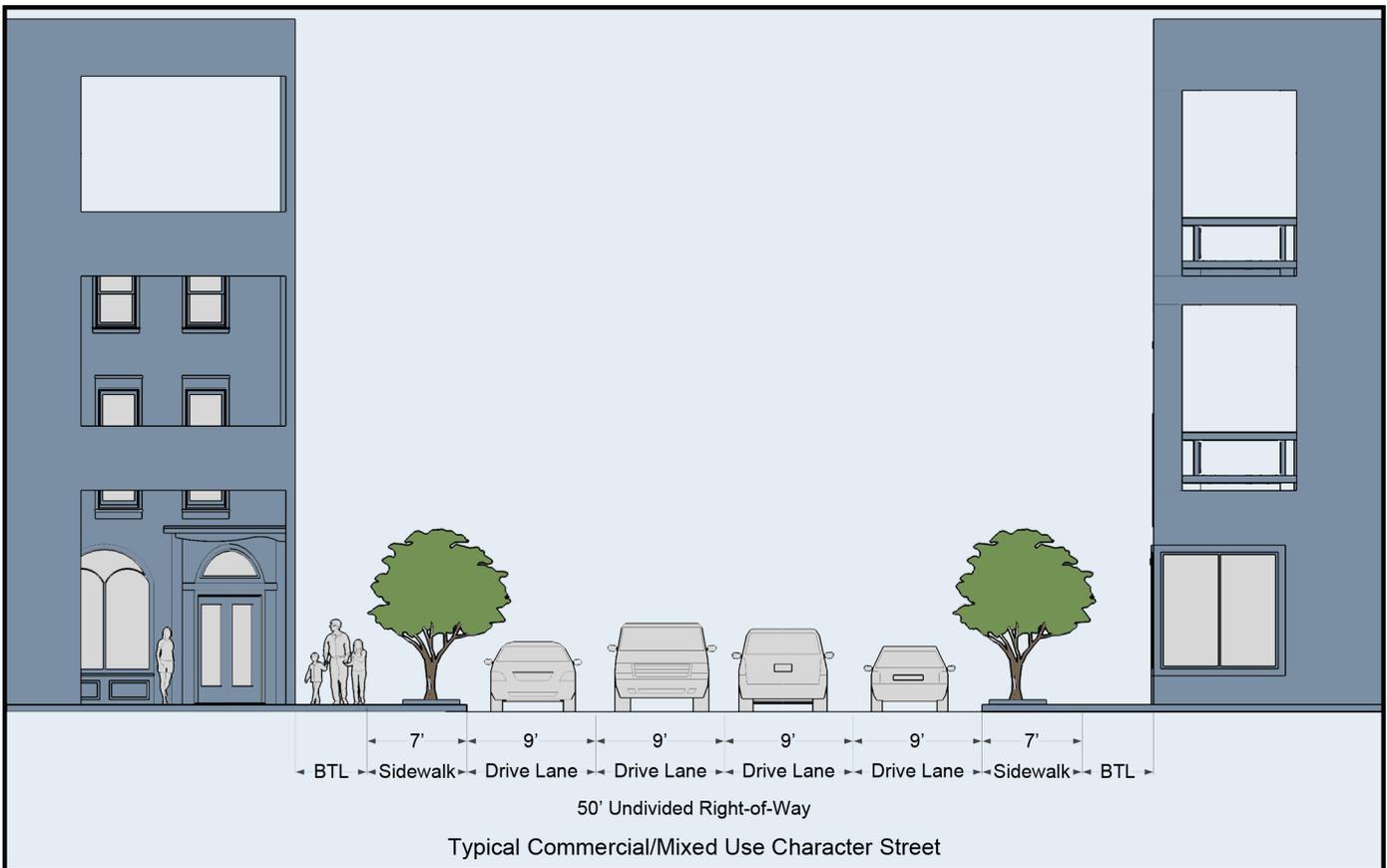
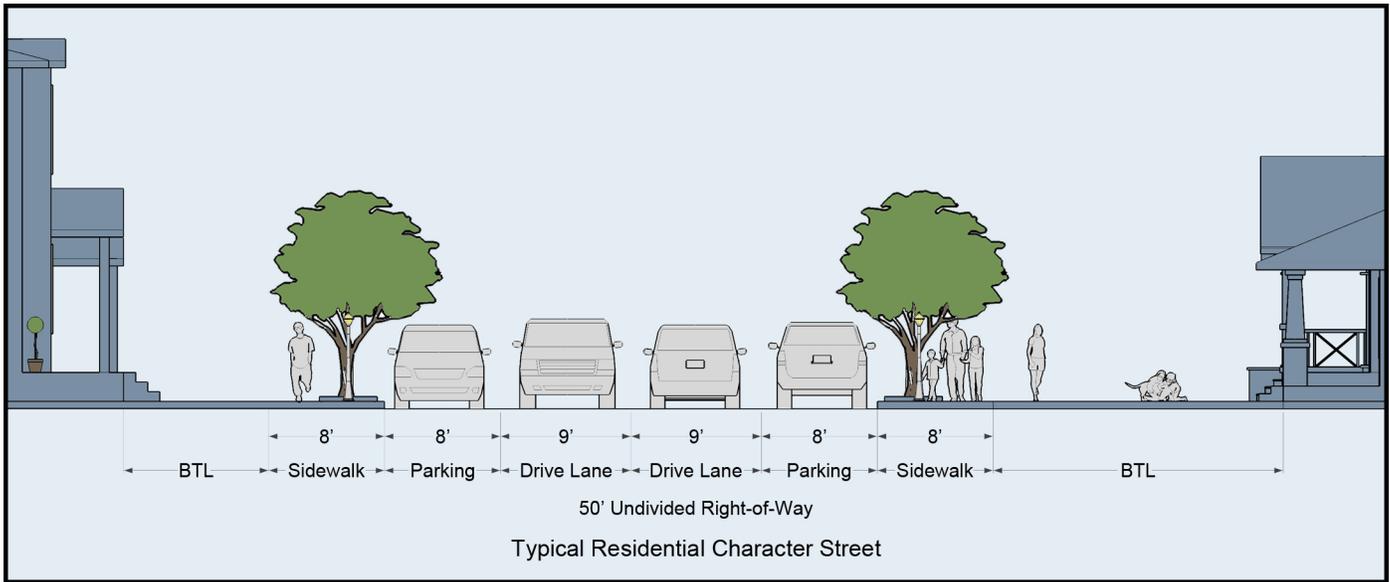
39' ROW - Typical



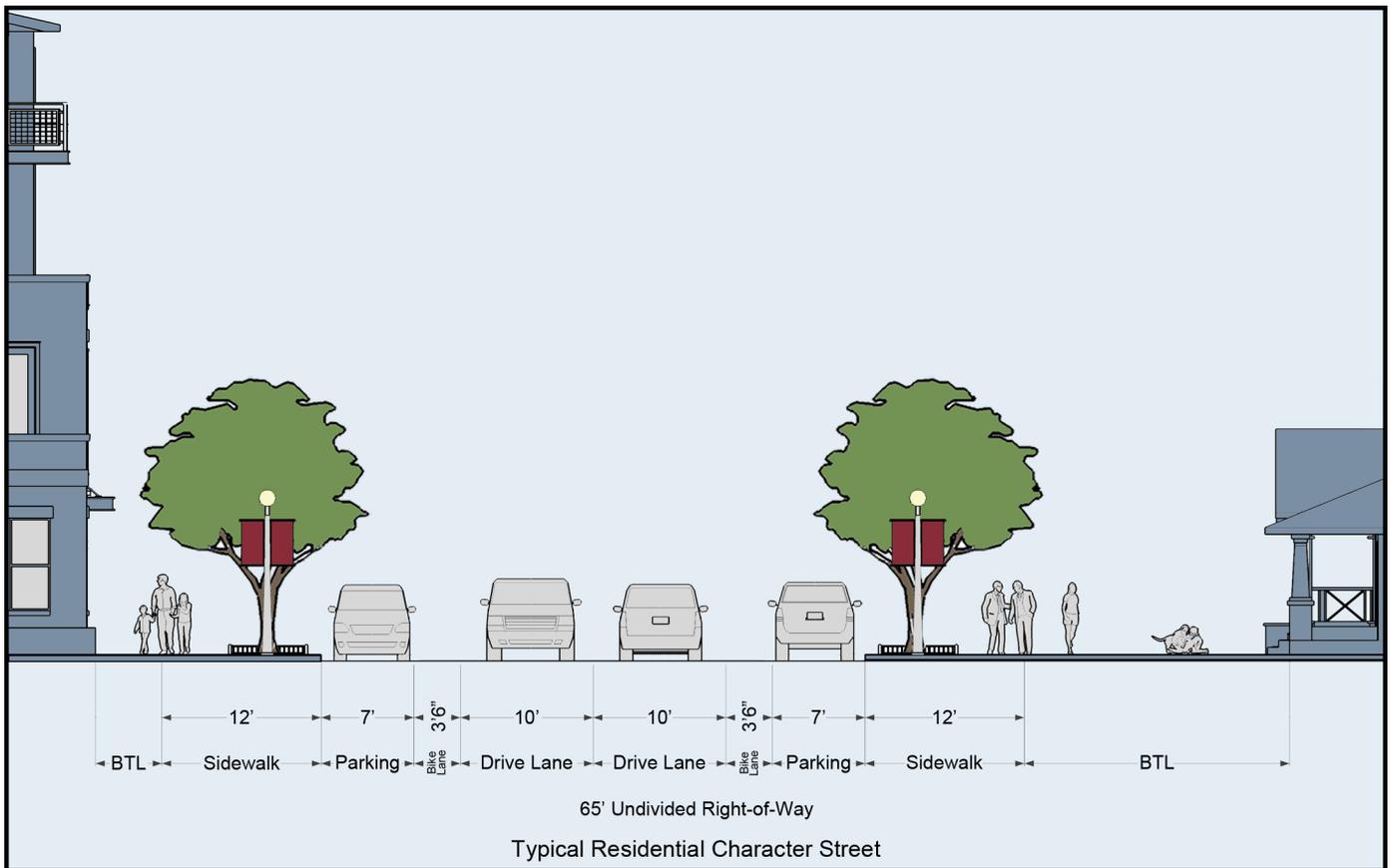
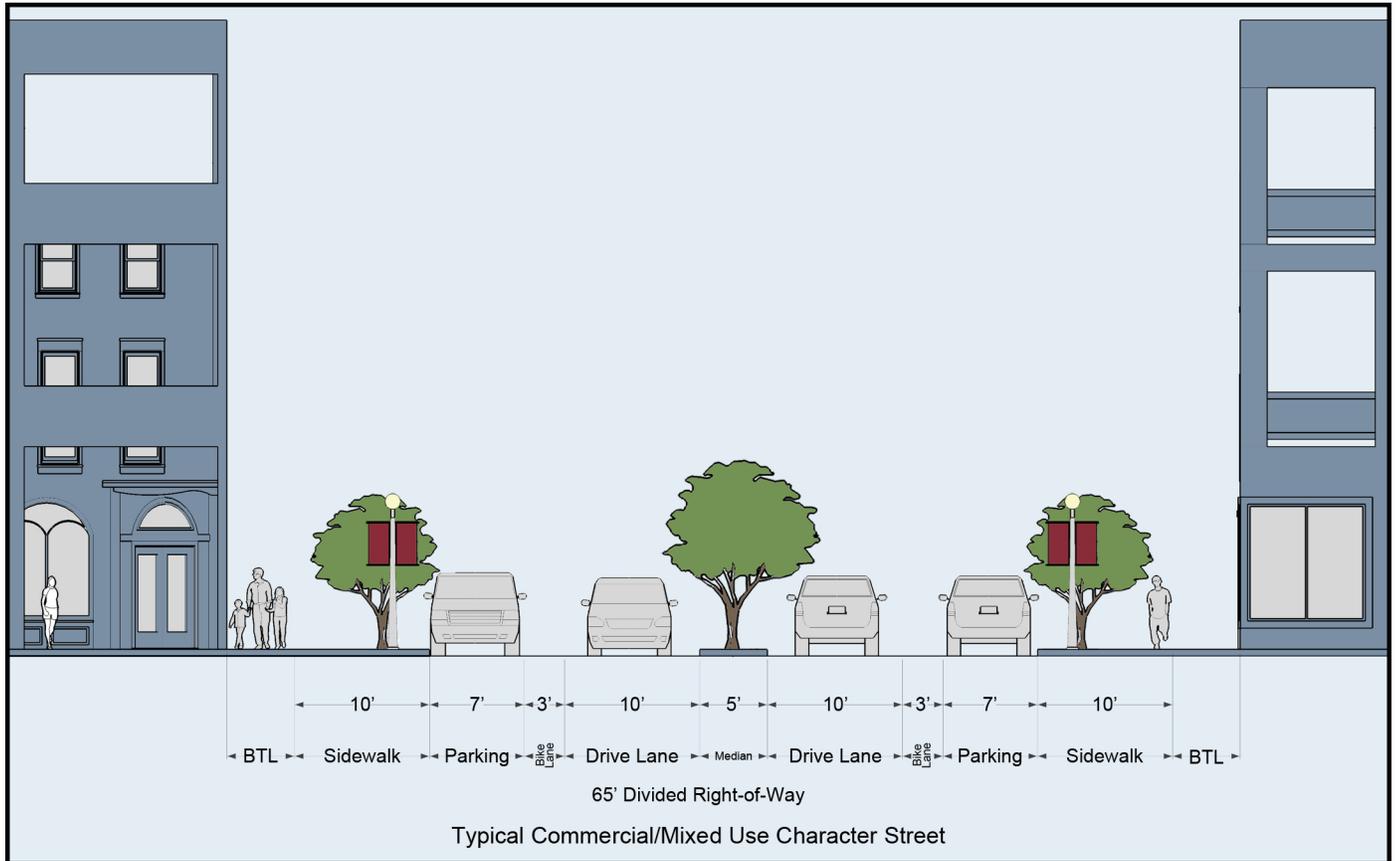
Graphic 25-556.2
50' ROW - Typical



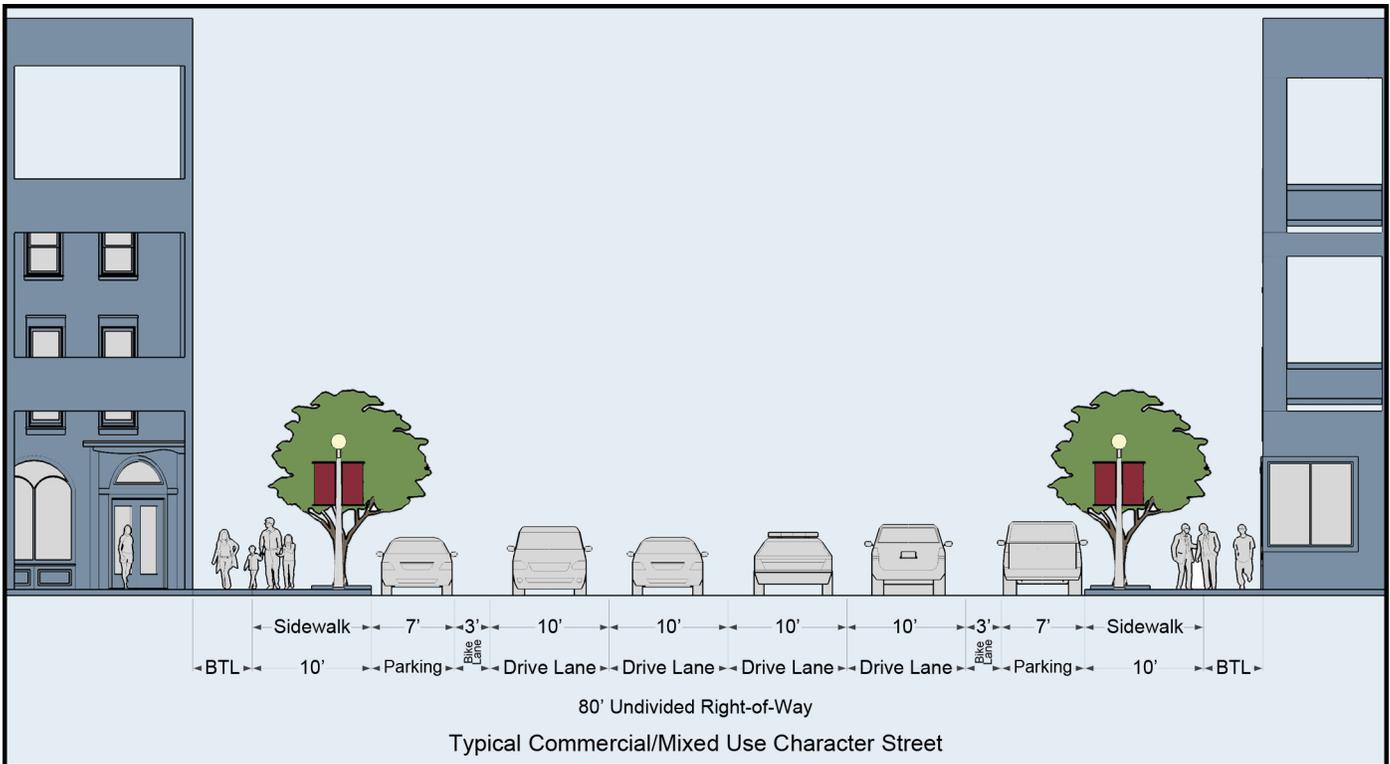
Graphic 25-556.3
50' ROW - Typical



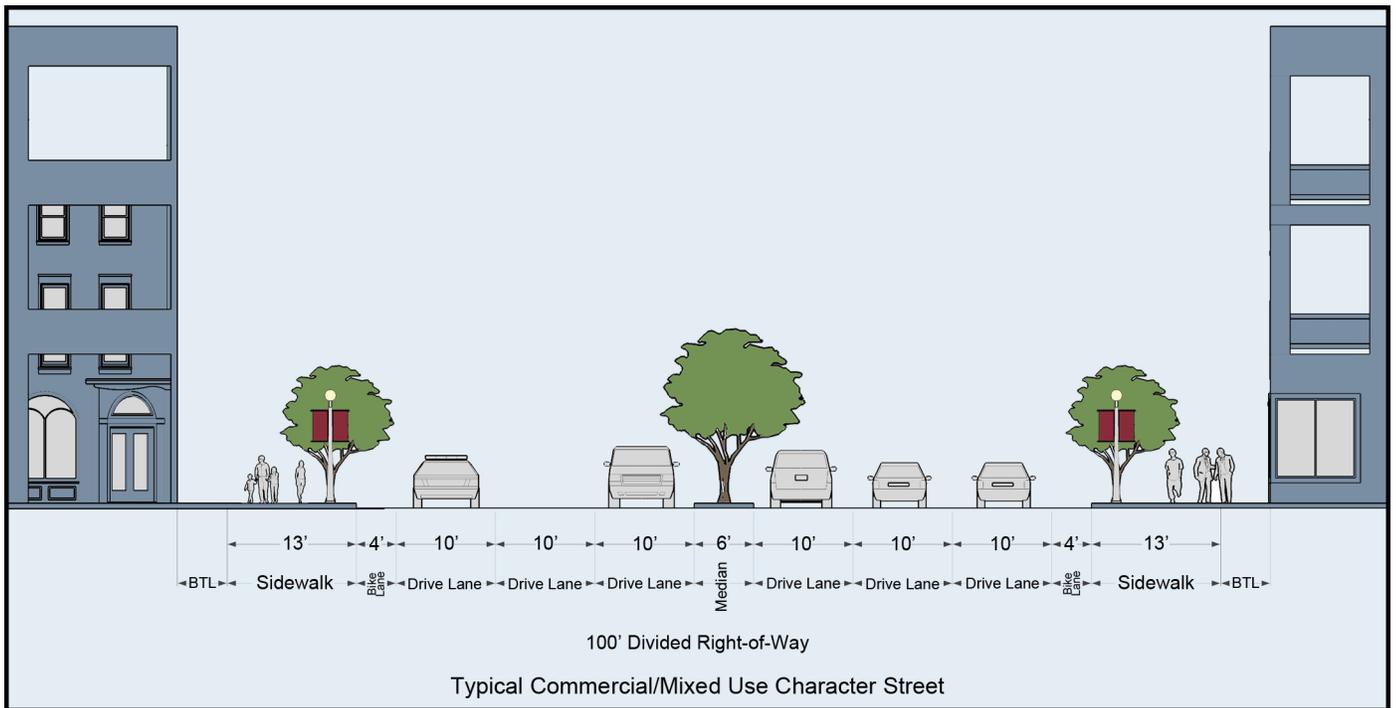
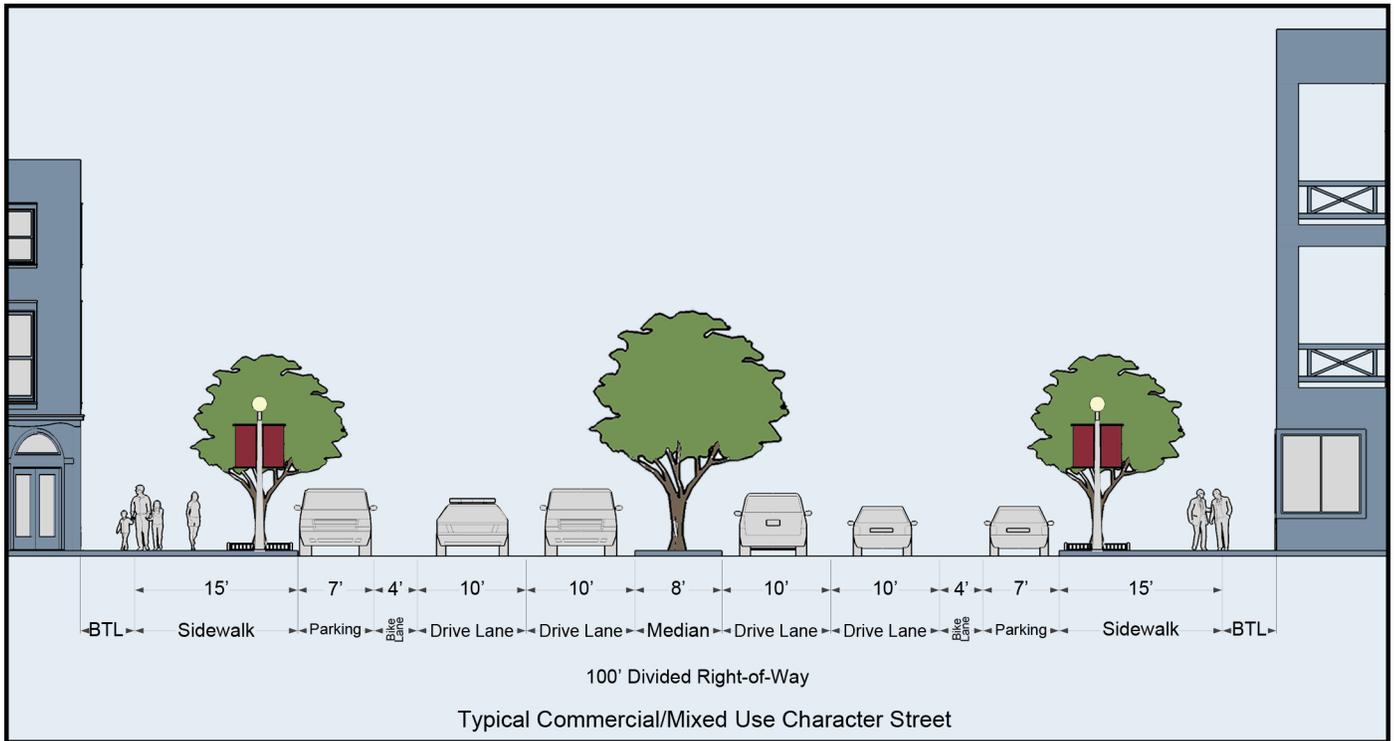
Graphic 25-556.4
65' ROW - Typical



Graphic 25-556.5
80' ROW - Typical



Graphic 25-556.6
100' ROW - Typical



- (d) Streetscape. Landscape materials (tree plantings) are subject to Transportation Division approval and shall adhere to the list provided in sec. 27-555.
- (e) Traffic calming. (Refer to Greater Seminole Heights Vision Plan. Additionally, acceptable forms of traffic calming include: on-street parking, bicycle lanes, wider sidewalks, right-of-way landscaping and tree planting, traffic circles, chicanes, roundabouts, signalized ped- and bike crossings, and adjustments to signal timing. All forms may be considered and are subject to the review and approval of the Transportation Division pursuant to the Transportation Technical Manual.
- (f) Signs. (refer to Chapter 20.5 and 22)
- (g) Encroachments, Sidewalk cafes. (Refer to Chapter 22 and sec. 27-272 respectively; however, encroachments of awnings, canopies, and arcades may be reviewed and approved administratively pursuant to the ROW permitting process within City rights-of-way.)

Sec. 27-557. Greater Seminole Heights Bonus; methodology and calculation; list of bonus amenities.

- (a) Purpose and Intent. The purpose and intent of this section is to establish a method to quantify bonus amenities for development within the Greater Seminole Heights area Nodes. This section, however, does not mandate the award of the bonus to the applicant. The method and calculation will ensure that development in the defined area boundary will be accompanied by those amenities that enhance the urban quality of life and that balance or compensate in the form of bonus floor area (FAR) to achieve the desired density/intensity in this area.
- (b) Compliance. All developments that seek density/intensity bonuses within the defined area boundary shall adhere to the regulations set forth in this section and the methodology and calculation set forth in sec. 27-329. Developments that have been granted bonuses per the provisions of this section shall not be granted any further increase in floor area, unit count, or building height so as to exceed the maximum threshold set forth in the Tampa Comprehensive Plan.
- (c) Review procedure. The developer/property owner(s) shall submit his/her bonus cost incentive estimates to the zoning administrator for review and evaluation during the development review

process. The zoning administrator shall determine compliance with the provisions set forth in this section. If a bonus request and calculation are part of a rezoning request, the zoning administrator shall report his/her findings to city council during the rezoning hearing. Subsequent to a bonus FAR approval and prior to the issuance of the first permit for vertical construction for the project, the developer/property owner(s) shall submit certified materials and construction cost estimates to the zoning administrator for review of compliance with the bonus-related conditions. If the zoning administrator finds that the approved bonus calculations are not being met (amenities and/or dollars are deficient), the applicant shall disburse the remaining dollar amount to an available city funding source for public infrastructure and/or parks and recreation improvements within the Greater Seminole Heights area. The applicant shall notify the zoning administrator, in writing, of all disbursements made to the city.

- (d) Bonus Amenities List. The following 'Greater Seminole Heights Bonus Amenities' list represents those bonus amenities, which are to be provided above and beyond minimum regulations, identified as applicable to the Greater Seminole Heights area, per the Greater Seminole Heights Vision Plan and the Tampa Comprehensive Plan:

- (1) Affordable Housing (subject to Section 27-328 requirements)1
- (2) Public Open Space (scaled appropriately for each development)1
- (3) Mid-block Pedestrian Connectors
- (4) Bicycle Lanes
- (5) Transit Support Subsidy1
- (6) Leadership in Energy and Environmental Design (LEED) Certified Construction
- (7) Enhanced Landscaping
- (8) Enhanced Streetscape Design1 (on-street parking, street trees/plantings, street furniture/trash receptacles, pedestrian-scale lighting)
- (9) Increased Sidewalk Area/Width1
- (10) Public Art

For those developments that propose to incorporate the following amenities, the development shall receive an additional 0.10 in floor area ratio (FAR) per amenity, above bonus achieved through calculation described herein. These added bonuses signify the city's current priorities related to the provision and creation of amenities within the public realm. Total bonus shall not exceed that threshold set forth in the Tampa Comprehensive Plan.

SH - DISTRICTS - DRAFT JANUARY 2011

Sec. 27-558 through – 27-600. Reserved.